



**COMMUNITY AND ECONOMIC DEVELOPMENT
DEPARTMENT**

**CASE NO.: RCU2017-00035
CASE NAME: CHANNING SELF-STORAGE**

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**COMMUNITY AND ECONOMIC DEVELOPMENT
DEPARTMENT
STAFF REPORT**

Board of County Commissioners

July 10, 2018

Case No.: **RCU2017-00035**

Case Name: **Channing Self-Storage**

Owner's Name:	The Leona Darlene Brummund Trust C/O Mr. Myron W. Brummund, Co-Trustee
Applicant's Name:	Channing Corporation
Applicant's Address:	5100 PGA Blvd., Ste. 209, Palm Beach Gardens, FL 33418
Location of Request:	12570 Zuni Street
Nature of Request:	A conditional use permit to allow mini-storage on the property
Zone District:	Agricultural-3 (A-3)
Comprehensive Plan:	Urban Residential
Site Size:	9.93 ac. (432,551 sq. ft.)
Proposed Uses:	Mini-Storage
Existing Use:	Vacant
Hearing Date(s):	PC: June 14, 2018 / 6:00 p.m. BOCC: July 10, 2018 / 9:30 a.m.
Report Date:	June 26, 2018
Case Manager:	Greg Barnes
Staff Recommendation:	APPROVAL with 8 Findings-of-Fact, 2 conditions precedent, and 3 conditions

SUMMARY OF APPLICATION

Background

Channing Corporation, the applicant, is requesting a conditional use permit (CUP) to allow a mini-storage facility on a 9.93-acre property. The property is located on the southeastern corner of the intersection of Zuni Street and West 128th Avenue, and is currently vacant. The mini-storage facility will consist of nine buildings with the largest building being three-stories tall

and 22,525 square feet in size. The other proposed eight buildings will range between 2,250-17,760 square feet in size. According to the applicant, the largest building will be designed with climate-control features. The facility will also be enclosed by a 7 ft. tall black, aluminum fence, as well landscape buffers along Zuni Street and West 128th Avenue.

Site Characteristics:

The property is located at the southeastern corner of Zuni Street and West 128th Avenue. The City of Westminster is located to the north, south, and east of the property, and the City & County of Broomfield is located to the west. Drive accesses to the site are located on West 128th Avenue and Zuni Street.

Development Standards and Regulations Requirements:

Per Section 3-07-01 of the Adams County Development Standards and Regulations, a conditional use permit is required for mini-storage uses in the A-3 zone district. Section 4-10-02-05-01 of the County's Development Standards and Regulations outlines design and performance standards for mini-storage facilities. These standards include adequate screening of outdoor storage areas and garbage enclosures. There are no outdoor storage areas proposed with the development. In addition, the proposed development includes an on-site garbage enclosure that will be screened from public view.

Elevation plans provided with the application show the maximum building height on the property will be thirty-five (35) feet. Per Section 3-10-07-05 of the County's Development Standards, the maximum height allowed in the A-3 zone district for structures is thirty-five (35) feet. Per Section 3-10-07 of the County's Development Standards and Regulations, the minimum front setbacks required for principal structures in the A-3 zone district is fifty feet. The minimum required rear setback is twenty feet. A section line setback of 120 feet is also required on both Zuni Street and West 128th Avenue. The proposed buildings on the property will be located sixty feet from the property line along Zuni Street, fifty-five feet from the property line along West 128th Avenue, and 120 feet from both section lines. These setbacks conform to the County's required standards.

Per Section 4-16-19 of the County's Development Standards, 10% of the lot area is required to be landscaped. The site plan provided with the application shows 28% of the lot area will be landscaped. The proposed landscaping includes a 60 ft. buffer along Zuni Street and a 55 ft. landscape buffer along a section of West 128th Avenue. There is also a proposed 15 ft. perimeter buffer to be constructed along the southeastern section of the property (See Exhibit 3.3). The proposed landscape plan conforms to the County's Development Standards and Regulations.

Future Land Use Designation/Goals of the Comp-Plan for the Area

The future land use designation on the property is Urban Residential. Per Chapter 5 of the Adams County Comprehensive Plan, Urban Residential areas are intended to provide a variety of housing types at a density greater than one dwelling unit per acre. In addition, secondary and supporting uses such as neighborhood schools, community facilities, parks, open space, and limited commercial uses may be allowed. The request to allow development of a mini-storage

facility on the property is consistent with the County's Comprehensive Plan. The use will provide convenient storage options for residents of the areas.

Surrounding Zoning Designations and Existing Use Activity:

Northwest Broomfield Mobile Home Park	North Westminster Retail	Northeast Westminster Retail
West Broomfield Mini Storage & Retail	Subject Property A-3 Vacant	East Westminster Open Space
Southwest Broomfield Multi-Family Dwellings	South A-3 Open Space	Southeast Westminster Open Space

Compatibility with the Surrounding Land Uses:

A majority of the immediate surrounding property to the site is developed with retail and high-density residential uses. There is also a similar mini-storage use located to the west of the site, across Zuni Street. The adjoining properties to the east and southeast are used for open space. Developing the property for a commercial mini-storage will be compatible with the area,

PLANNING COMMISSION UPDATE:

The Planning Commission (PC) considered this case on June 14, 2018 and voted 4-1 to approve the request. Commissioner Thompson was the dissenting vote. Staff had recommended a condition of approval to allow the conditional use permit for 20 years, expiring on July 10, 2038. However, at the hearing, the applicant's representative informed the PC that because of the substantial investment required for construction of the facility and appropriateness of the location of the facility to the area, the staff-recommended condition, to allow the use for 20 years, should be removed. The PC discussed allowing the conditional use permit for unlimited number of years, but with an improved landscape plan.

After discussions, the PC decided to recommend approval of the request with a directive to the applicant to submit an enhanced landscape plan for staff review prior to the BOCC hearing. The landscape plan presented at the PC hearing showed 8 trees in the perimeter buffer. On June 27, 2018, the applicant submitted a new landscape plan; this plan shows 13 trees and 43 shrubs.

There was no one from the public to speak in favor or in opposition to the request.

Staff Recommendations:

Based upon the application, the criteria for approval of a conditional use permit, the County's Comprehensive Plan, and a recent site visit, staff recommends approval of the request with 8 findings-of-fact, 2 conditions precedent, and 3 conditions.

Findings-of-fact for Approval:

1. The conditional use is permitted in the applicable zone district.
2. The conditional use is consistent with the purposes of these standards and regulations.
3. The conditional use will comply with the requirements of these standards and regulations, including but not limited to, all applicable performance standards.
4. The conditional use is compatible with the surrounding area, harmonious with the character of the neighborhood, not detrimental to the immediate area, not detrimental to the future development of the area, and not detrimental to the health, safety, or welfare of the inhabitants of the area and the County.
5. The conditional use permit has addressed all off-site impacts.
6. The site is suitable for the proposed conditional use including adequate usable space, adequate access, and absence of environmental constraints.
7. The site plan for the proposed conditional use will provide the most convenient and functional use of the lot including the parking scheme, traffic circulation, open space, fencing, screening, landscaping, signage, and lighting.
8. Sewer, water, storm water drainage, fire protection, police protection, and roads are available and adequate to serve the needs of the conditional use as designed and proposed.

Recommended Conditions Precedent:

1. Prior to the issuance of a building permit, the applicant shall submit all drainage easements on the property to be reviewed by Adams County staff and record the approved easements with the Adams County Clerk & Recorder.
2. Prior to the issuance of a building permit, the applicant shall provide documentation from the City of Westminster and the City and County of Broomfield showing dedication of right-of-way, as required with the cities review comments.

Recommended Conditions:

1. Development of the site shall conform to the landscape plan submitted and approved with the application which shows a minimum of one tree and three shrubs for every linear foot along the southeastern property line.
2. No outdoor storage of materials shall be permitted.
3. All proposed buildings on the site shall conform to the building elevations submitted with the conditional use permit, which include building materials, windows, door openings, color, and scale.

PUBLIC COMMENTS

Property Owners Notified	Residents Notified	Number of Responses
62	61	3

Staff sent 62 notices to property owners and 61 notices to residents within a 1,000 feet radius of the subject request. As of writing this report, staff has received three comments from the public expressing opposition to the request. The concerns expressed in the letters included the proposed height of the buildings and increase in traffic. The applicant initially proposed 42 foot tall buildings at the intersection of Zuni Street and West 128th Avenue; however, reduced the height of the building to 35 feet after receiving comments from the Public and County staff. The proposed height conforms to the maximum height allowed in the A-3 zone standards.

COUNTY AGENCY COMMENTS

The proposed development will be required to construct two additional lanes along both Zuni Street and West 128th Avenue, as well as the construction of curb, gutter, and sidewalk. Installation of a new traffic signal pole shall also be required at the intersection of Zuni Street and West 128th Avenue.

REFERRAL AGENCY COMMENTS

The cities of Broomfield and Westminster requested right-of-way dedication, road improvements to full build-out, and installation of a new traffic signal pole for the development. Additionally, the City and County of Broomfield requested that the proposed access along Zuni Street should be aligned with the access for the existing Walgreens property located across the property on Zuni Street. The applicant has agreed to construct these improvements.

The North Metro Fire District requested a water supply plan and access onto the facility. The applicant has provided the water supply plan to the District, as well as emergency access onto the facility. The district has confirmed their request has been satisfied. Xcel Energy informed the applicant to apply for service upon approval. The Tri-County Health Department also reviewed the request and recommended the applicant to use best management practices for mosquito control and mitigate fugitive dust during construction of the project.

Responding with Concerns:

City & County of Broomfield
City of Westminster
North Metro Fire District
Tri-County Health Department
Xcel Energy

Responding without Concerns:

Colorado Department of Transportation (CDOT)

Notified but not Responding / Considered a Favorable Response:

Adams 12 School District

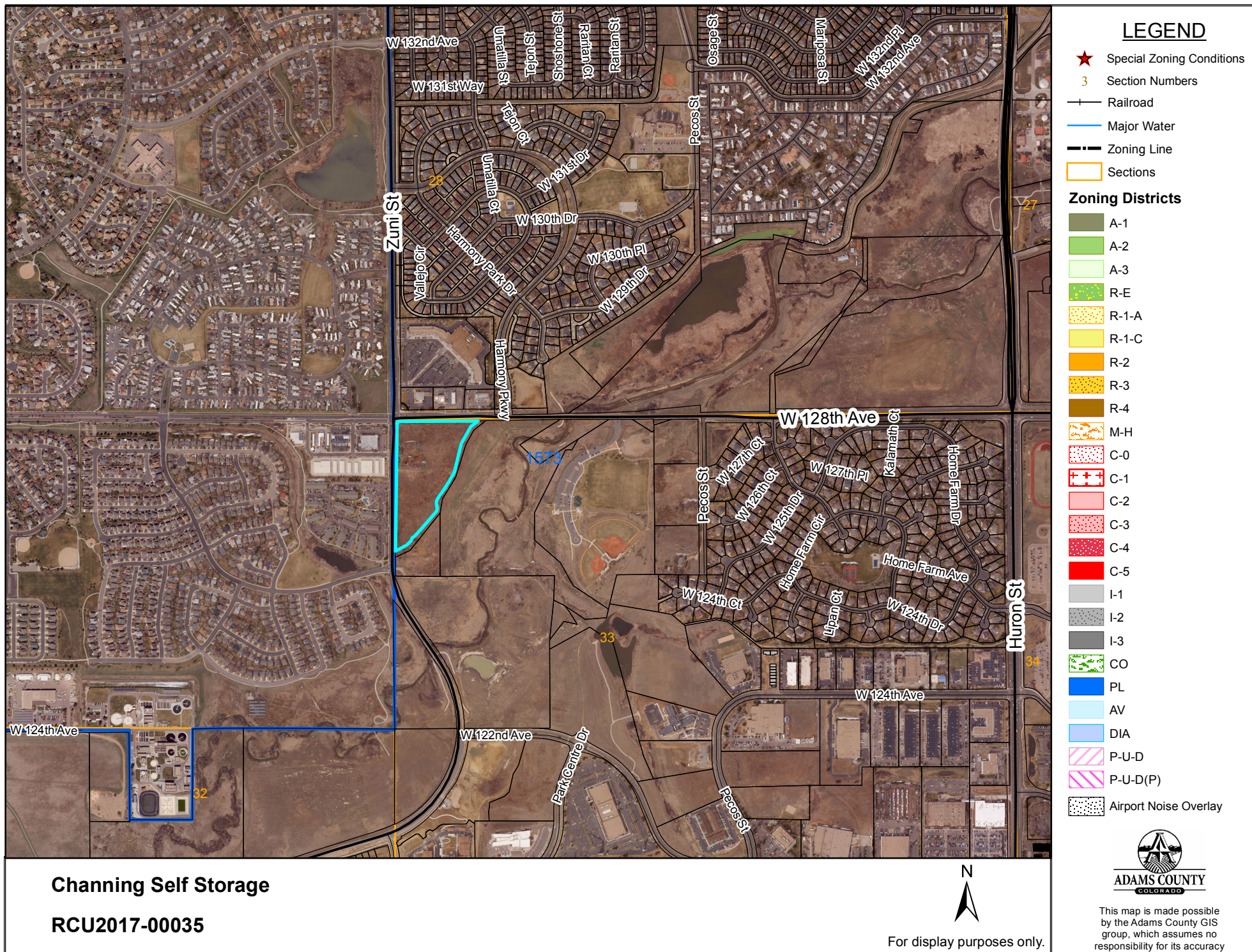
Century Link

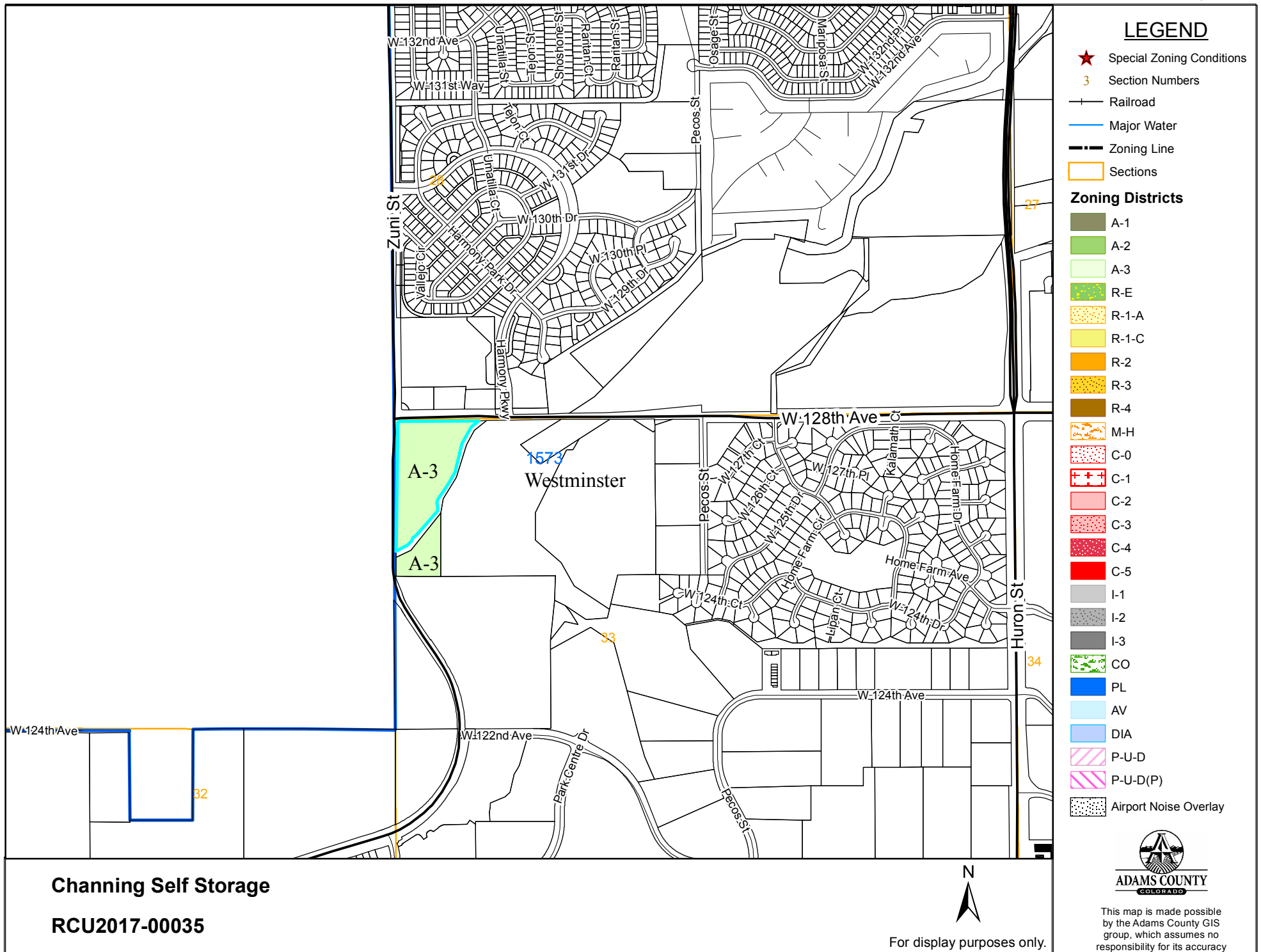
Colorado Department of Public Health & Environment (CDPHE)

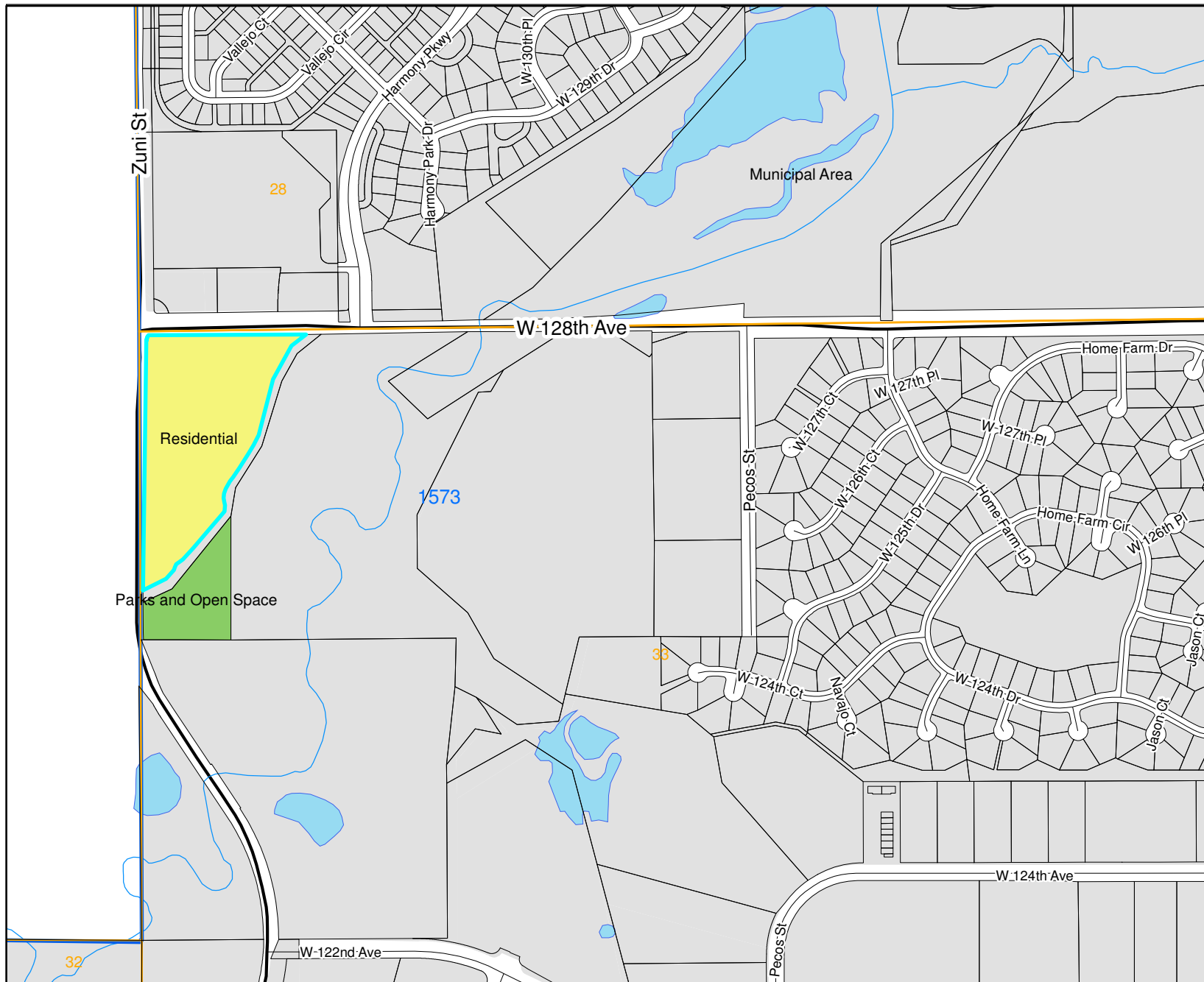
Colorado Division of Wildlife

Comcast

Metro Wastewater Reclamation







Legend

- +— Railroad
- Major Water
- - - Zoning Line
- ▭ Sections

Channing Self-Storage

RCU2017-00035

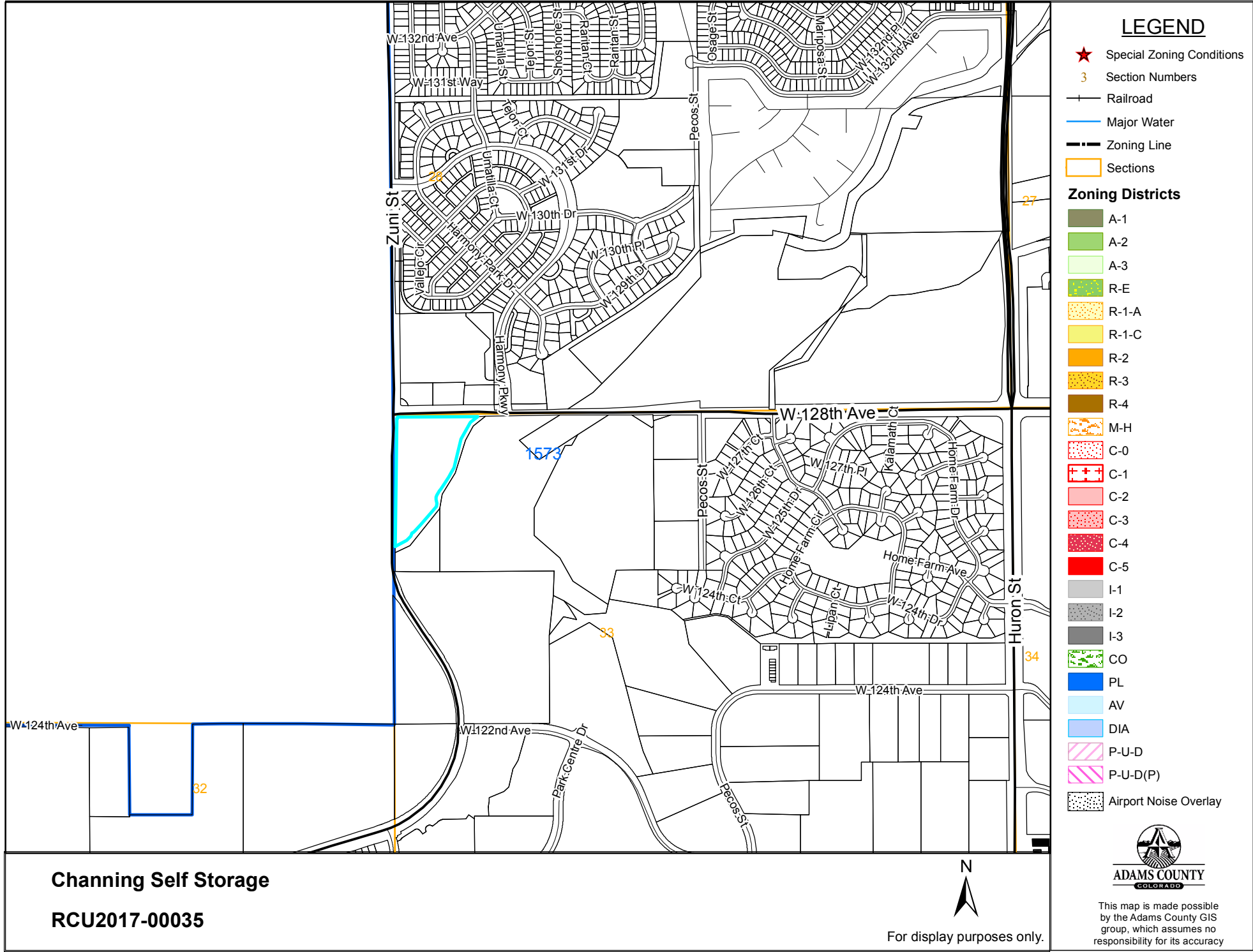


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ADAMS COUNTY
COLORADO

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PROJECT NARRATIVE

Store Self Storage & Wine Storage

This is an application for a Conditional Use Permit as permitted by the Adams County Development Standards and Regulations. The Channing Corporation would like to develop the property at 12750 Zuni Street in unincorporated Adams County to accommodate a new mini-storage facility. The Channing Corporation is proposing to develop a 3-story storage facility with 90,000 square feet of climate controlled storage, accompanied by 1-story drive-up storage buildings totaling approximately 112,000 square feet of various sizes across the rest of the site. The total investment for this project will exceed \$17 million and the contemporary design will greatly enhance the corner. In the last 45 years, Channing Corporation of Palm Beach Gardens, Florida has developed and/or owned real estate valued at over \$1.5 billion including an award winning self storage and wine storage facility totaling 155,000 square feet.

The site is approximately 9.93 acres and zoned as A-3 (Agriculture-3). Currently there is one (1) abandoned residential structure and one (1) accessory structure on the site which will be removed with this development. Surrounding uses include both commercial and residential development. Along 128th Avenue to the north, there is a Chase Bank, 7-Eleven, K&G Petroleum, and McDonald's fronting a vacant King Soopers further north. Northwest along Midway Boulevard is the Front Range Mobile Community. To the west along Zuni Street, there is a Walgreens, SecuCare Self Storage, and Willow Run Village Apartments. This Conditional Use permit request will be compatible with the surrounding area.

This Conditional Use Permit request includes the following development standards:

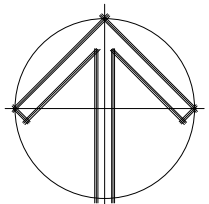
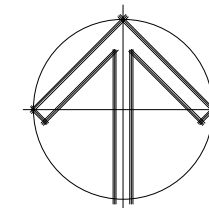
1. 50-foot front and side building setbacks along Zuni Street and 128th Avenue will be reflected as well as the required 20-foot building setback on the eastern boundary.
2. Extra wide interior driveways to accommodate both truck, vehicular and emergency circulation on the site.
3. Site access is proposed at two locations, one along 128th Avenue and the other along Zuni Street.
4. Both access points will include controlled gated entrances and the entire property will be surrounded by building facades, attractive fencing and landscaping.
5. A 50-foot landscape buffer is included along Zuni Street and 128th Avenue and a 15-foot landscape buffer is provided along the eastern edge of the property.
6. Storm drainage on the site will be accommodated by a detention pond at the south end where the existing topography currently slopes.
7. Preliminary discussions with Broomfield will allow for connection to their sewer system pending a design review.
8. Water service will be provided via a well and on-site storage cistern sized to accommodate fire protection design loads.

The nature of the improvements proposed for the property are not typical for a Conditional Use, but rather suggest a permanent use of the site. The Channing Corporation intends this to be the first of many projects in the region.

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STORE SELF STORAGE
128th AVE & ZUNI STREET
ADAMS COUNTY, COLORADO

A1.0


$$1^{\circ} = 60'-0''$$


2 Vicinity Map

- ① MONUMENT SIGN
- ② SLIDING GATE WITH OPERATOR
- ③ 8' TALL CMU SCREEN WALL
- ④ 7' TALL METAL FENCE, AMERISTAR ESCHELLON
- ⑤ WATER CISTERN
- ⑥ LOADING DOCK AT GRADE
- ⑦ LOADING DOCK WITH TRUCK RAMP
- ⑧ MAIN OFFICE LOCATION
- ⑨ CUSTOMER ENTRY
- ⑩ FIRE HYDRANT
- ⑪ TRASH ENCLOSURE
- ⑫ PARKING AREA, SEE NUMER FOR SPACE COUNT
- ⑬ HANDICAPPED PARKING

<u>BUILDING FOOTPRINTS</u>	
BASEMENT:	22,525 GSF
1ST FLOOR:	22,525 GSF
2ND FLOOR:	25,235 GSF
3RD FLOOR:	27,050 GSF


$$1/2'' = 1'-0''$$




- | | | | |
|----|--|----|---|
| 1 | FIELD CMU - BASALITE #924 GROUND FACE | 11 | STANDING SEAM METAL ROOF - GALVALUME FINISH |
| 2 | ACCENT CMU - BASALITE #924 SPLIT FACE | 12 | METAL FASCIA - CLEAR ANNOXIDIZED ALUMINUM |
| 3 | TRESPA PANEL - ROYAL MAHOGANY | 13 | 7' METAL FENCE AND GATE - AMERISTAR ESCHOLON II |
| 4 | INSULATED METAL PANEL - KINGSPAN CHAMPAGNE BRONZE | 14 | 8' TALL CMU SCREEN WALL - BASALITE #924 GROUND FACE |
| 5 | ALUMINUM STOREFRONT WINDOW SYSTEM - CLEAR ANNOXIDIZED FINISH | 15 | PRECAST CONCRETE CAP |
| 6 | ALUMINUM WINDOW - CLEAR ANNOXIDIZED FINISH | 16 | NORTH FACADE SIGNAGE - ALLOWABLE AREA 110SF |
| 7 | AUTOMATIC DOOR - CLEAR ANNOXIDIZED FINISH | 17 | WEST FACADE SIGNAGE - ALLOWABLE AREA 80SF |
| 8 | INSULATED METAL DOOR - PAINT SW 6073 PERFECT GREIGE | 18 | SOUTH FACADE SIGNAGE - ALLOWABLE AREA 110SF |
| 9 | PREFINISHED OVERHEAD DOOR - COLOR SANDSTONE | 19 | TRUCK LOADING DOCK |
| 10 | AWNING - CLEAR ANNOXIDIZED ALUMINUM FASCIA | 20 | PREFINISHED DOWNSPOUT |
| | | 21 | CMU PLANTER - BASALITE #924 GROUND FACE |

PROJECT DESCRIPTION

128th AVE & ZUNI STREET
ADAMS COUNTY, COLORADO

Design Project No. 17-910

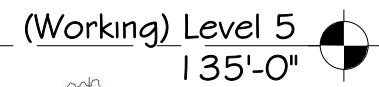
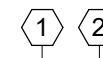
Drawing Title

BUILDING LEVATIONS

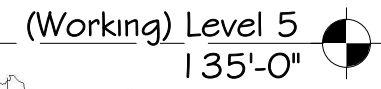
Drawing No.

A4.1

1 1/8" = 1'-0"


$$\angle 1'' = 30^\circ - 0^\circ$$


5 1/8" = 1'-0"



4 $1'' = 30'-0''$



- ① FIELD CMU - BASALITE #924 GROUND FACE
- ② ACCENT CMU - BASALITE #924 SPLIT FACE
- ③ TRESPA PANEL - ROYAL MAHOGANY
- ④ INSULATED METAL PANEL - KINGSPAN CHAMPAGNE BRONZE
- ⑤ ALUMINUM STOREFRONT WINDOW SYSTEM - CLEAR ANNOXIDIZED FINISH
- ⑥ ALUMINUM WINDOW - CLEAR ANNOXIDIZED FINISH
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- ⑩ AWNING - CLEAR ANNOXIDIZED ALUMINUM FASCIA

- 11 STANDING SEAM METAL ROOF - GALVALUME FINISH
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- 15 PRECAST CONCRETE CAP
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- 19 TRUCK LOADING DOCK
- 20 PREFINISHED DOWNSPOUT
- 21 CMU PLANTER - BASALITE #924 GROUND FACE

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PROJECT DESCRIPTION

STORE SELF STORAGE
128th AVE & ZUNI STREET
ADAMS COUNTY, COLORADO

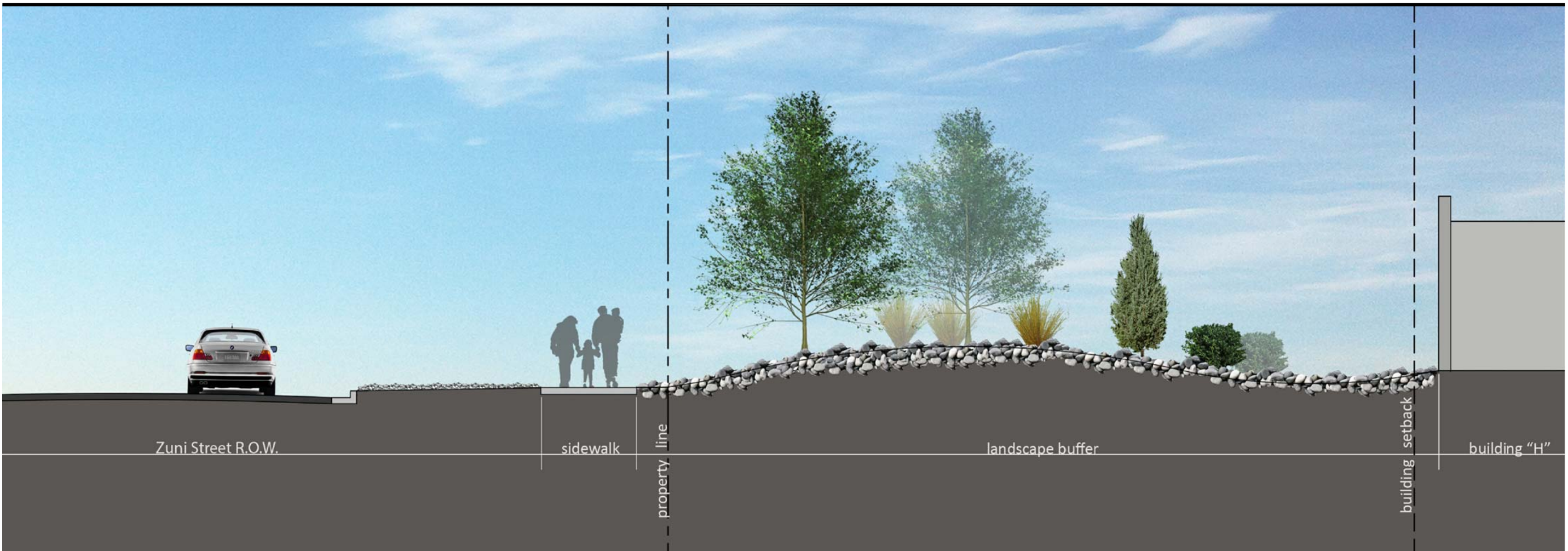
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Drawing Title

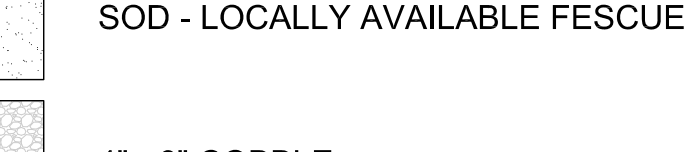
BUILDING ELEVATIONS

Drawing No.

A4.2



Landscape Legend:



The diagram shows four rectangular boxes representing different base layer options. The first box is labeled 'SOD - LOCALLY AVAILABLE FESCUE BLEND'. The second box is labeled '4" - 6" COBBLE'. The third box is labeled '1"-3" RIVER ROCK - LOCALLY AVAILABLE'. The fourth box is labeled 'STEEL EDGING'.

SOD - LOCALLY AVAILABLE FESCUE BLEND

4" - 6" COBBLE

1"-3" RIVER ROCK - LOCALLY AVAILABLE

STEEL EDGING

Landscape Standards Table

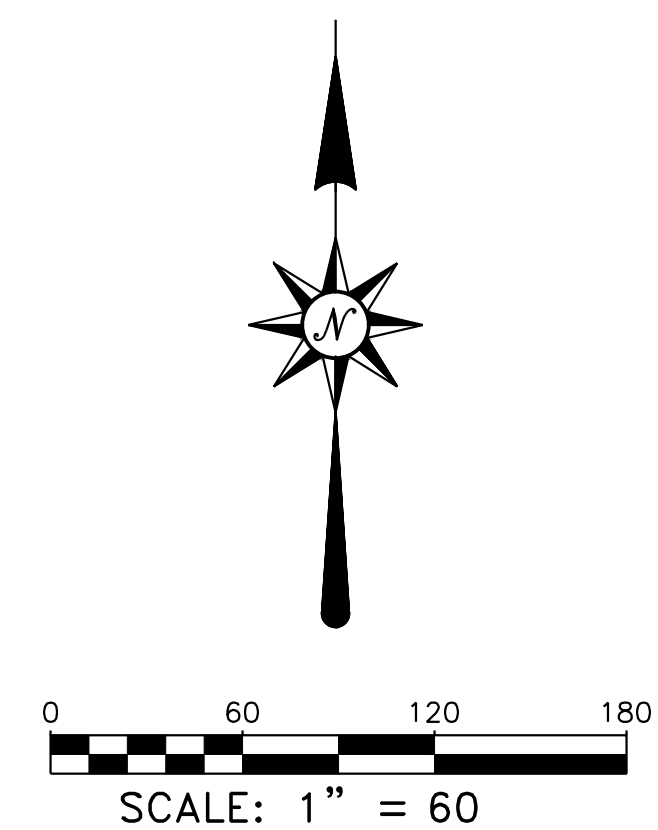
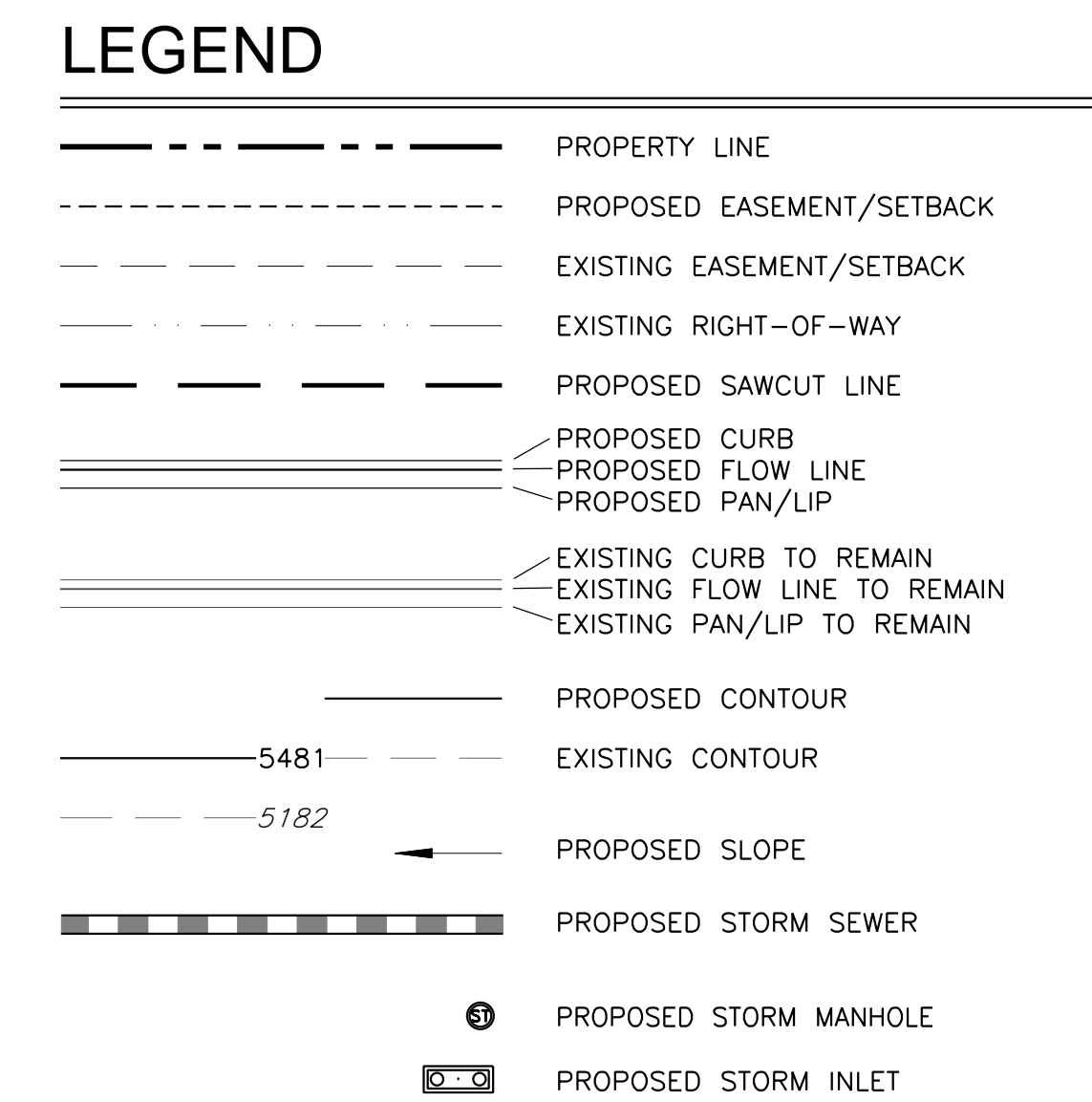
STREET	LENGTH	REQUIRED TREES		PROVIDED	
ZUNI STREET	1,134 LF.	28	= 1 TREE / 40 L.F.	28	TREES
		57	= 2 SHRUBS / 40 L.F.	57	SHRUBS
128th AVENUE	665 LF.	17	= 1 TREE / 40 L.F.	17	TREES
		34	= 2 SHRUBS / 40 L.F.	50	SHRUBS

Landscape Calculations

CATEGORY	S.F.
TOTAL ONSITE LANDSCAPE	123,267
TURFGRASS	12,742
PLANTING BEDS (SHRUBS)	110,525
OFFSITE PERVIOUS AREA IN R.O.W.	59,717
TREE SPECIES	QTY.
CANOPY - DECIDUOUS TREES	26
ORNAMENTAL - DECIDUOUS TREES	11
EVERGREEN TREES	25
TOTAL TREES	62
SHRUB SPECIES	QTY.
DECIDUOUS SHRUBS	54
EVERGREEN SHRUBS	54
ORNAMENTAL GRASSES	39
TOTAL SHRUBS	147

Plant Material List

COMMON NAME		BOTANICAL NAME	SIZE	COND.
CANOPY - DECIDUOUS TREE				
	REDMOND LINDEN	TILIA AMERICANA 'REDMOND'	2" CAL.	B & B
	RED OAK	QUERCUS RUBRA	2" CAL.	B & B
	SKYLINE HONEYLOCUST	GLEDITSIA TRIACANTHOS INERMIS 'SHADEMASTER'	2" CAL.	B & B
	NORWAY MAPLE	ACER PLATANOIDES	2" CAL.	B & B
	HACKBERRY	CELTIS OCCIDENTALIS	2" CAL.	B & B
EVERGREEN TREE				
	AUSTRIAN PINE	PINUS NIGRA	6' HT.	B & B
ORNAMENTAL TREES				
	JAPANESE LILAC	SYRINGA JAPONICA	1 1/2" CAL.	B & B
	WASHINGTON HAWTHORN	CRATAEGUS PHAENOPYRUM	1 1/2" CAL.	B & B
	GINNALA MAPLE	ACER GINNALA	1 1/2" CAL.	B & B
SHRUBS				
	RED TWIG DOGWOOD	CORNUS ALBA 'SIBIRICA'	5 GAL.	CONT.
	RUSSIAN SAGE	PEROVSKIA ARTIPILICIFOLISA	5 GAL.	CONT.
	GOLD DROP POTENTILLA	POTENILLA FRUTICOSA 'GOLD DROP'	5 GAL.	CONT.
	LITTLE PRINCESS SPIREA	SPIREA JAPONICA 'LITTLE PRINCESS'	5 GAL.	CONT.
	BLUE BEARD SPIREA	CARYOPTERIS X CLANDONENSIS 'BLUE BEARD'	5 GAL.	CONT.
ORNAMENTAL GRASSES				
	DWARF MAIDEN GRASS	MISCANTHUS SINESIS 'YAKU JIMA'	5 GAL.	CONT.
	KARL FOERSTER FEATHER REED	CALAMAGROSIC ACUTI ' KARL FORESTER'	5 GAL.	CONT.



Date	Submission / Revision
7/19/2017	CONDITIONAL USE PERMIT
1/19/2018	CUP RESUBMITTAL
5/21/2018	CUP UPDATE

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PROJECT DESCRIPTION

WINE STORAGE

128th AVE & ZUNI STREET

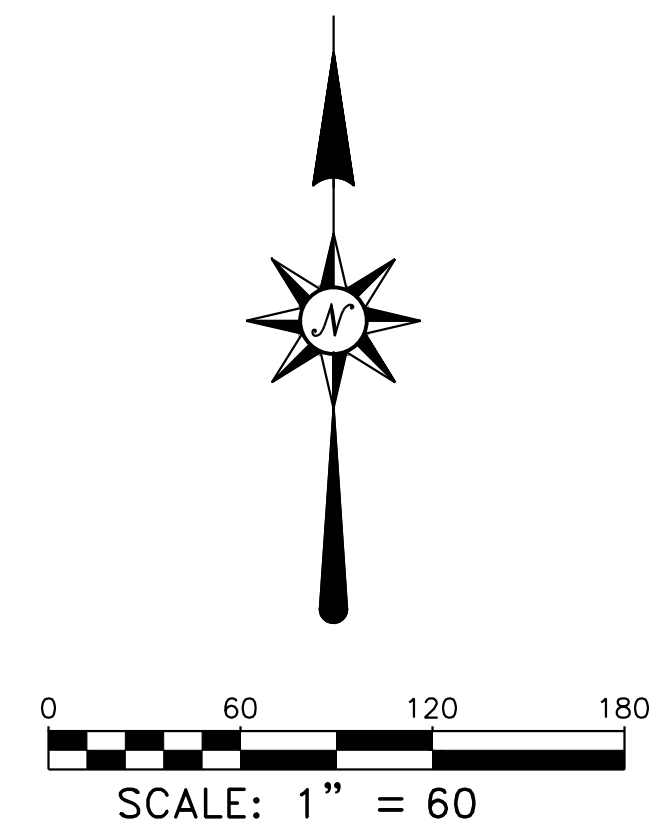
ADAMS COUNTY, COLORADO

STORE SELF STORAGE

Design Project No.
17-910

Drawing Title
GRADING PLAN

Drawing No.
C2.0



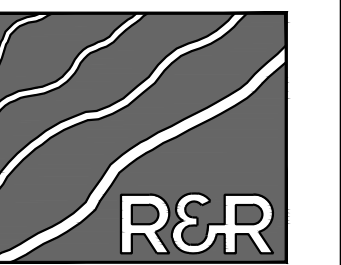
	PROPERTY LINE
	PROPOSED EASEMENT/SETBACK
	EXISTING EASEMENT/SETBACK
	SECTION LINE
	EXISTING RIGHT-OF-WAY
	PROPOSED CURB
	PROPOSED FLOW LINE
	PROPOSED PAN/LIP
	EXISTING CURB TO REMAIN
	EXISTING FLOW LINE TO REMAIN
	EXISTING PAN/LIP TO REMAIN
	PROPOSED WATERLINE
	EXISTING WATERLINE
	PROPOSED STORM SEWER
	EXISTING COMMUNICATIONS LINE
	EXISTING GAS LINE
	PROPOSED GAS LINE
	PROPOSED OVERHEAD ELECTRIC LINE
	EXISTING OVERHEAD ELECTRIC LINE
	PROPOSED (UNDERGROUND) ELECTRIC LINE
	EXISTING (UNDERGROUND) ELECTRIC LINE
	EXISTING/PROPOSED FIRE DEPARTMENT CONNECTION *
	EXISTING/PROPOSED FIRE HYDRANT *
	EXISTING/PROPOSED STORM MANHOLE *
	EXISTING/PROPOSED STORM INLET *
	PROPOSED STORM FLARED END SECTION *

NOTES:
1. WATER SERVICE AND FIRE PROTECTION
TO BE DESIGNED BY OTHERS AND PROVIDED
BY PRIVATE ONSITE WELL AND WATER STORAGE.

[illegible]

dcb **construction**
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ENGINEERS SURVEYORS
WEST COLFAX AVENUE
PER, COLORADO 80204
ONE: 303-753-6730
V.RRENGINEERS.COM

STORE SELF STORAGE
WINE STORAGE
128th AVE & ZUNI STREET
ADAMS COUNTY, COLORADO

Project No.	17-910
-------------	--------

Title

UTILITY PLAN




g No.

C3.0



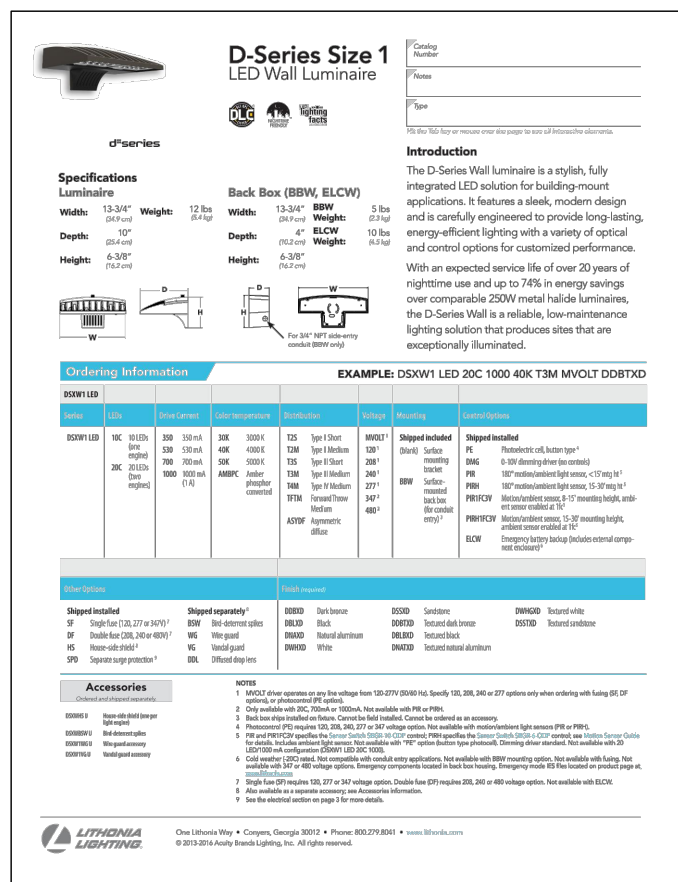
SITE PHOTOMETRIC PLAN

SCALE: 1" = 50'-0"

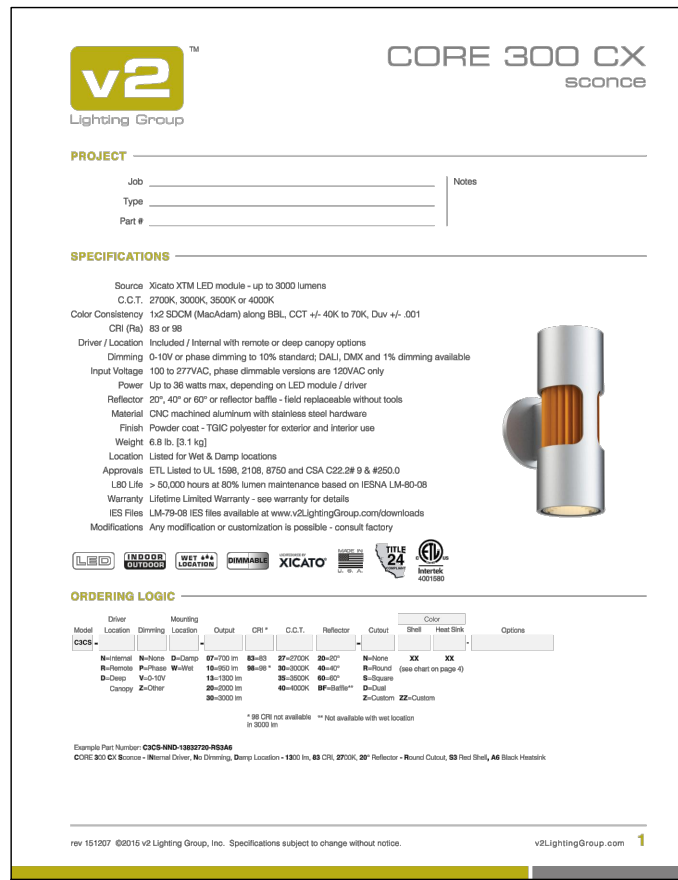
Schedule										
Symbol	Label	Quantity	Manufacturer	Catalog Number	Description	Lamp	Filename	Lumens Per Lamp	Light Loss Factor	Wattage
	B	74	Lithonia Lighting	DSRW1 LED 200 70K 40W T8 MVLT	DSRW1 LED 200 (74) 15 LED LIGHT DIMMABLE, TYPE T8M OPTIC, 4000K, @ 70°beam		DSRW1_LED_200_70K_40W_T8MVLT	8543	0.92	45.7
	C	4	Kicaco Inc, San Jose, CA, USA (http://www.kicaco.com)	"X38M100-1000" with XSL-12 (590nm, 70mm Plastic reflector)" "X38M100-1000" (typical model = 70C and 100C)	"X38M100-1000" with XSL-12 (590nm, 70mm Plastic reflector)" "X38M100-1000" (typical model = 70C and 100C)		"Xicaco X38M100-1000-C" (typical model at 1000lm) (BSR) (http://www.kicaco.com)	1000	0.85	13.7
	D	10	Lithonia Lighting	LDW4 4810 LWAR LD	4IN LIN WALLWASH, 4000K 1000LM, CLEAR, MATTE DIFFUSOR REFLECTOR		LDW4_4810_LWAR_LD_1000LM_CLEAR_MATTE	854	0.9	10.65

Statistics						
Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
Calc Zone #1	+	0.6 fc	8.2 fc	0.0 fc	N/A	N/A

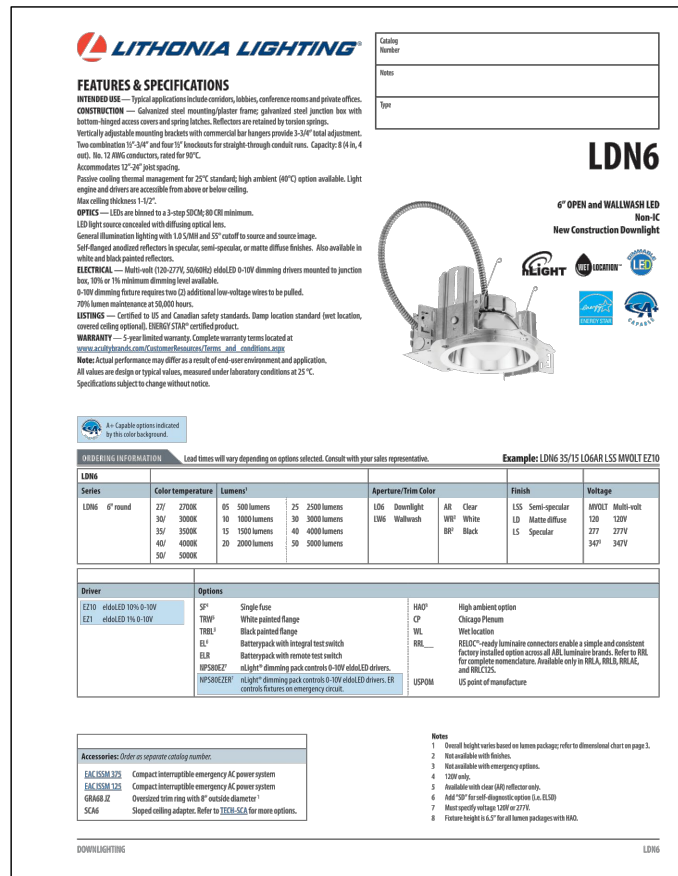
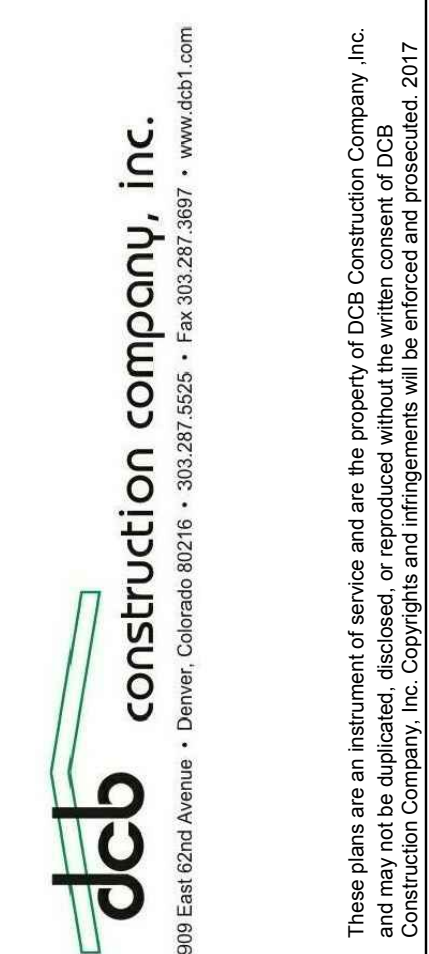
Type B:



Type C:



Type D:

[illegible]

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PROJECT DESCRIPTION

WINE STORAGE

128th AVE & ZUNI STREET
ADAMS COUNTY, COLORADO

Design Project No.	17-910
Drawing Title	SITE PHOTOMETRICS
Drawing No.	

Drawing No.

SE1

Community & Economic
Development Department
www.adcogov.org



4430 South Adams County Parkway
1st Floor, Suite W2000B
Brighton, CO 80601-8218
PHONE 720.523.6800
FAX 720.523.6967

Date: 08/31/2017

Project Number: RCU2017-00035

Project Name: Channing Self Storage

Note to Applicant:

The following review comments and information from the Development Review Team is based on submitted documents only.

For submission of revisions of applications, a cover letter addressing each staff review comment that is in bold must be provided. The cover letter must include the following information: restate each bolded comment and provide a response below the comment; respond to each comment with a description of the revisions and the page of the response on the site plan. Identify any additional changes made to the original document other than those required by staff.

Commenting Division: Building Review

Name of Reviewer: Justin Blair

Date: 08/03/2017

Email: JBlair@adcogov.org

No Comment

Commenting Division: Code Enforcement Review

Name of Reviewer: Eric Guenther

Date: 08/01/2017

Email: EGuenther@adcogov.org

No comment

Commenting Division: Environmental Analyst

Name of Reviewer: Jen Rutter

Date: 08/30/2017

Email: JRutter@adcogov.org

No comment

Commenting Division: Engineering Review

Name of Reviewer: Greg Labrie

Date: 07/31/2017

Email: GLabrie@adcogov.org

ENG1: The applicant must submit a trip generation analysis for the proposed operation on the site. If the new operation generates over 20 vehicles per day a traffic impact study signed and stamped by a professional engineer with the state of Colorado is required to be submitted to the Adams County Community and Economic Department for review and approval. The trip generation analysis is required prior to the approval of the CUP.

The remaining comments can be conditions of the CUP:

ENG2: The applicant shall be responsible to ensure compliance with all Federal, State, and Local water quality construction requirements. The project site is within the County's MS4 Stormwater Permit area. In the event that the disturbed area of the site exceeds 1 acre the applicant shall be responsible to prepare the SWMP plan using the Adams County ESC Template, and obtain both a County SWQ Permit and State Permit COR-030000.

ENG3: Prior to scheduling a final plat/FDP BOCC hearing (if needed) or issuance of building permits, whichever is required first, the developer is required to submit for review and receive approval of all construction documents (construction plans and reports). Construction documents shall include, at a minimum, onsite and public improvements construction plans, drainage report, traffic impact study. All construction documents must meet the requirements of the Adams County Development Standards and Regulations. The developer shall submit to the Adams County Development Review Engineering division the following: Engineering Review Application, Engineering Review Fee, two (2) copies of all construction documents.

ENG4: The proposed site is fronted by W 128th Ave and Zuni Street; both of which are classified as major/principle Arterial roadways. The Adams County Development Standards and Regulations limits access to Arterial roadways. For the development to be allowed two access onto Arterial roadways, the second access must either be required for emergency services (i.e. by the jurisdictional fire district) or, the TIS must prove that the additional access would

significantly benefit the safety and operation of the roadway and is necessary to the safe and efficient use of the property.

ENG5: Per comment ENG4 and ENG5, a Traffic Impact Study (TIS) will be required for review and approval prior to development of this site. The TIS will need to include an evaluation for accel/decel turn lanes and, a signal warrant analysis and progression study.

ENG6: W 128th Ave is under the jurisdiction of the City of Westminster. The applicant will be required to obtain an access permit from the City of Westminster to allow the W 128th Ave access. Adams County cannot approve this access. A copy of the approved access permit must be given to Adams County prior to construction or building permit issuance.

ENG7: Development of this site will require the construction of public roadway improvements. Those improvements will include curb, gutter and walk, constructed to the County's standard cross section for a major/principle arterial roadway.

ENG8: The proposed site plan shows a detention pond being located at the southern end of the site. No outfall for this pond is shown. The developer/applicant is strongly urged to investigate a potential outfall for this pond. It does not appear that the County has any public storm sewer adjacent to the site. The Big Dry Creek is located to the east of the site, which is a potential outfall point but, is located on land owned by the City of Westminster. An easement from the City would be required to construct this outfall. The developer/applicant is required to obtain all easement.

Commenting Division: Parks Review

Name of Reviewer: Aaron Clark

Date: 07/31/2017

Email: AClark@adcogov.org

PRK: Property to the South (Parcel #0157333000002) is under a conservation easement held by Adams County. Development shall not impair the conservation values of the neighboring easement.

Commenting Division: Planning Review

Name of Reviewer: Libbie Adams

Date: 08/31/2017

Email: LAdams@adcogov.org

PLN1: Applicant is requesting a conditional use permit to allow self storage units on an Agriculture-3 (A-3) property. The purpose of the A-3 zone district is to provide a land primarily in holdings of at least 35 acres for farming and food production uses.

PLN2: The future land use designation in the Comprehensive Plan is Urban Residential. This contemplates single and multi-family housing at a density of one dwelling unit per acre or greater.

PLN3: Minimum setbacks for a principal structure are 50 feet from the front property line, and 10 feet from the side property lines, and 20 feet from the rear property lines. The required section line setback is 120 feet. Therefore, a 120-foot setback is required from the section line along West 128th Avenue and Zuni Street. The maximum height for a non-agricultural structure is 35 feet. **The proposed structure does not meet the required section line setbacks. How tall are the proposed structures?**

PLN4: The maximum permitted building height is 35 feet. **How tall are the proposed structures?**

PLN5: Landscaping shall be required for this site, and the proposed landscaping meets the County's landscaping requirements.

PLN6: Proof of water and sewer is required to be submitted with the application. **However, proof of a commercial well permit and septic field was not submitted. Please obtain proof of these items and submit them to the County.**

PLN7: Conditional use permits require an expiration date. Once the use as expired, the applicant shall reapply for the use. **How long would the applicant like to request the conditional use permit? 5-10 years is typical.**

PLN8: What type of lighting is proposed for the site?

PLN9: The criteria for approval for conditional use permits include:

- The conditional use is permitted in the applicable zone district.
- The conditional use is consistent with the purposes of these standards and regulations.
- The conditional use will comply with the requirements of these standards and regulations including, but not limited to, all applicable performance standards.
- The conditional use is compatible with the surrounding community and not detrimental to the future development of the area or the inhabitants.

- All off site impacts have been addressed.
 - The site is suitable for the proposed use.
 - The site plan will provide the most convenient and functional use of the lot including the parking scheme, traffic circulation, open space, fencing, screening, landscaping, signage, and lighting.
 - Sewer, water, storm water drainage, fire protection, police protection, and roads are to be available and adequate to serve the needs of the conditional use as designed and proposed.
-

Commenting Division: Right of Way Review

Name of Reviewer: Marissa Hillje

Date: 07/31/2017

Email: MHillje@adcogov.org

ROW1: DRAINAGE EASEMENT: A drainage easement should be granted per drainage study: Details as to the character of the easement will need to be worked out between Applicant and Adams County Development Services staff. The services of a licensed Professional Land Surveyor should be secured to create the legal description and exhibit of the permanent drainage easement.

ROW2: SECTION LINE SETBACKS: 128th Ave and Zuni St. are both section lines. **All proposed structures in A-3 along section lines must be setback 120' from property line. Please show setback dimensions from section lines (approx. middle of Zuni St and 128th Ave) to proposed structures.** A detailed land survey may be required in order to show that buildings will not encroach upon the setback requirements.

ROW3: RIGHT-OF-WAY DEDICATION: The property is adjacent to Zuni St. Zuni St. is classified as a Major Arterial Road and is in City of Broomfield jurisdiction. **Please contact City of Broomfield for Right-of-Way width requirements.**

ROW4: RIGHT-OF-WAY DEDICATION: The property is adjacent to 128th Ave. 128th Ave is in City of Westminster jurisdiction. **Please contact City of Westminster for Right-of-Way width requirements.**

ROW5: RIGHT-OF-WAY DEDICATION: The services of a licensed Professional Land Surveyor should be secured to create the description of the right-of-way dedication.



Development Review Team Comments

Date: 5/4/2018

Project Number: RCU2017-00035

Project Name: Channing Self Storage

Note to Applicant:

The following review comments and information from the Development Review Team is based on the information you submitted for the conditional use permit application submitted by you. At this time, further comments and revisions are being requested. The Development Review Team review comments may change if you provide different information during the resubmittal process. Please contact the case manager if you have any questions:

Commenting Division: Engineering Review #1

Name of Reviewer: Greg Labrie

Date: 08/11/2017

Email: glabrie@adcogov.org

Resubmittal Required

ENG1: The applicant must submit a trip generation analysis for the proposed operation on the site. If the new operation generates over 20 vehicles per day a traffic impact study signed and stamped by a professional engineer with the state of Colorado is required to be submitted to the Adams County Community and Economic Department for review and approval. The trip generation analysis is required prior to the approval of the CUP.

The remaining comments can be conditions of the CUP:

ENG2: The applicant shall be responsible to ensure compliance with all Federal, State, and Local water quality construction requirements. The project site is within the County's MS4 Stormwater Permit area. In the event that the disturbed area of the site exceeds 1 acre the applicant shall be responsible to prepare the SWMP plan using the Adams County ESC Template, and obtain both a County SWQ Permit and State Permit COR-030000.

ENG3: Prior to scheduling a final plat/FDP BOCC hearing (if needed) or issuance of building permits, whichever is required first, the developer is required to submit for review and receive approval of all construction documents (construction plans and reports). Construction documents shall include, at a minimum, onsite and public improvements construction plans, drainage report, traffic impact study. All construction documents must meet the requirements of the Adams County Development Standards and Regulations. The developer shall submit to the Adams County Development Review Engineering division the following: Engineering Review Application, Engineering Review Fee, two (2) copies of all construction documents.

ENG4: The proposed site is fronted by W 128th Ave and Zuni Street; both of which are classified as major/principle Arterial roadways. The Adams County Development Standards and Regulations limits access to Arterial roadways. For the development to be allowed two access onto Arterial roadways, the second access must either be required for emergency services (i.e. by the jurisdictional fire district) or, the TIS must prove that the additional access would significantly benefit the safety and operation of the roadway and is necessary to the safe and efficient use of the property.

ENG5: Per comment ENG4 and ENG5, a Traffic Impact Study (TIS) will be required for review and approval prior to development of this site. The TIS will need to include an evaluated for accel/decel turn lanes and, a signal warrant analysis and progression study.

ENG6: W 128th Ave is under the jurisdiction of the City of Westminster. The applicant will be required to obtain an access permit from the City of Westminster to allow the W 128th Ave access. Adams County cannot approve this access. A copy of the approved access permit must be given to Adams County prior to construction or building permit issuance.

ENG7: Development of this site will require the construction of public roadway improvements. Those improvements will include curb, gutter and walk, constructed to the County's standard cross section for a major/principle arterial roadway.

ENG8: The proposed site plan shows a detention pond being located at the southern end of the site. No

outfall for this pond is shown. The developer/applicant is strongly urged to investigate a potential outfall for this pond. It does not appear that the County has any public storm sewer adjacent to the site. The Big Dry Creek is located to the east of the site, which is a potential outfall point but, is located on land owned by the City of Westminster. An easement from the City would be required to construct this outfall. The developer/applicant is required to obtain all easement. The applicant must submit a trip generation analysis for the proposed operation on the site. If the new operation generates over 20 vehicles per day a traffic impact study signed and stamped by a professional engineer with the state of Colorado is required to be submitted to the Adams County Community and

Commenting Division: ROW Review #2

Name of Reviewer: Marissa Hillje

Date: 02/12/2018

Email: mhillje@adcogov.org

Resubmittal Required

ROW1: As a condition of the permit and precedent to building permit issuance, drainage easements with exhibit, legal description and signed agreements shall be submitted to ROW specialist and engineer for review and recording.

ROW2: Right-of-way dedication is required for this conditional use permit. Legal description and exhibit should be submitted to Adams County for Zuni St. Zuni St is classified as a principal arterial road per the 2012 Adams County Master Transportation Plan. As such it should have a half right-of-way width of 70 feet.

ROW3: The applicant will be required to work with City of Westminster to dedicate right of way needed for W128th Ave.

Commenting Division: Engineering Review #2

Name of Reviewer: Greg Labrie

Date: 02/12/2018

Email: glabrie@adcogov.org

Resubmittal Required

ENG1; The northern most driveway from the site at Alcott Street onto Zuni Street shall be a right-in/right-out access and not a 3/4 movement access. The 3/4 movement would overlap the functional area up-stream from the signalized intersection at 128th and Zuni Street. Despite the low anticipated volumes for southbound left turning vehicles, introducing conflict points near a signalized intersection on an arterial roadway represents a safety risk that is not in the public interest. In addition, the proposed restriping at this intersection to allow for a 50 ft. Southbound left would require the shifting of approach lanes and storage lengths for the northbound movements at W. 128th Avenue and Zuni Street. Changes to striping configurations which impact this signal may also require review and approval from the City and County of Broomfield.

ENG2: Prior to scheduling a final plat/FDP BOCC hearing (if needed) or issuance of building permits, whichever is required first, the developer is required to submit for review and receive approval of all construction documents (construction plans and reports). Construction documents shall include, at a minimum, onsite and public improvements construction plans, drainage report, traffic impact study. All construction documents must meet the requirements of the Adams County Development Standards and Regulations. The developer shall submit to the Adams County Development Review Engineering division the following: Engineering Review Application, Engineering Review Fee, two (2) copies of all construction documents.

ENG3: The proposed site is fronted by W 128th Ave and Zuni Street; both of which are classified as major/principle Arterial roadways. The Adams County Development Standards and Regulations limits access to Arterial roadways. For the development to be allowed two access onto Arterial roadways, the second access must either be required for emergency services (i.e. by the jurisdictional fire district) or, the TIS must prove that the additional access would significantly benefit the safety and operation of the roadway and is necessary to the safe and efficient use of the property.

ENG4: W 128th Ave is under the jurisdiction of the City of Westminster. The applicant will be required to obtain an access permit from the City of Westminster to allow the W 128th Ave access. Adams County cannot approve this access. A copy of the approved access permit must be given to Adams County prior to construction or building permit issuance.

ENG5: Development of this site will require the construction of public roadway improvements. Those improvements will include curb, gutter and walk, constructed to the County's standard cross section for a major/principle arterial roadway.

ENG6: The proposed site plan shows a detention pond being located at the southern end of the site. No outfall for this pond is shown. The developer/applicant is strongly urged to investigate a potential outfall for this pond. It does not appear that the County has any public storm sewer adjacent to the site. The Big Dry Creek is located to the east of the site, which is a potential outfall point but, is located on land owned by the City of Westminster. An easement from the City would be required to construct this outfall. The developer/applicant is required to obtain all easement.

Commenting Division: Notifications and Referrals Review #2

Name of Reviewer: Libbie Adams

Date: 01/29/2018

Email: ladams@adcogov.org

Resubmittal Required

Commenting Division: Planner Review #2

Name of Reviewer: Libbie Adams

Date: 01/29/2018

Email: ladams@adcogov.org

Resubmittal Required

PLN1: Applicant is requesting a conditional use permit to allow self storage units on an Agriculture-3 (A-3) property. The purpose of the A-3 zone district is to provide a land primarily in holdings of at least 35 acres for farming and food production uses.

PLN2: The future land use designation in the Comprehensive Plan is Urban Residential. This contemplates single and multi-family housing at a density of one dwelling unit per acre or greater.

PLN3: Minimum setbacks for a principal structure are 50 feet from the front property line, and 10 feet from the side property lines, and 20 feet from the rear property lines. The required section line setback is 120 feet. Therefore, a 120-foot setback is required from the section line along West 128th Avenue and Zuni Street. The maximum height for a non-agricultural structure is 35 feet. The proposed structure does not meet the required section line setbacks. How tall are the proposed structures?

PLN4: The maximum permitted building height is 35 feet. How tall are the proposed structures?

PLN5: Landscaping shall be required for this site, and the proposed landscaping meets the County's landscaping requirements.

PLN6: Proof of water and sewer is required to be submitted with the application. However, proof of a commercial well permit and septic field was not submitted. Please obtain proof of these items and submit them to the County.

PLN7: Conditional use permits require an expiration date. Once the use as expired, the applicant shall reapply for the use. How long would the applicant like to request the conditional use permit? 5-10 years is typical.

PLN8: What type of lighting is proposed for the site?

PLN9: The criteria for approval for conditional use permits include:

- The conditional use is permitted in the applicable zone district.
- The conditional use is consistent with the purposes of these standards and regulations.
- The conditional use will comply with the requirements of these standards and regulations including, but not limited to, all applicable performance standards.
- The conditional use is compatible with the surrounding community and not detrimental to the future development of the area or the inhabitants.
- All off site impacts have been addressed.
- The site is suitable for the proposed use.
- The site plan will provide the most convenient and functional use of the lot including the parking scheme, traffic circulation, open space, fencing, screening, landscaping, signage, and lighting.
- Sewer, water, storm water drainage, fire protection, police protection, and roads are to be available and adequate to serve the needs of the conditional use as designed and proposed.

Commenting Division: Engineering Review #2

Name of Reviewer: Greg Labrie

Date: 02/14/2018

Email: ladams@adcogov.org

Resubmittal Required

ENG1; The northern most driveway from the site at Alcott Street onto Zuni Street shall be a right-in/right-out access and not a 3/4 movement access. The 3/4 movement would overlap the functional area up-stream from the signalized intersection at 128th and Zuni Street. Despite the low anticipated volumes for southbound left turning vehicles, introducing conflict points near a signalized intersection on an arterial roadway represents a safety risk that is not in the public interest. In addition, the proposed restriping at this intersection to allow for a 50 ft. Southbound left would require the shifting of approach lanes and storage lengths for the northbound movements at W. 128th Avenue and Zuni Street. Changes to striping configurations which impact this signal may also require review and approval from the City and County of Broomfield.

ENG2: Prior to scheduling a final plat/FDP BOCC hearing (if needed) or issuance of building permits, whichever is required first, the developer is required to submit for review and receive approval of all construction documents (construction plans and reports). Construction documents shall include, at a minimum, onsite and public improvements construction plans, drainage report, traffic impact study. All construction documents must meet the requirements of the Adams County Development Standards and Regulations. The developer shall submit to the Adams County Development Review Engineering division the following: Engineering Review Application, Engineering Review Fee, two (2) copies of all construction documents.

ENG3: The proposed site is fronted by W 128th Ave and Zuni Street; both of which are classified as major/principle Arterial roadways. The Adams County Development Standards and Regulations limits access to Arterial roadways. For the development to be allowed two access onto Arterial roadways, the second access must either be required for emergency services (i.e. by the jurisdictional fire district) or, the TIS must prove that the additional access would significantly benefit the safety and operation of the roadway and is necessary to the safe and efficient use of the property.

ENG4: W 128th Ave is under the jurisdiction of the City of Westminster. The applicant will be required to obtain an access permit from the City of Westminster to allow the W 128th Ave access. Adams County cannot approve this access. A copy of the approved access permit must be given to Adams County prior to construction or building permit issuance.

ENG5: Development of this site will require the construction of public roadway improvements. Those improvements will include curb, gutter and walk, constructed to the County's standard cross section for a major/principle arterial roadway.

ENG6: The proposed site plan shows a detention pond being located at the southern end of the site. No outfall for this pond is shown. The developer/applicant is strongly urged to investigate a potential outfall for this pond. It does not appear that the County has any public storm sewer adjacent to the site. The Big Dry Creek is located to the east of the site, which is a potential outfall point but, is located on land owned by the City of Westminster. An easement from the City would be required to construct this outfall. The developer/applicant is required to obtain all easement.

Commenting Division: Planner Review #2

Name of Reviewer: Libbie Adams

Date: 02/14/2018

Email: ladams@adcogov.org

Complete

PLN1: While the applicant has given an explanation in regards to the future land use designation of Urban Residential, staff does not find the proposed use of mini storage as compliant with the future land use designation.

PLN2: Applicant has updated site plan showing setbacks that conform to the A-3 zone district and section line requirements.

PLN3: Applicant has stated structure will be 35 feet in height; this is the maximum height for a principal structure in the A-3 zone district.

PLN4: While the landscape meets Adams County standards, Westminster is requesting a 15-foot landscape buffer along the perimeter of the site adjacent to open space. If approved, this would be a condition of approval.

PLN5: Applicant submitted information on the well and septic. Applicant has received a well permit for the Colorado Division of Water Resources. Applicant has not submitted proof of sewer services. Please submit proof from Tri County the onsite wastewater plans have been approved.

PLN7: Applicant did not specify a time frame for the conditional use permit. For a first time conditional use permit, if staff recommends approval, it is typically for 5 years.

PLN8: For lighting for parking areas, please refer to Section 4-12-02-07. Lighting requirements will be conditions of approval, if approved. Lights shall not shine onto adjacent properties or rights-of-way.

Commenting Division: Engineering Review #2

Name of Reviewer: Greg Labrie

Date: 02/09/2018

Email: glabrie@adcogov.org

Resubmittal Required

ENG1; The northern most driveway from the site at Alcott Street onto Zuni Street shall be a right-in/right-out access and not a 3/4 movement access. The 3/4 movement would overlap the functional area up-stream from the signalized intersection at 128th and Zuni Street. Despite the low anticipated volumes for southbound left turning vehicles, introducing conflict points near a signalized intersection on an arterial roadway represents a safety risk that is not in the public interest. In addition, the proposed restriping at this intersection to allow for a 50 ft. Southbound left would require the shifting of approach lanes and storage lengths for the northbound movements at W. 128th Avenue and Zuni Street. Changes to striping configurations which impact this signal may also require review and approval from the City and County of Broomfield.

Commenting Division: Engineering Review #3

Name of Reviewer: Greg Labrie

Date: 04/19/2018

Email: glabrie@adcogov.org

Complete

The following comments are conditions of the CUP:

ENG1: The applicant shall be responsible to ensure compliance with all Federal, State, and Local water quality construction requirements. The project site is within the County's MS4 Stormwater Permit area. The proposed development exceeds 1 acre of ground disturbance, therefore, the applicant shall be responsible to prepare the SWMP plan using the Adams County ESC Template, and obtain both a County SWQ Permit and State Permit COR-030000.

ENG2: Prior to scheduling a final plat/FDP BOCC hearing (if needed) or issuance of building permits, whichever is required first, the developer is required to submit for review and receive approval of all construction documents (construction plans and reports). Construction documents shall include, at a minimum, onsite and public improvements construction plans, drainage report, traffic impact study. All construction documents must meet the requirements of the Adams County Development Standards and Regulations. The developer shall submit to the Adams County Development Review Engineering division the following: Engineering Review Application, Engineering Review Fee, two (2) copies of all construction documents.

ENG3: Zuni Street is under the jurisdiction of the City of Broomfield and W 128th Ave is under the jurisdiction of the City of Westminster. The applicant will be required to obtain access permits from both jurisdictions for the proposed access points. Adams County cannot approve the access points. A copy of the approved access permits must be given to Adams County prior to construction or building permit issuance.

ENG4: Development of this site will require the construction of public roadway improvements. Those improvements will include curb, gutter and sidewalk.

Commenting Division: ROW Review #1

Name of Reviewer: Marissa Hillje

Date: 08/24/2017

Email: mhillje@adcogov.org

Resubmittal Required

ROW1: DRAINAGE EASEMENT: A drainage easement should be granted per drainage study: Details as to the character of the easement will need to be worked out between Applicant and Adams County Development Services staff. The services of a licensed Professional Land Surveyor should be secured to create the legal description and exhibit of the permanent drainage easement.

ROW2: SECTION LINE SETBACKS: 128th Ave and Zuni St. are both section lines. All proposed structures in A-3 along section lines must be setback 120' from property line. Please show setback dimensions from section lines (approx. middle of Zuni St and 128th Ave) to proposed structures. A detailed land survey may be required in order to show that buildings will not encroach upon the setback requirements.

ROW3: RIGHT-OF-WAY DEDICATION: The property is adjacent to Zuni St. Zuni St. is classified as a Major Arterial Road and is in City of Broomfield jurisdiction. Please contact City of Broomfield for Right-of-Way width requirements.

ROW4: RIGHT-OF-WAY DEDICATION: The property is adjacent to 128th Ave. 128th Ave is in City of Westminster jurisdiction. Please contact City of Westminster for Right-of-Way width requirements.

ROW5: RIGHT-OF-WAY DEDICATION: The services of a licensed Professional Land Surveyor should be secured to create the description of the right-of-way dedication.

Commenting Division: Parks Review #1

Name of Reviewer: Aaron Clark

Date: 08/02/2017

Email: aclark@adcogov.org

Complete

Property to the south (Parcel #0157333000002) is under a conservation easement held by Adams County. Development shall not impair the conservation values of the neighboring easement.

Commenting Division: ROW Review #3

Name of Reviewer: Marissa Hillje

Date: 04/16/2018

Email: mhillje@adcogov.org

Complete

ROW1: As a condition of the permit and precedent to building permit issuance, drainage easements with exhibit, legal description and signed agreements shall be submitted to ROW specialist and engineer for review and recording.

ROW2: Right-of-way dedication is required for this conditional use permit and will be a condition to this case. Legal description and exhibit should be submitted to Adams County for Zuni St. Zuni St is classified as a principal arterial road per the 2012 Adams County Master Transportation Plan. As such it should have a half right-of-way width of 70 feet.

ROW3: The applicant will be required to work with City of Westminster to dedicate right of way needed for W128th Ave.

Commenting Division: Planner Review #3

Name of Reviewer: Greg Barnes

Date: 04/30/2018

Email: gjbarnes@adcogov.org

Resubmittal Required

PLN 1B: It is noted that you will not be pursuing a comprehensive plan amendment. Please note that inconsistency with the future land designation may be problematic in making the case that the project is consistent with the comprehensive plan, as an urban residential designation.

PLN3B: The maximum building height for non-agricultural structures in the A-3 zone district is 35'. Unfortunately, a 42' building height will not comply with the zone district standards and therefore fail to meet the criterion of approval relating to conformance with Development Standards.

PLN07B: In regard to the length of approval for a conditional use permit, the Board of County Commissioners ultimately make the final decision. I will present the case you made to our staff when we schedule your case for public hearings. At that time, we will make a recommendation on this project. At the public hearings, you will have the opportunity to state your case for longer approval periods.

Commenting Division: Notifications and Referrals Review #3

Name of Reviewer: Greg Barnes

Date: 05/04/2018

Email: gjbarnes@adcogov.org

Resubmittal Required

From: [Loeffler - CDOT, Steven](#)
To: [Libbie Adams](#)
Subject: RCU2017-00035, Channing Self Storage
Date: Thursday, August 31, 2017 7:45:37 AM

Libbie,

I have reviewed the referral named above for a CUP to allow a self storage facility on property located at 12750 Zuni Street and have no objections.

Thank you for the opportunity to review this referral.

Steve Loeffler
Permits Unit



P [303.757.9891](tel:303.757.9891) | F [303.757.9886](tel:303.757.9886)
2000 S Holly Street, Denver, CO 80222
steven.loeffler@state.co.us | www.codot.gov | www.cotrip.org



COMMUNITY DEVELOPMENT

One DesCombes Drive • Broomfield, CO 80020 • 303.438.6389 • www.broomfield.org

Exhibit 4.3 Broomfield Comments

30 Aug 17

Libbie Adams
ADAMS COUNTY DEPARTMENT OF COMMUNITY AND ECONOMIC DEVELOPMENT
4430 South Adams County Parkway
Suite W2000A
Brighton, CO 80601-8216

RE: Channing Self Storage
RCU2017-00035

Dear Ms. Adams,

Thank you for referring the proposed Channing Self Storage development to Broomfield for comments. Our comments are as follows:

- Should the applicant wish Broomfield to supply sanitary sewer service to the development, a letter of request will need to be submitted to the Planning Division. The request will require City Council approval of an utility service agreement to provide service which may include the review and approval of a site development plan and any improvements associated with that plan.
- Current traffic conditions at the intersection of Zuni Street and West 128th Avenue (Midway Blvd in Broomfield) suggest that an additional northbound through lane and additional eastbound through lane is warranted. The improvements required to add the additional lanes would be on the north and east portions in Adams County at the area of the proposed development.
- Zuni Street and West 128th Avenue are included in the Broomfield Transportation Plan as arterial streets. To complete both streets to meet the arterial street standard and handle anticipated traffic, additional right-of-way (ROW) is needed on the east side of Zuni Street and on the south Side of of West 128th Avenue. The Broomfield standards and specifications has a typical ROW section of 138 feet. Existing ROW on the Broomfield side of Zuni Street is approximately 72 feet, leaving an additional 66 feet required for an arterial roadway.
- The proposed plan needs to identify roadway improvements proposed for Zuni Street (and on West 128th Avenue) such as roadway widening, additional northbound through lanes, additional eastbound through lane, curb and gutter, sidewalks and intersection improvements.
- Broomfield would prefer the new development align their Zuni access point with the access established for the Walgreens on the west side of Zuni.
- Consideration should be given for a new mast arm signal at the intersection of Zuni and West 128th.
- Details of overhead street lighting should be included in the plan.

Please let me know if you have questions or need clarification of any of our comments.

Sincerely,

Alice Hanson
Senior Planner
303-438-6383
ahanson@broomfield.org

From: [McConnell, John](#)
To: [Libbie Adams](#)
Subject: Conditional Use Permit to allow a self storage facility on Agriculture-3 (A-3) property RCU2017-00035
Date: Thursday, August 31, 2017 6:06:42 PM

Libbie,

Thank you for allowing us to review and comment on the above-referenced application. This referral was shared with other City of Westminster departments and divisions including the Fire Department; Public Works and Utilities; Parks, Recreation and Libraries (which includes the Open Space Division); and the Community Development Department's Engineering and Planning Divisions. The following commentary is a summary of the collective feedback provided from the review staff of the aforementioned groups.

This property is uniquely situated between the City and County of Broomfield and the City of Westminster with the northern, eastern, and southern adjacent properties being wholly within Westminster. The adjacent property to the south is designated public open space and was purchased in 2013 using City of Westminster Open Space Funds and Adams County Open Space Funds. Adams County holds a conservation easement to preserve this property for wildlife habitat and for scenic views into the Big Dry Creek corridor. Additionally, the adjacent property to the east is also designated public open space and was purchased incrementally over many years to help preserve the Big Dry Creek corridor. These purchases also utilized City of Westminster Open Space Funds and Adams County Open Space Funds in addition to Great Outdoors Colorado funds.

As a whole, the Big Dry Creek corridor consists of over 900 acres of open space and 200 acres of park land along the creek between Standley Lake and I-25 in the City of Westminster. The Big Dry Creek Trail is a National Recreation Trail and our citizens take great pride in the many benefits that it provides to our community in the areas of recreation, mental and physical wellness, and environmental stewardship. Recognizing the importance of this most prized community asset, our 2013 Comprehensive Plan contemplated that the subject property be developed as medium density residential if annexed into the City of Westminster. This property was envisioned as the ideal spot for a compact and desirable neighborhood with direct access to all of the recreational benefits of the adjacent open space. That being said, I want to make it clear that the City of Westminster acknowledges and respects the jurisdiction that Adams County maintains with regard to this property and we understand that it is solely within the County's discretion to approve or deny this Conditional Use Permit. Therefore, we would like to provide the County with the following comments and technical advice regarding the proposed development.

First, and relative to the importance of our open space as articulated above, we respectfully request that Adams County consider imposing a robust landscaped buffer of 15 feet minimum along the perimeter of the site that is adjacent to the open space. This is intended to help preserve the viewshed and the ease the transition between the two adjacent uses.

Additionally, our Open Space and Engineering Divisions would like to review the stormwater management plans if the Conditional Use Permit is approved and the proposed development moves forward. In accordance with Westminster City Council Resolution 8, Series of 2009, the City generally

does not allow for any type of encroachment or use of public open space in conjunction with private development. This would include, among other things, stormwater outfall. In order to be assured that this proposal complies with this directive, it would be highly desirable for us to have the opportunity to review more detailed plans when they are submitted.

Our Public Works and Utilities (PWU) Staff have confirmed that the City declined service to this parcel for a fire line, domestic service, and sanitary service some months ago because the parcel is located outside our service area. The applicant is not requesting domestic or sanitary service in their application to Adams County so the PWU Staff has no further comment on those items.

Given this project is outside of the City of Westminster jurisdiction, the following comments are recommendations from our Fire Department based on the assumption this would be reviewed under the 2015 edition of the IFC. IFC requirements would be based on structure size, construction type, occupancy classification and occupancy load. A detailed response would be based on that information. Having said that, below are general requirements applicable to all projects:

Access:

1. Section 503 require 20 foot wide fire lanes (a fire lane is anything a fire apparatus travels over), 13 foot-6 inch clearance overhead, all-weather driving surface, access to within 150 feet of all portions of the ground floor, dead end roads over 150 feet require an approved turn-around and any security gates or barriers must be approved.
2. Section 504 requires firefighter access to exterior doors and openings.
3. Appendix D has more specific requirements including but not limited to aerial apparatus roads for structures over 30 feet shall have 26 foot wide access roads.
4. Strongly recommend two points of access onto the property.

Water Supply:

1. Section 507 requires that an approved water supply capable of supplying the required fire flow for fire protection shall be provided to all structures. This is for exterior firefighting operations. For example; referencing Appendix B, a 1,500sqft type VB structure would require 1500gpm for 2 hours resulting in 180,000 gallons of stored water. The larger the structure, the more stored water that is required. There are some allowances if the structure has an automatic fire suppression system installed. Domestic usage would be in addition to this.
2. Section 507.5 and 507.5.1 require fire hydrant systems be installed where fire hydrants that provide the required fire flow are further than 400 feet from the facility or structures. Given this property is an enclave of Adams County, who would provide the water supply for this project?
3. If it is determined structures are required to have installed an automatic fire suppression system, then adequate water storage for the fire suppression system (interior) shall be provided in addition to the requirements for fire flow (exterior) as provided by fire hydrants.

Monitored fire detection systems would also be strongly recommended. If this Conditional Use Permit is approved and the proposed development moves forward, our Fire Department would be interested in reviewing the details on the cistern system and other aspects of the development plan related to fire protection as Westminster Fire would most likely be a first responder to a fire at this

location.

Our Engineering Division has provided the following information regarding the required public right of way improvements for 128th Avenue and Zuni Street:

128th Ave:

- 128th Ave is classified as a Minor Arterial with a total ROW of 130 linear feet. This project shall dedicate ROW to provide a total of 65 LF from the section line of 128th Ave.
- This project shall make improvements which provide two eastbound through lanes and locate the curb and gutter to provide a 5' eastbound bicycle lane in addition to the detached sidewalk.
- The offsite transition shall be per Section 6.25 of the City of Westminster Standards and Specifications.
- The characteristic of the proposed access point to 128th shall be determined upon review of the Traffic Report. Based on this, additional striping modifications may be required.

Zuni St:

- Zuni St is classified as a Minor Arterial with a total ROW of 130 linear feet. This project shall dedicate ROW to provide a total of 65 LF from the section line of Zuni St.
- This project shall make improvements which provide two northbound through lanes, a right turn lane onto 128th Ave and locate the curb and gutter to provide a 5' northbound bicycle lane in addition to the detached sidewalk. Along the property frontage.
- The offsite transition shall be per Section 6.25 of the City of Westminster Standards and Specifications.
- The characteristic of the proposed access point to Zuni shall be determined upon review of the Traffic Report. Based on this, additional striping modifications may be required.
- To provide a left turn into the site, the Traffic Report must show that there is enough room for the existing northbound left turn storage and taper as well as a southbound left turn storage. It may make more sense to locate the access point further south.
- The City and County of Broomfield controls the signalized intersection of 128th/Zuni and this project shall coordinate with them with regards to coordination of detection zone changes due to these improvements.

If you have any questions or need additional clarification on any of the above information, please don't hesitate to call or email me. If necessary, I can get you connected to the individual Staff members who contributed to this referral response. Again, we very much appreciate our ongoing relationship with Adams County and the opportunity to provide comment on this proposal.

Respectfully,
John

John McConnell, AICP | Principal Planner

City of Westminster Community Development
V: 303.658.2474



4800 West 92nd Avenue, Westminster, CO 80031
Monday – Thursday, 7am to 6pm (Closed Friday)

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Westminster Comments

From: [McConnell, John](#)
To: [Libbie Adams](#)
Subject: Conditional Use Permit to allow a self storage facility on Agriculture-3 (A-3) property RCU2017-00035
Date: Thursday, August 31, 2017 6:06:42 PM

Libbie,

Thank you for allowing us to review and comment on the above-referenced application. This referral was shared with other City of Westminster departments and divisions including the Fire Department; Public Works and Utilities; Parks, Recreation and Libraries (which includes the Open Space Division); and the Community Development Department's Engineering and Planning Divisions. The following commentary is a summary of the collective feedback provided from the review staff of the aforementioned groups.

This property is uniquely situated between the City and County of Broomfield and the City of Westminster with the northern, eastern, and southern adjacent properties being wholly within Westminster. The adjacent property to the south is designated public open space and was purchased in 2013 using City of Westminster Open Space Funds and Adams County Open Space Funds. Adams County holds a conservation easement to preserve this property for wildlife habitat and for scenic views into the Big Dry Creek corridor. Additionally, the adjacent property to the east is also designated public open space and was purchased incrementally over many years to help preserve the Big Dry Creek corridor. These purchases also utilized City of Westminster Open Space Funds and Adams County Open Space Funds in addition to Great Outdoors Colorado funds.

As a whole, the Big Dry Creek corridor consists of over 900 acres of open space and 200 acres of park land along the creek between Standley Lake and I-25 in the City of Westminster. The Big Dry Creek Trail is a National Recreation Trail and our citizens take great pride in the many benefits that it provides to our community in the areas of recreation, mental and physical wellness, and environmental stewardship. Recognizing the importance of this most prized community asset, our 2013 Comprehensive Plan contemplated that the subject property be developed as medium density residential if annexed into the City of Westminster. This property was envisioned as the ideal spot for a compact and desirable neighborhood with direct access to all of the recreational benefits of the adjacent open space. That being said, I want to make it clear that the City of Westminster acknowledges and respects the jurisdiction that Adams County maintains with regard to this property and we understand that it is solely within the County's discretion to approve or deny this Conditional Use Permit. Therefore, we would like to provide the County with the following comments and technical advice regarding the proposed development.

First, and relative to the importance of our open space as articulated above, we respectfully request that Adams County consider imposing a robust landscaped buffer of 15 feet minimum along the perimeter of the site that is adjacent to the open space. This is intended to help preserve the viewshed and the ease the transition between the two adjacent uses.

Additionally, our Open Space and Engineering Divisions would like to review the stormwater management plans if the Conditional Use Permit is approved and the proposed development moves forward. In accordance with Westminster City Council Resolution 8, Series of 2009, the City generally

does not allow for any type of encroachment or use of public open space in conjunction with private development. This would include, among other things, stormwater outfall. In order to be assured that this proposal complies with this directive, it would be highly desirable for us to have the opportunity to review more detailed plans when they are submitted.

Our Public Works and Utilities (PWU) Staff have confirmed that the City declined service to this parcel for a fire line, domestic service, and sanitary service some months ago because the parcel is located outside our service area. The applicant is not requesting domestic or sanitary service in their application to Adams County so the PWU Staff has no further comment on those items.

Given this project is outside of the City of Westminster jurisdiction, the following comments are recommendations from our Fire Department based on the assumption this would be reviewed under the 2015 edition of the IFC. IFC requirements would be based on structure size, construction type, occupancy classification and occupancy load. A detailed response would be based on that information. Having said that, below are general requirements applicable to all projects:

Access:

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Monitored fire detection systems would also be strongly recommended. If this Conditional Use Permit is approved and the proposed development moves forward, our Fire Department would be interested in reviewing the details on the cistern system and other aspects of the development plan related to fire protection as Westminster Fire would most likely be a first responder to a fire at this

location.

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- This project shall make improvements which provide two eastbound through lanes and locate the curb and gutter to provide a 5' eastbound bicycle lane in addition to the detached sidewalk.
- The offsite transition shall be per Section 6.25 of the City of Westminster Standards and Specifications.
- The characteristic of the proposed access point to 128th shall be determined upon review of the Traffic Report. Based on this, additional striping modifications may be required.

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- Zuni St is classified as a Minor Arterial with a total ROW of 130 linear feet. This project shall dedicate ROW to provide a total of 65 LF from the section line of Zuni St.
- This project shall make improvements which provide two northbound through lanes, a right turn lane onto 128th Ave and locate the curb and gutter to provide a 5' northbound bicycle lane in addition to the detached sidewalk. Along the property frontage.
- The offsite transition shall be per Section 6.25 of the City of Westminster Standards and Specifications.
- The characteristic of the proposed access point to Zuni shall be determined upon review of the Traffic Report. Based on this, additional striping modifications may be required.
- To provide a left turn into the site, the Traffic Report must show that there is enough room for the existing northbound left turn storage and taper as well as a southbound left turn storage. It may make more sense to locate the access point further south.
- The City and County of Broomfield controls the signalized intersection of 128th/Zuni and this project shall coordinate with them with regards to coordination of detection zone changes due to these improvements.

If you have any questions or need additional clarification on any of the above information, please don't hesitate to call or email me. If necessary, I can get you connected to the individual Staff members who contributed to this referral response. Again, we very much appreciate our ongoing relationship with Adams County and the opportunity to provide comment on this proposal.

Respectfully,
John

John McConnell, AICP | Principal Planner

City of Westminster Community Development
V: 303.658.2474



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Fire Prevention Division
 101 Spader Way
 Broomfield, CO 80020
 720-887-8217 Fax 720-887-8336
www.northmetrofire.org

Steven Gosselin
 Division Chief

September 7, 2017

Ms. Libbie Adams
 Community and Economic Development
 Adams County, Colorado
 4430 S Adams County Pkwy, Suite W2000A
 Brighton, CO 80601

Via e-mail: LAdams@adcogov.org

Dear Ms. Adams:

The North Metro Fire Rescue District's Fire Prevention Division has completed a review of the conditional use permit referral, and the firefighting water supply alternative methods request, for the Channing Self Storage (Case #RCU2017-00035) project proposed to be located at 12750 Zuni Street in unincorporated Adams County, Colorado. At this time, the Fire District **cannot approve** those plans for the following reasons:

- The specific plans and correspondence that have been reviewed by the Fire District are as follows:
 - *Channing Self Storage* Request for Comments, with cover letter dated August 9, 2017;
 - *Fire Water Requirements* letter, prepared by Veritas Fire Engineering, Inc., dated August 7, 2017; and,
 - *Conceptual Hydrant Location Plan*, dated August 7, 2017.
- Site and building design and construction shall be in accordance with the provisions of the adopted building and fire codes at the time of permit issuance. The currently adopted codes are the 2012 International Fire Code (IFC) and the 2012 International Building Code (IBC), as adopted by Adams County.

Water Supply Requirements for Firefighting Purposes:

- Information provided during project meetings, as well as that provided within submitted plans and documents, indicate that a municipal water supply is not available for the site. The project team has submitted the aforementioned *Fire Water Requirements* letter, which proposes an alternative method to a municipal water supply. However, the Project Narrative included within the referral from Adams County Planning indicates that, "*Preliminary discussions with Broomfield will allow for connection to their sewer system pending a design review.*" Given that the ownership is pursuing sewer services with Broomfield, the Fire District believes that the IFC-required water supply could similarly be provided by Broomfield. Further, the Fire District understands from conversations with the Broomfield Community Development Director that Broomfield would be

willing to provide water if an agreement was developed (i.e., an agreement with Broomfield City Council); but no such agreement has been requested. Broomfield has successfully initiated similar agreements recently with two Jefferson County properties in the same situation. Alternative methods require approval by the Fire District; and the Fire District believes that connection to the Broomfield water system is a better long-term solution to a private water storage tank and dedicated fire pump.

- A detailed scalable water supply/utility plan shall be submitted to the Fire District for review and approval. The water supply plan shall show the sizes and locations of both existing and proposed water mains and fire hydrants to be installed and where such proposed mains will connect to existing infrastructure.
 - The Fire District prefers that site plans are submitted electronically to the Fire District via PDF document. Electronic (i.e., PDF) versions of plans submitted in paper format will be requested from the design team at the time of plan review.

Fire Department Access Requirements:

- Access appears to meet the requirements of the IFC, *in concept*. A detailed, scalable site plan shall be submitted to the Fire District for review and approval. The site plan shall show all access roads, proposed fire lanes (including a “NO PARKING – FIRE LANE” signage plan), and all dimensions and turning radii as required (see below).
 - The Fire District understands from the Fire Water Requirements letter that the site design has been modified from that shown in the Request for Comments packet, e.g., site access points from both Zuni St. and 128th Avenue have been added and modified.
 - Both versions of the site layout indicate medians in the entrance/exits to/from both Zuni St. and 128th Avenue. The Fire District will require that any proposed traffic control raised-medians not be within the required turning radii width for fire apparatus. Painted lines, or cobblestone/brick medians that are flush with the road surface, are allowed.
 - The Fire District prefers that site plans are submitted electronically to the Fire District via PDF document. Electronic (i.e., PDF) versions of plans submitted in paper format will be requested from the design team at the time of plan review.
- Pursuant to IFC Section 503.1.1, fire apparatus access roads shall be provided for every facility, building, or portion of a building when any portion of an exterior wall of the first story of the building or facility is located more than 150 feet from fire apparatus access as measured by an approved route around the exterior of the building or facility.
- Pursuant to IFC Section 503.2, fire apparatus access roads shall meet the following specifications:
 - Fire apparatus access roads shall be designed and maintained to support the imposed loads of fire apparatus (i.e., 85,000 lbs.) and shall be surfaced (i.e. hot-rolled asphalt or poured-and-cured concrete) so as to provide all-weather driving capabilities.

- Pursuant to IFC Section 503.2.1, fire apparatus access roads shall have an unobstructed width of not less than 24 feet and an unobstructed vertical clearance of not less than 13 feet 6 inches. Landscaping shall be designed to accommodate a 13-foot 6-inch unobstructed vertical clearance across the entire 24-foot unobstructed width of all fire department access roadways.
 - Pursuant to IFC Section 503.2.4, in order for fire department access roads to be navigable by fire apparatus, turning radii shall be a minimum of 25 feet inside and 50 feet outside, measured from the same point.
 - Under the authority of IFC Section 503.1.2, the Fire District requires two means of emergency vehicle access into all residential subdivisions and all other densely populated areas (which may include corporate campuses, high-rise buildings, office complexes, etc.), unless other adequate access arrangements are specifically approved by the Fire District.
- The plans show that access to, and within, the site will be controlled by many security gates. Pursuant to IFC Section 503.6, the Fire District's Fire Prevention Division must approve all fences or gates that block fire department access roadways. The Fire District will allow gated access points provided the following criteria have been met:
 - Each fence or gate shall be able to be opened for a clear width of at least 20 feet.
 - All gates that cross roadways shall be signed "NO PARKING—FIRE LANE" and shall be provided with appropriate Knox Company access equipment.
 - Electric gate openers shall be listed in accordance with Underwriters Laboratories 325, *Door, Drapery, Gate, Louver, and Window Operators and Systems*.
 - Gates intended for automatic operation shall be designed, constructed, and installed in accordance with ASTM F2200, *Standard Specification for Automated Vehicular Gate Construction*.
 - The primary means of access to the property in the event of an emergency will be via the use of an Opticom (or Opticom-compatible brand, e.g., Tomar) sensor unit, one located at each entry point, providing automatic ingress and egress. The activation of this sensor unit will automatically open all gates to a width of no less than 20 feet unobstructed.
 - A secondary means of entering the property should the Opticom system fail, shall consist of a Knox Company key-operated switch, Model #3502. This system shall automatically open the gate at each entry point when a key is inserted in the activation unit. This particular means of access may also be used when fire personnel are entering the property for non-emergent reasons (to conduct fire safety inspections, etc).
 - Another means of entering the property shall also be installed. This shall consist of a touch pad control system whereby a code provided to the Fire District will open the gates when activated.
 - If the power to all gates fails for any reason, all gates shall automatically open and remain open until the power is fully restored.
 - Break-away type gates shall be utilized at all entry points such that when pushed against with a vehicle, the break-away feature shall permit the gates to open fully.
 - Gates shall be located a minimum of 30 feet from the roadway to allow a vehicle to stop without obstructing traffic.

- Upon completion of the previously noted entry features, an inspection of these systems shall be completed and approved by the Fire District prior to actually utilizing any means of restricted access to this complex.
 - While these particular methods are used by the Fire District, they may or may not work with or be approved by other emergency organizations. The Fire District requests that you obtain approval and resolve any differences as it relates to restricted access to the property with the City and County of Broomfield Police Department before any type of restricted access system is installed at the facility. The Fire District requests that verification of contacting these agencies be made to the District in writing.
- Pursuant to IFC Section 503.3, fire apparatus access roads shall be permanently signed and/or marked “NO PARKING – FIRE LANE” in accordance with municipal sign/traffic standards and the following specifications:
 - There shall be no parallel parking along any traffic aisle or roadway that passes in front of a fire hydrant for a distance of 15 feet on either side of that fire hydrant, on that side of the traffic aisle or roadway closest to the hydrant [CRS 42-4-1204(2)(b)]. Hydrants located on islands between perpendicular parking stalls do not need to meet the parallel parking clearance, but rather must have 3-feet minimum of working space around the hydrant (i.e., 3-foot radius) pursuant to IFC Section 507.5.5.
 - Along any traffic aisle or roadway that passes in front of the fire department connection (FDC) to a sprinkler system or standpipe, for a distance of six feet on each side of the FDC, on that side of the traffic aisle or roadway closest to the FDC.
 - Access roads less than 30 feet wide shall be marked as fire lanes on both sides of the road.
 - Access roads at least 30 feet wide but less than 36 feet wide shall have at least one side of the road marked as a fire lane.
 - Access roads at least 36 feet wide need not have fire lane markings.
 - Pursuant to IFC Section 503.4.1, traffic calming devices shall be prohibited unless approved by the Fire District. Traffic calming devices (i.e., speed bumps, raised medians, roadways less than 24 feet in width, etc.) designed to slow traffic are generally prohibited based on the fact that those measures, even if navigable by fire apparatus, generally necessitate that fire apparatus significantly decrease their speed (even more so than that would be required by a passenger vehicle) while responding to an emergency, thereby causing significant increases in response time.

The Fire District will issue more specific comments regarding the proposed self-storage facility if the project progresses past the concept stage and more detailed plans are submitted to the Fire District for review.

Nothing in this review is intended to approve of any aspect of this project that does not strictly comply with all applicable codes and standards. Any changes that are made to the plans will require additional review and comment by the Fire District.

If you have any questions regarding these comments, please contact me at 303-252-3542 or dwaller@nmfr.org.

Respectfully,

David Waller

David Waller, P.E., C.F.M.
Fire Safety Engineer I

DW/lr

cc: Mr. Michael Bray, AIA, dcb Construction Company, Inc.
Mr. Zachary Channing, Channing Corporation
Ms. Alice Hanson, City and County of Broomfield
Mr. Scott Lucas, P.E., R&R Engineers - Surveyors, Inc.
Mr. Ken Sutton, P.E., Veritas Fire
Mr. Seth Spiegel, Channing Corporation

lp09.08.17



Fire Prevention Division
101 Spader Way
Broomfield, CO 80020
720-887-8217 Fax 720-887-8336
www.northmetrofire.org

Steven Gosselin
Division Chief

February 14, 2018

Ms. Libbie Adams
Community and Economic Development
Adams County, Colorado
4430 S Adams County Parkway, Suite W2000A
Brighton, CO 80601

Via e-mail: LAdams@adcogov.org

Dear Ms. Adams:

The North Metro Fire Rescue District's Fire Prevention Division has completed a review of the revised conditional use permit referral, and the firefighting water supply alternative methods request, for the Store Self Storage (Case #RCU2017-00035) project proposed to be located at 12750 Zuni Street in unincorporated Adams County, Colorado. At this time, the Fire District **conditionally approves** those plans contingent on compliance with the following requirements:

- The specific plans which have been reviewed by the Fire District are as follows:
 - *Channing Self Storage* comment response letter, dated January 24, 2018;
 - *Store Self Storage* site development plans, dated revised January 19, 2018; and,
 - *Fire Water Requirements* letter, prepared by Veritas Fire Engineering, Inc., dated January 22, 2018.
- Site and building design and construction shall be in accordance with the provisions of the adopted building and fire codes at the time of permit issuance. The currently adopted codes are the 2012 International Fire Code (IFC) and the 2012 International Building Code (IBC), as adopted by Adams County.

Fire District Impact Fee:

- Pursuant to C.R.S. 29-20-1045, as a condition of issuance of a development permit by Adams County, the Fire District imposes an impact fee (or a mutually agreed to in-kind contribution) for capital facilities needed to serve the proposed new development within the jurisdiction.
 - The developer shall submit the signed *Impact Fee Form* with the other documentation required by the County as part of the development permit application process.
 - The impact fees shall be determined by the adopted *Impact Fee Schedule*.
 - Upon approval and issuance of a development permit, the development permit shall require the developer to pay the impact fee to the Fire District.

- The Fire District shall promptly notify the County when it has collected the Fire District Impact Fee, and **Adams County shall not issue any building permit in connection with the new development until it has received such notification from the Fire District.**

Fire Department Access Requirements:

- Access appears to meet the requirements of the Fire District. Pursuant to IFC Section 503.1.1, fire apparatus access roads shall be provided for every facility, building, or portion of a building when any portion of an exterior wall of the first story of the building or facility is located more than 150 feet from fire apparatus access as measured by an approved route around the exterior of the building or facility.
- Pursuant to IFC Sections 3310.1 and 3312.1, approved access roads must be constructed prior to any vertical construction and/or to combustible materials being delivered to the site, whichever comes first. Temporary access roads are prohibited unless specifically approved by the Fire District.
- Pursuant to IFC Section 503.2, fire apparatus access roads shall meet the following specifications:
 - Fire apparatus access roads shall be designed and maintained to support the imposed loads of fire apparatus (i.e., 85,000 lbs.) and shall be surfaced (i.e., hot-rolled asphalt or poured-and-cured concrete) so as to provide all-weather driving capabilities.
 - Pursuant to IFC Section 503.2.1, fire apparatus access roads shall have an unobstructed width of not less than 24 feet and an unobstructed vertical clearance of not less than 13 feet 6 inches. Landscaping shall be designed to accommodate a 13-foot 6-inch unobstructed vertical clearance across the entire 24-foot unobstructed width of all fire department access roadways.
 - Pursuant to IFC Section 503.2.4, in order for fire department access roads to be navigable by fire apparatus, turning radii shall be a minimum of 25 feet inside and 50 feet outside, measured from the same point.
 - As provided for on the plans, under the authority of IFC Section 503.1.2, the Fire District requires two means of emergency vehicle access.
 - Any controlled vehicular traffic intersections shall be equipped with the Opticom (or Opticom-compatible brand, e.g., Tomar) emergency vehicle traffic control system. The system shall be installed at the property developer's expense.
- The plans show that access to, and within, the site will be controlled by security gates. Pursuant to IFC Section 503.6, the Fire District's Fire Prevention Division must approve all fences or gates that block fire department access roadways. The Fire District will allow gated access points provided the following criteria have been met:
 - Each fence or gate shall be able to be opened for a clear width of at least 20 feet.
 - All gates that cross roadways shall be signed "NO PARKING—FIRE LANE" and shall be provided with appropriate Knox Company access equipment.
 - Electric gate openers shall be listed in accordance with Underwriters Laboratories 325, *Door, Drapery, Gate, Louver, and Window Operators and Systems*.
 - Gates intended for automatic operation shall be designed, constructed, and installed in accordance with ASTM F2200, *Standard Specification for Automated Vehicular Gate Construction*.

- The primary means of access to the property in the event of an emergency will be via the use of an Opticom (or Opticom-compatible brand, e.g., Tomar) sensor unit, one located at each entry point, providing automatic ingress and egress. The activation of this sensor unit will automatically open all gates to a width of no less than 20 feet unobstructed.
 - A secondary means of entering the property should the Opticom system fail, shall consist of a Knox Company key-operated switch, Model #3502. This system shall automatically open the gate at each entry point when a key is inserted in the activation unit. This particular means of access may also be used when fire personnel are entering the property for non-emergent reasons (to conduct fire safety inspections, etc).
 - Another means of entering the property shall also be installed. This shall consist of a touch pad control system whereby a code provided to the Fire District will open the gates when activated.
 - If the power to all gates fails for any reason, all gates shall automatically open and remain open until the power is fully restored.
 - Break-away type gates shall be utilized at all entry points such that when pushed against with a vehicle, the break-away feature shall permit the gates to open fully.
 - Gates shall be located a minimum of 30 feet from the roadway to allow a vehicle to stop without obstructing traffic.
 - Upon completion of the previously noted entry features, an inspection of these systems shall be completed and approved by the Fire District prior to actually utilizing any means of restricted access to this complex.
 - While these particular methods are used by the Fire District, they may or may not work with or be approved by other emergency organizations. The Fire District requests that you obtain approval and resolve any differences as it relates to restricted access to the property with the City and County of Broomfield Police Department before any type of restricted access system is installed at the facility. The Fire District requests that verification of contacting these agencies be made to the District in writing.
- Pursuant to IFC Section 503.3, fire apparatus access roads shall be permanently signed and/or marked "NO PARKING – FIRE LANE" in accordance with municipal sign/traffic standards and the following specifications:
 - There shall be no parallel parking along any traffic aisle or roadway that passes in front of a fire hydrant for a distance of 15 feet on either side of that fire hydrant, on that side of the traffic aisle or roadway closest to the hydrant [CRS 42-4-1204(2)(b)]. Hydrants located on islands between perpendicular parking stalls do not need to meet the parallel parking clearance, but rather must have 3-feet minimum of working space around the hydrant (i.e., 3-foot radius) pursuant to IFC Section 507.5.5.
 - Along any traffic aisle or roadway that passes in front of the fire department connection (FDC) to a sprinkler system or standpipe, for a distance of six feet on each side of the FDC, on that side of the traffic aisle or roadway closest to the FDC.
 - Access roads less than 26 feet wide shall be marked as fire lanes on both sides of the road.
 - Access roads at least 26 feet wide but less than 32 feet wide shall have at least one side of the road marked as a fire lane.
 - Access roads at least 32 feet wide need not have fire lane markings.

- Pursuant to IFC Section 503.4.1, traffic calming devices shall be prohibited unless approved by the Fire District. Traffic calming devices (i.e., speed bumps, roadways less than 24 feet in width, “tight” traffic circle/roundabouts, etc.) designed to slow traffic are generally prohibited based on the fact that those measures, even if navigable by fire apparatus, generally necessitate that fire apparatus significantly decrease their speed (even more so than that would be required by a passenger vehicle) while responding to an emergency, thereby causing significant increases in response time.

Water Supply Requirements for Firefighting Purposes:

- The proposed alternative method to the IFC required fire flow, as documented within the Veritas Fire Engineering letter, is acceptable to the Fire District. As indicated in the letter, the proposed alternative method is to (synopsis provided here, see letter for full details):
 - Fully fire sprinkler all storage buildings at the site in accordance with IFC Section 903.3.1.1 (i.e., NFPA 13, 2016 edition) requirements. This would entail a wet-pipe system zoned per floor in the conditioned 3-story plus basement building, with provision for sprinklering the overhang as required by NFPA 13. Dry-pipe sprinkler systems would be installed for all unconditioned storage buildings, fed from a heated riser room enclosure in each building. All buildings would be designed for Ordinary Group II occupancy for storage up to 12 feet for Class IV commodities per Chapter 13 of NFPA 13.
 - Four hour fire-resistance-rated fire barriers consisting of fully grouted 8” CMU walls will be provided to divide the unheated storage buildings into approximately 5,000 square-foot areas.
 - A water tank providing a storage capacity of 180,000 gallons; i.e., a 1,500 GPM fire flow for a duration of 2 hours.
 - Provide a listed fire pump and controller capable of providing 1,500 gpm at approximately 70 psi to supply the sprinkler systems and provide adequate flow for the hydrant system.
 - A private underground water supply system supplying distributed fire hydrants.
 - All system components will be installed in accordance with the IFC and their respective applicable NFPA standards, e.g., NFPA 13, 20, 22, 24 and other standards as referenced.
- Pursuant to IFC Section 3312, water mains and all required hydrants shall be installed **before** the delivery of combustible materials to the site. Hydrants shall be maintained operational at all times thereafter, unless alternate provisions for water supply are approved by the Fire District.

Requirements for Construction Permits and Inspections:

- The Fire District will work with Adams County Community Development Engineering staff to issue the appropriate construction permits. Where the Fire District or Adams County lacks the necessary expertise, **approved special inspectors** must approve the installation and oversee the testing of water mains, hydrants, and other associated components of the proposed site fire protection system.
- Complete plans each component of the proposed site fire protection system to be installed shall be submitted for review and approval by the installing subcontractors prior to commencing the installation of the respective system. **Pursuant to IFC Section 105, installation of any part of a fire protection system without first obtaining a permit or the proper authorization from the Fire District is illegal, and will result in the assessment of additional fees.**

- **An inspection of the project's Fire District approved infrastructure (a.k.a., access roads, street signage, and fire protection components) will be required after it is installed and before the Fire District can concur with the issuance of any building permits by Adams County.** All requests for inspections must be made, and confirmed, with the Fire Prevention Division at least two business days in advance. Re-inspection fees may be charged for any failed inspection requiring an inspector to return to the site for further testing or inspection.

Nothing in this review is intended to approve of any aspect of this project that does not strictly comply with all applicable codes and standards. Any changes that are made to the plans will require additional review and comment by the Fire District.

If you have any questions regarding these comments, please contact me at 303-252-3542 or dwaller@nmfr.org.

Respectfully,

David Waller

David Waller, P.E., C.F.M.
Deputy Fire Marshal

DJW/lp

cc: Mr. Justin Blair, Chief Building Official, Adams County Building Safety Division
Mr. Michael Bray, AIA, dcb Construction Company, Inc.
Mr. Zachary Channing, Channing Corporation
Ms. Alice Hanson, City and County of Broomfield
Mr. Greg Labrie, P.E., Adams County Mr. Scott Lucas, P.E., R&R Engineers - Surveyors, Inc.
Mr. Seth Spiegel, Channing Corporation
Ms. Susan Stanton, The Stanton Solution
Mr. Ken Sutton, P.E., Veritas Fire

lp02.05.18



Fire Prevention Division
101 Spader Way
Broomfield, CO 80020
720-887-8217 Fax 720-887-8336
www.northmetrofire.org

Steven Gosselin
Division Chief

April 23, 2018

Mr. Greg Barnes
Community and Economic Development
Adams County, Colorado
4430 S Adams County Pkwy, Suite W2000A
Brighton, CO 80601

Via email: gjbarnes@adcogov.org

Dear Mr. Barnes:

The North Metro Fire Rescue District's Fire Prevention Division has completed a review of the revised conditional use permit referral and the firefighting water supply alternative methods request for the Store Self Storage (Case #RCU2017-00035) project proposed to be located at 12750 Zuni Street in unincorporated Adams County, Colorado. At this time, the Fire District **conditionally approves** those plans contingent on compliance with the following requirements:

- The specific plans which have been reviewed by the Fire District are as follows:
 - *Channing Self Storage* comment response letter, dated April 9, 2018;
 - *Store Self Storage* site development plans, dated revised April 6, 2018; and,
 - *Fire Water Requirements* letter, prepared by Veritas Fire Engineering, Inc., dated January 22, 2018.
- Site and building design and construction shall be in accordance with the provisions of the adopted building and fire codes at the time of permit issuance. The currently adopted codes are the 2012 International Fire Code (IFC) and the 2012 International Building Code (IBC), as adopted by Adams County.

Fire District Impact Fee:

- Pursuant to C.R.S. 29-20-1045, as a condition of issuance of a development permit by Adams County, the Fire District imposes an impact fee (or a mutually agreed to in-kind contribution) for capital facilities needed to serve the proposed new development within the jurisdiction.
 - The developer shall submit the signed *Impact Fee Form* with the other documentation required by the County as part of the development permit application process.
 - The impact fees shall be determined by the adopted *Impact Fee Schedule*.
 - Upon approval and issuance of a development permit, the development permit shall require the developer to pay the impact fee to the Fire District.

- The Fire District shall promptly notify the County when it has collected the Fire District Impact Fee, and **Adams County shall not issue any building permit in connection with the new development until it has received such notification from the Fire District.**

Fire Department Access Requirements:

- Access appears to meet the requirements of the Fire District. Pursuant to IFC Section 503.1.1, fire apparatus access roads shall be provided for every facility, building, or portion of a building when any portion of an exterior wall of the first story of the building or facility is located more than 150 feet from fire apparatus access as measured by an approved route around the exterior of the building or facility.
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 - Any controlled vehicular traffic intersections shall be equipped with the Opticom (or Opticom-compatible brand, e.g., Tomar) emergency vehicle traffic control system. The system shall be installed at the property developer's expense.
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 - Fully sprinkler all storage buildings at the site in accordance with IFC Section 903.3.1.1 (i.e., NFPA 13) requirements. This would entail a wet pipe system zoned per floor in the conditioned three-story plus basement building, with provision for protecting the overhang as required by NFPA 13. Dry pipe sprinkler systems would be installed for all unconditioned storage buildings, fed from a heated riser room enclosure in each building. All buildings would be designed for Ordinary Group II occupancy for storage up to 12 feet for Class IV commodities per Chapter 13 of NFPA 13.
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 - A water tank providing a storage capacity of 180,000 gallons; i.e., a 1,500 GPM fire flow for a duration of 2 hours.
 - Provide a listed fire pump and controller capable of providing 1,500 gpm at approximately 70 psi to supply the sprinkler systems and provide adequate flow for the hydrant system.
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 - All system components will be installed in accordance with the IFC and their respective applicable NFPA standards, e.g., NFPA 13, 20, 22, 24 and other standards as referenced.
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Requirements for Construction Permits and Inspections:

- The Fire District will work with Adams County Community Development Engineering staff to issue the appropriate construction permits. Where the Fire District or Adams County lacks the necessary expertise, **approved special inspectors** must approve the installation and oversee the testing of water mains, hydrants, and other associated components of the proposed site fire protection system.
- Complete plans each component of the proposed site fire protection system to be installed shall be submitted for review and approval by the installing subcontractors prior to commencing the installation of the respective system. **Pursuant to IFC Section 105, installation of any part of a fire protection system without first obtaining a permit or the proper authorization from the Fire District is illegal, and will result in the assessment of additional fees.**

- **An inspection of the project's Fire District approved infrastructure (a.k.a., access roads, street signage, and fire protection components) will be required after it is installed and before the Fire District can concur with the issuance of any building permits by Adams County.** All requests for inspections must be made, and confirmed, with the Fire Prevention Division at least two business days in advance. Re-inspection fees may be charged for any failed inspection requiring an inspector to return to the site for further testing or inspection.

Nothing in this review is intended to approve of any aspect of this project that does not strictly comply with all applicable codes and standards. Any changes that are made to the plans will require additional review and comment by the Fire District.

If you have any questions regarding these comments, please contact me at 303-252-3542 or dwaller@nmfr.org.

Respectfully,

David Waller

David Waller, P.E., C.F.M.
Deputy Fire Marshal

DJW/lp

cc: Mr. Justin Blair, Chief Building Official, Adams County Building Safety Division
Mr. Michael Bray, AIA, dcb Construction Company, Inc.
Mr. Zachary Channing, Channing Corporation
Ms. Alice Hanson, City and County of Broomfield
Mr. Greg Labrie, P.E., Adams County
Mr. Scott Lucas, P.E., R&R Engineers - Surveyors, Inc.
Mr. Seth Spiegel, Channing Corporation
Ms. Susan Stanton, The Stanton Solution
Mr. Ken Sutton, P.E., Veritas Fire
Ms. Julie Wyatt, Adams County

lp04.22.18



August 28, 2017

Libbie Adams
 Adams County Community and Economic Development
 4430 South Adams County Parkway, Suite W2000A
 Brighton, CO 80601

RE: Channing Self-Storage, RCU2017-00035
 TCHD Case No. 4545

Dear Ms. Adams,

Thank you for the opportunity to review and comment on the Conditional Use Permit application for a self-storage facility located at 12750 Zuni Street. Tri-County Health Department (TCHD) staff has reviewed the application for compliance with applicable environmental and public health regulations and principles of healthy community design. After reviewing the application, TCHD has the following comments.

Mosquito Control - Stormwater Facilities

The site plan indicates that detention pond is proposed. Detention ponds can become sites for mosquito breeding. To reduce the potential for human exposures to West Nile and other mosquito-borne viruses, TCHD recommends that the applicant prepare a mosquito control plan. Elements of the plan should include proper design, construction and regular inspection and maintenance of stormwater quality facilities, and mosquito larvaciding if the insects become a problem. The applicant may submit the mosquito control plan to TCHD for review. More information is available here <http://www.tchd.org/276/Mosquitoes-West-Nile-Virus>. A guidance document is attached.

Vector Control - Storage

Rodents such as mice and rats carry diseases which can be spread to humans through contact with rodents, rodent feces, urine, or saliva, or through rodent bites. Items stored on the floor, tightly packed, and rarely moved provide potential harborage for rodents. Due to the variety of items to be potentially stored at this site, TCHD recommends that the applicant create a plan for regular pest control. Information on rodent control can be found at <http://www.tchd.org/400/Rodent-Control>

Vector Control – Building Demolition

Rodents such as mice and rats carry diseases which can be spread to humans through contact with rodents, rodent feces, urine, saliva, or through rodent bites. For example, Hantavirus Pulmonary Syndrome (HPS), a rare but potentially lethal viral infection, can be found in the droppings and urine of rodents commonly found in southwestern United States. When buildings are demolished, rodents can spread to surrounding properties and increase the risk of vector exposure to humans. The applicant should plan for

vectors and eliminate any known infestations prior to demolition. Information on rodent control can be found at <http://www.tchd.org/400/Rodent-Control>.

Fugitive Dust – Building Demolition

Exposure to air pollution is associated with a number of health problems including asthma, lung cancer, and heart disease. The Colorado Department of Public Health and Environment Air Pollution Control Division (APCD) regulates air emissions. The application indicates that the existing building on the site will be demolished. State air quality regulations require that precautions be taken prior to demolition of buildings to evaluate the presence of asbestos fibers that may present a health risk. If asbestos is present, actions must be taken to prevent their release into the environment. State regulations also address control of ozone depleting compounds (chlorofluorocarbons) that may be contained in air conditioning or refrigerating equipment. The applicant shall contact the APCD at (303) 692-3100 for more information. Additional information is available at <http://www.cdphe.state.co.us/ap/asbestos>.

On-Site Wastewater Treatment System (OWTS) – Abandonment

Proper wastewater management promotes effective and responsible water use, protects potable water from contaminants, and provides appropriate collection, treatment, and disposal of waste, which protects public health and the environment. TCHD records indicate the presence of an On-Site Wastewater Treatment System (OWTS) on the subject property. The existing OWTS shall be abandoned in accordance with Regulation No. O-17, Section 6.8. TCHD must be notified in writing once the system has been properly abandoned. For more information, or to submit the notification, the applicant may contact the TCHD Commerce City office at 4201 E. 72nd Avenue, Suite D, (303) 288-6816. More information is available at <http://www.tchd.org/269/Septic-Systems>.

Please feel free to contact me at 720-200-1575 or kboyer@tchd.org if you have any questions on TCHD's comments.

Sincerely,



Kathy Boyer, REHS
Environmental Health Specialist III

cc: Sheila Lynch, Monte Deatrich TCHD

**Tri-County Health Department
Guidance for Preparation of
Mosquito Control Plan**

A Mosquito Control Plan should contain the following elements:

1. Designation of a management entity
This is the entity with authority/responsibility for implementing the plan. Typically, this will be a Special District or a Homeowners Association. If this is the case, the applicant shall submit a copy of the organizational Service Plan, by-laws or other legal document providing the authority for mosquito control. If the entity is the developer, this should be noted.
2. Funding mechanism
A method needs to be put in place to finance the program. This could be a commitment for the Service District, HOA or developer to include adequate funds for the activities as part of its annual budgeting process, or a plan by the District or HOA to assess an annual fee on residents in the subject service area, or to fund the program in some other way, per its legal authority as noted in #1.
3. Activities that will be undertaken to prevent mosquito breeding conditions
This section places emphasis on the proper design, construction, operation and maintenance of stormwater facilities to prevent mosquitoes from breeding. In most instances, it is nothing different than is already required by the County and Volume 3 of the Urban Drainage and Flood Control District's (UDFCD) Urban Storm Drainage Criteria Manual for flood control and stormwater quality. The literature on this subject, supported by local field experience, suggests that if stormwater facilities are well-designed, built to specification, and regularly inspected and maintained to meet operating standards, stormwater facilities that are designed to completely drain in 72 hours or less are likely to do so and to prevent mosquito breeding conditions.

The likelihood or extent of mosquito breeding can also be reduced through the proper design, construction and inspection/maintenance of retention ponds or constructed wetlands that are intended to hold permanent water pools.

We have found that at the time of construction of stormwater facilities, there is often little thought given to continuity of maintenance. Requiring the applicant to think through the tasks that need to be accomplished from design through operation, who will be responsible for tasks in each phase, and a schedule for their accomplishment increases the probability that these tasks will be completed.

Ideally, before getting to this point, the applicant will have considered stormwater facility options that do not rely on extended retention or detention of stormwater without flushing over a period of 2-3 days; e.g. grass swales, porous pavements, landscape detention, reducing directly connecting impervious areas to increase infiltration. This would be

coordinated through and in compliance with the requirements of the County's Engineering and/or Stormwater sections.

Suggested elements in this section include the following:

- Design review – Qualified personnel review construction plans and conduct field investigation to ensure construction per specifications of UDFCD Volume 3 and County criteria.
- Operation and maintenance activities:
This should identify who will conduct these activities (e.g., staff or contractor), and a schedule or trigger point for doing each task. Again, the UDFCD's Vol. 3 contains minimum operation and maintenance activities. If staff are to be used, this section should note if they will need training and how they will receive it.
- Regular inspections:
Facilities that are found to retain water should be inspected regularly to ensure that no mosquito larvae are present. Facilities should be inspected once a week beginning in April and continuing through September.
- Larvacide program:
Even if inspections do not reveal larvae, a larvaciding program should be established as a preventive measure at the same time that the inspection program begins (generally May) and continue through September. Some mosquitoes lay their eggs in mud, and when rain falls later, they can hatch and present a problem. Larvacide should be applied at the recommended rate and frequency specified by the product manufacturer. Mosquito control products can be found by doing a search on the internet.
Natural control of mosquito larva can be very effective is done properly. Consult the Colorado Department of Wildlife, Fisheries Division, for consultation on proper stocking of ponds with fish that will effectively control mosquito larvae.

For Technical Assistance - Contact Monte Deatrich, Tri-County Health Department's mosquito control specialist, if you have any questions about any elements of the mosquito control program. Mr. Deatrich is in Tri-County's Commerce City office; he can be reached by phone at (303) 439-5902, or by e-mail at mdeatrich@tchd.org.



April 26, 2018

Greg Barnes
Adams County Community and Economic Development
4430 South Adams County Parkway, Suite W2000A
Brighton, CO 80601

RE: Channing Self-Storage, RCU2017-00035
TCHD Case No. 4884

Dear Mr. Barnes,

Thank you for the opportunity to review and comment on the resubmittal for a Conditional Use Permit application for a self-storage facility located at 12750 Zuni Street. Tri-County Health Department (TCHD) staff has reviewed the application for compliance with applicable environmental and public health regulations and provided comments in a letter dated August 28, 2018. TCHD has had the opportunity to review the resubmitted materials and has the following comments.

On-Site Wastewater Treatment System (OWTS) – Abandonment

Proper wastewater management promotes effective and responsible water use, protects potable water from contaminants, and provides appropriate collection, treatment, and disposal of waste, which protects public health and the environment. In our previous letter, TCHD was under the impression that the project would include connecting to sanitary sewer as it appeared that there was sewer service within 400 feet of the property. Per the On-site Wastewater Regulations (O-17), properties within 400 feet of sewer service are required to inquire with the sewer district about service and provide a letter to TCHD about the availability of sewer service prior to pursuing an OWTS for the proposed land use. The applicant provided a letter to TCHD on March 12, 2018 indicating that the City of Westminster was unable to serve the property.

TCHD has received an application for an OWTS to serve the proposed land use at 12750 Zuni Street and the application is under review. The applicant in the process of confirming if the existing OWTS can serve the proposed land use. If the applicant can provide the required justification that the existing system has the capacity to serve the proposed land use and meet all the design requirements outlined in Regulation O-17, TCHD can provide a favorable recommendation for the proposed CUP.

Please feel free to contact me at 720-200-1571 or slynch@tchd.org if you have any questions.

Sincerely,

A handwritten signature in black ink that reads "Sheila Lynch". The signature is fluid and cursive, with the first name "Sheila" being more prominent than the last name "Lynch".

Sheila Lynch
Land Use, Built Environment, and Health Program Manager

cc: Sheila Lynch, Monte Deatrich, TCHD

Channing Self-Storage
April 26, 2018
Page 2 of 2



May 10, 2018

Greg Barnes
Adams County Community and Economic Development
4430 South Adams County Parkway, Suite W2000A
Brighton, CO 80601

RE: Channing Self-Storage, RCU2017-00035
TCHD Case No. 4884

Dear Mr. Barnes,

I am writing to provide an update on TCHD's referral comments for the proposed Conditional Use Permit application for a self-storage facility located at 12750 Zuni Street. Tri-County Health Department (TCHD) staff reviewed the application and provided comments on August 28, 2018 and April 26, 2018.

TCHD has received an application for an OWTS to serve the proposed land use at 12750 Zuni Street. Based on the materials submitted by the applicant, TCHD can provide a favorable recommendation for the proposed CUP.

Please feel free to contact me at 720-200-1571 or slynch@tchd.org if you have any questions.

Sincerely,

A handwritten signature in black ink that reads "Sheila Lynch". The signature is fluid and cursive, with the first name "Sheila" being more prominent than the last name "Lynch".

Sheila Lynch
Land Use, Built Environment, and Health Program Manager

cc: Monte Deatrich, TCHD



Right of Way & Permits

1123 West 3rd Avenue
Denver, Colorado 80223
Telephone: **303.571.3306**
Facsimile: 303. 571.3284
donna.l.george@xcelenergy.com

August 28, 2017

Adams County Community and Economic Development Department
4430 South Adams County Parkway, 3rd Floor, Suite W3000
Brighton, CO 80601

Attn: Libbie Adams

Re: Channing Self Storage, Case # RCU2017-00035

Public Service Company of Colorado's (PSCo) Right of Way & Permits Referral Desk has reviewed the conditional use permit documentation for **Channing Self Storage**. Please be aware PSCo owns and operates existing electric distribution facilities along East 128th Avenue and along Zuni Street. The property owner/developer/contractor must complete the **application process** for any new gas or electric service, or modification to existing facilities via FastApp-Fax-Email-USPS (go to: https://www.xcelenergy.com/start_stop_transfer/new_construction_service_activation_for_builders). It is then the responsibility of the developer to contact the Designer assigned to the project for approval of design details. Additional easements may need to be acquired by separate document for new facilities.

As a safety precaution, PSCo would like to remind the developer to call the **Utility Notification Center** at 1-800-922-1987 to have all utilities located prior to any construction.

Should you have any questions with this referral response, please contact me at 303-571-3306.

Donna George
Contract Right of Way Referral Processor
Public Service Company of Colorado



Right of Way & Permits

1123 West 3rd Avenue
Denver, Colorado 80223
Telephone: **303.571.3306**
Facsimile: 303. 571. 3284
donna.l.george@xcelenergy.com

April 17, 2018

Adams County Community and Economic Development Department
4430 South Adams County Parkway, 3rd Floor, Suite W3000
Brighton, CO 80601

Attn: Greg Barnes

Re: Channing Self Storage - Resubmittal, Case # RCU2017-00035

Public Service Company of Colorado's (PSCo) Right of Way & Permits Referral Desk has reviewed the resubmitted plans for **Channing Self Storage**. Please be aware PSCo owns and operates existing electric distribution facilities along both West 128th Avenue and Zuni Street. The property owner/developer/contractor must complete the **application process** for any new natural gas or electric service, or modification to existing facilities including relocation and/or removal via FastApp-Fax-Email-USPS (go to:

<https://www.xcelenergy.com/start, stop, transfer/new construction service activation for builders>). It is then the responsibility of the developer to contact the Designer assigned to the project for approval of design details. Additional easements may need to be acquired by separate document for new facilities.

As a safety precaution, PSCo would like to remind the developer to call the **Utility Notification Center** at 1-800-922-1987 to have all utilities located prior to any construction.

Should you have any questions with this referral response, please contact me at 303-571-3306.

Donna George
Right of Way and Permits
Public Service Company of Colorado

From: [Trung Nguyen](#)
To: [Libbie Adams](#)
Subject: Channing Self Storage
Date: Sunday, August 13, 2017 6:43:54 PM

Hello Libbie,

We received the letter from Adam County requesting for comments on the proposed Channing Self Storage located at 12750 Zuni Street.

We are very much oppose the building of Channing Self Storage (project # RCU2017-00035). Currently, the traffic situation is very congested at the intersection of 128th Street & Zuni Street. There is only one lane in each direction and on both streets.

In addition, we strongly believe it will bring down the value of our home, due to a large increase in traffic coming and leaving the business with storage items. The long fencing of the business will also degrade the views of this area. Beside, we do not need another storage facility in this location since there already is a nearby, newly built, SecurCare Self Storage located at 2460 East Midway Boulevard, Broomfield, CO 80234.

Sincerely,

Trung Nguyen

Sent from my iPhone

From: [Justine Hall](#)
To: [Libbie Adams](#)
Subject: Comments for RCU-2017-00035
Date: Tuesday, August 15, 2017 3:45:32 PM

Hi,

I would like to submit my comments for the following Conditional Use Permit:

Case Name: Channing Self Storage

Project Number: RCU-2017-00035

Location: 12750 Zuni St

I am happy to see some of this area developed however, I believe

- a 3 story structure on that corner would be too high and obtrusive. There are no other 3 story structures in the vicinity.

- the number of storage units is too large. This is already a busy intersection with many accidents and the increased traffic from 2 different entrances would only compound the traffic problem we already have.

- as much open space as possible should be preserved and there should be no impact on the current trail system in the area.

Thank you for your consideration.

Justine Hall

From: [Briana Worle](#)
To: [Libbie Adams](#)
Subject: Request for Comments: Channing Self Storage
Date: Monday, August 28, 2017 1:54:30 PM

Channing Self Storage
RCU2017-00035

To Whom It May Concern,

We live across the street from the proposed Storage unit. We are not pleased that a three story storage building will be going in, however if that is in fact the case, there are other ways to try and better the situation.

The exterior of the property, walls and landscaping must be high end with nice finishes. Making sure the cement wall is of good quality and appropriate visual in keeping with all other newer development. We would expect the landscaping around the facility to be top notch.

Our neighborhood and community has grown tremendously in the past years and keeping in sync with the look and feel of all the new development is very important to us.

Thanks for your time,
Briana & Brandon Gilles

--

Briana

Sage 8 Studio
www.sage8studio.com
www.sage8studio.etsy.com

Community & Economic
Development Department
www.adcogov.org



4430 South Adams County Parkway
1st Floor, Suite W2000
Brighton, CO 80601-8204
PHONE 720.523.6800
FAX 720.523.6998

Request for Comments

Case Name: Channing Self Storage
Project Number: RCU2017-00035

August 9, 2017

Adams County Community and Economic Development Department is requesting comments on the following request:

Conditional Use Permit to allow a self storage facility on Agriculture-3 (A-3) property.

This request is located at **12750 Zuni St**

The Assessor's Parcel Number is: **0157333000001**

Legal Description: **SECT, TWN, RNG: 33-1-68 DESC: BEG AT NW COR OF SEC 33 TH E 728/4 FT ALG N LN TO PT ON WLY ROW LN OF CALKINS DT TH ALG WLY ROW OF SD DT S 41D 41M W 134/8 FT TH S 29D 31M W 122/3 FT TH S 16D 28M W 301/7 FT TH S 34D 49M W 218/4 FT TH S 03D 58M W 105 FT TH S 37D 11M W 387/2 FT TH S 65D 47M W 157/1 FT TO PT ON W LN SD SEC TH N 1150/5 FT TO POB EXC W 30 FT FOR RD AND EXC RD 8/1700A**

You were notified with this request because your property is within 1,000 feet of the site listed above.

Please forward any written comments on this application to the Department of Community and Economic Development at 4430 South Adams County Parkway, Suite W2000A Brighton, CO 80601-8216 by **Thursday, August 31, 2017** so that your comments may be taken into consideration in the review of this case. Please send your response by way of e-mail to LAdams@adcogov.org, or you may call with comments at 720.523.6855. This referral can also be found online at <https://www.adcogov.org/planning/currentcases>.

Thank you for your review of this case.

Libbie Adams
Case Manager

BOARD OF COUNTY COMMISSIONERS

Eva J. Henry
DISTRICT 1

Charles "Chaz" Tedesco
DISTRICT 2

Erik Hansen
DISTRICT 3

Steve O'Dorisio
DISTRICT 4

Jan Pawlowski
DISTRICT 5

Community & Economic
Development Department
Development Services Division
www.adcogov.org



4430 South Adams County Parkway
1st Floor, Suite W2000B
Brighton, CO 80601-8218
PHONE 720.523.6800
FAX 720.523.6967

Public Hearing Notification

Case Name:	Channing Self Storage
Case Number:	RCU2017-00035
Planning Commission Hearing Date:	06/14/2018 at 6:00 p.m.
Board of County Commissioners Hearing Date:	07/10/2018 at 9:30 a.m.

May 17, 2018

A public hearing has been set by the Adams County Planning Commission and the Board of County Commissioners to consider the following request: **conditional use permit to allow a mini-storage use in the Agricultural-3 (A-3) zone district.**

This request is located at 12750 Zuni Street. The Assessor's Parcel Number is 0157333000001. The property is approximately 9.93 acres. The legal description of the parcel is: *SECT, TWN, RNG: 33-1-68 DESC: BEG AT NW COR OF SEC 33 TH E 728/4 FT ALG N LN TO PT ON WLY ROW LN OF CALKINS DT TH ALG WLY ROW OF SD DT S 41D 41M W 134/8 FT TH S 29D 31M W 122/3 FT TH S 16D 28M W 301/7 FT TH S 34D 49M W 218/4 FT TH S 03D 58M W 105 FT TH S 37D 11M W 387/2 FT TH S 65D 47M W 157/1 FT TO PT ON W LN SD SEC TH N 1150/5 FT TO POB EXC W 30 FT FOR RD AND EXC RD 8/1700A*

Applicant Information:	Channing Corporation Jon Channing 5100 PGA Blvd., Suite 209 Palm Beach Gardens, FL 33418
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The hearing will be held in the Adams County Hearing Room located at 4430 South Adams County Parkway, Brighton CO 80601-8216. This will be a public hearing and any interested parties may attend and be heard. The Applicant and Representative's presence at these hearings is requested. If you require any special accommodations (e.g., wheelchair accessibility, an interpreter for the hearing impaired, etc.) please contact the Adams County Community and Economic Development Department at (720) 523-6800 (or if this is a long distance call, please use the County's toll free telephone number at 1-800-824-7842) prior to the meeting date.

For further information regarding this case, please contact the Community and Economic Development Department, 4430 S Adams County Parkway, Brighton, CO 80601, 720-523-6800. This is also the location where maps and/or text certified by the Planning Commission may be viewed.

The full text of the proposed request and additional colored maps can be obtained by contacting this office or by accessing the Adams County web site at www.adcogov.org/planning/currentcases.

Greg Barnes
Case Manager

BOARD OF COUNTY COMMISSIONERS

Eva J. Henry
DISTRICT 1

Charles "Chaz" Tedesco
DISTRICT 2

Erik Hansen
DISTRICT 3

Steve O'Dorisio
DISTRICT 4

Mary Hodge
DISTRICT 5

PUBLICATION REQUEST

Channing Self Storage

Case Number: RCU2017-00035

Planning Commission Hearing Date: 06/14/2018 at 6:00 p.m.

Board of County Commissioners Hearing Date: 07/10/2018 at 9:30 a.m.

Request: Conditional use permit to allow a mini-storage use in the Agricultural-3 (A-3) zone.

Location: 12750 ZUNI ST

Parcel Number: 0157333000001

Case Manager: Greg Barnes

Case Technician: Shayla Christenson

Applicant: JON CHANNING
561-630-8630

5100 PGA BLVD
SUITE 209
PALM BEACH GARDENS, FL 33418

Owner: BRUMMUND LEONA DARLENE TRUST THE
C/O MR MYRON W BRUMMUND CO-TRUSTEE
9249 E 152ND AVENUE
BRIGHTON, CO 80602

Legal Description: SECT,TWN,RNG:33-1-68 DESC: BEG AT NW COR OF SEC 33 TH E 728/4 FT ALG N LN TO PT ON WLY ROW LN OF CALKINS DT TH ALG WLY ROW OF SD DT S 41D 41M W 134/8 FT TH S 29D 31M W 122/3 FT TH S 16D 28M W 301/7 FT TH S 34D 49M W 218/4 FT TH S 03D 58M W 105 FT TH S 37D 11M W 387/2 FT TH S 65D 47M W 157/1 FT TO PT ON W LN SD SEC TH N 1150/5 FT TO POB EXC W 30 FT FOR RD AND EXC RD 8/1700A



Referral Listing
Case Number RCU2017-00035
Channing Self Storage

Agency	Contact Information
ADAMS 12 FIVE STAR SCHOOLS	MATT SCHAEFER - PLANNING MANAGER 1500 E. 128TH AVENUE THORNTON CO 80241 720-972-4289 matt.schaefer@adams12.org
Adams County Development Services - Building	Justin Blair 4430 S Adams County Pkwy Brighton CO 80601 720-523-6825 JBlair@adcogov.org
CDPHE - AIR QUALITY	Paul Lee 4300 CHERRY CREEK DRIVE SOUTH DENVER CO 80246-1530 303-692-3127 paul.lee@state.co.us
CDPHE - WATER QUALITY PROTECTION SECT	Patrick Pfaltzgraff 4300 CHERRY CREEK DRIVE SOUTH WQCD-B2 DENVER CO 80246-1530 303-692-3509 patrick.j.pfaltzgraff@state.co.us
CDPHE SOLID WASTE UNIT	Andy Todd 4300 CHERRY CREEK DR SOUTH HMWMD-CP-B2 DENVER CO 80246-1530 303.691.4049 Andrew.Todd@state.co.us
Century Link, Inc	Brandyn Wiedreich 5325 Zuni St, Rm 728 Denver CO 80221 720-578-3724 720-245-0029 brandyn.wiedrich@centurylink.com
CITY OF WESTMINSTER	MAC CUMMINS 4800 W 92ND AVE. WESTMINSTER CO 80031 (303) 658-2093 mcummins@cityofwestminster.us
CITY OF WESTMINSTER	Andy Walsh 4800 W 92nd Avenue WESTMINSTER CO 80031 303-658-2563 awalsh@cityofwestminster.us

Agency	Contact Information
Code Compliance Supervisor	Eric Guenther eguenther@adcogov.org 720-523-6856 eguenther@adcogov.org
COLORADO DEPT OF TRANSPORTATION	Steve Loeffler 2000 S. Holly St. Region 1 Denver CO 80222 303-757-9891 steven.loeffler@state.co.us
COLORADO DIVISION OF WILDLIFE	Eliza Hunholz Northeast Regional Engineer 6060 BROADWAY DENVER CO 80216-1000 303-291-7454 eliza.hunholz@state.co.us
COLORADO DIVISION OF WILDLIFE	JOSEPH PADIA 6060 BROADWAY DENVER CO 80216 303-291-7132 joe.padia@state.co.us
COMCAST	JOE LOWE 8490 N UMITILLA ST FEDERAL HEIGHTS CO 80260 303-603-5039 thomas_lowe@cable.comcast.com
COUNTY ATTORNEY- Email	Christine Francescani CFrancescani@adcogov.org 6884
Engineering Department - ROW	Transportation Department PWE - ROW 303.453.8787
Engineering Division	Transportation Department PWE 6875
ENVIRONMENTAL ANALYST	Jen Rutter PLN 6841
METRO WASTEWATER RECLAMATION	CRAIG SIMMONDS 6450 YORK ST. DENVER CO 80229 303-286-3338 CSIMMONDS@MWRD.DST.CO.US
NORTH METRO FIRE DISTRICT	Steve Gosselin 101 Lamar Street Broomfield CO 80020 (303) 452-9910 sgosselin@northmetrofire.org

Agency	Contact Information
NS - Code Compliance	Kerry Gress 4430 S. Adams County Pkwy Brighton CO 80601 720.523.6832 kgress@adcogov.org
Parks and Open Space Department	Nathan Mosley mpedrucci@adcogov.org aclark@adcogov.org (303) 637-8000 nmosley@adcogov.org
SHERIFF'S OFFICE: SO-HQ	MICHAEL McINTOSH nblair@adcogov.org, aoverton@adcogov.org; mkaiser@adcogov.org snielson@adcogov.org (303) 654-1850 aoverton@adcogov.org; mkaiser@adcogov.org; snielson@adcogov.org
Sheriff's Office: SO-SUB	SCOTT MILLER TFuller@adcogov.org, smiller@adcogov.org aoverton@adcogov.org; mkaiser@adcogov.org 720-322-1115 smiller@adcogov.org
TRI-COUNTY HEALTH DEPARTMENT	Sheila Lynch 6162 S WILLOW DR, SUITE 100 GREENWOOD VILLAGE CO 80111 720-200-1571 landuse@tchd.org
TRI-COUNTY HEALTH DEPARTMENT	MONTE DEATRICH 4201 E. 72ND AVENUE SUITE D COMMERCE CITY CO 80022 (303) 288-6816 mdeatrich@tchd.org
Tri-County Health: Mail CHECK to Sheila Lynch	Tri-County Health landuse@tchd.org .
WESTMINSTER FIRE DEPT.	CAPTAIN DOUG HALL 9110 YATES ST. WESTMINSTER CO 80031 303-430-2400 x4542 dhall@ci.westminster.co.us
Xcel Energy	Donna George 1123 W 3rd Ave DENVER CO 80223 303-571-3306 Donna.L.George@xcelenergy.com
Xcel Energy	Donna George 1123 W 3rd Ave DENVER CO 80223 303-571-3306 Donna.L.George@xcelenergy.com

BANK ONE
C/O INDUSTRY COLSULTING GROUP INC
PO BOX 810490
DALLAS TX 76381-0490

COOKE BRIAN M AND
COOKE KERRY L
1965 HARMONY PARK DRIVE
WESTMINSTER CO 80234

BHANDARI RATNA B AND
BHANDARI ASHMITA
12944 VALLEJO CIR
DENVER CO 80234-3794

CWETNA ERIKA H AND
CWETNA MICHAEL R
12932 VALLEJO CIRCLE
WESTMINSTER CO 80234

BITTLE WILLIAM M JR AND
BITTLE KYRA
1960 HARMONY PARK DR
WESTMINSTER CO 80234-1792

DENTON KENNETH R AND
RUFFIN PAMELA S
12903 HARMONY PKWY
WESTMINSTER CO 80234

BRUMMUND LEONA DARLENE TRUST THE
C/O MR MYRON W BRUMMUND CO-TRUSTEE
9249 E 152ND AVENUE
BRIGHTON CO 80602

EHN MATTHEW WAYNE AND
EHN ERIN MAUREEN
12905 HARMONY PKWY
DENVER CO 80234-1796

CARNEVALE KIM
12936 VALLEJO CIR
DENVER CO 80234-3794

FARLEY JEFFREY A AND
FARLEY ANDREA M
1935 HARMONY PARK DRIVE
WESTMINSTER CO 80234

CITY OF WESTMINSTER
4800 W 92ND AVE
WESTMINSTER CO 80030-6399

FARR TIMOTHY T
12852 HARMONY PKWY
WESTMINSTER CO 80234

CITY OF WESTMINSTER THE
4800 W 92ND AVE
WESTMINSTER CO 80031-6399

GILLES BRANDON LEE AND
WORLE BRIANA RAE
1925 HARMONY PARK DRIVE
WESTMINSTER CO 80234

CITY OF WESTMINSTER THE
4800 W 92ND AVE
WESTMINSTER CO 80030

GRAHAM RONALD E AND
GRAHAM SUZANNE O
12928 N VALLEJO CIRCLE
WESTMINSTER CO 80234

CLARK ROBERT E
12920 VALLEJO CIR
DENVER CO 80234-3794

GRANT HALL ALLAN AND
HALL JUSTINE R
12892 HARMONY PKWY
WESTMINSTER CO 80234

CLINE ADAM AND
CLINE STACY
12915 VALLEJO CIRCLE
WESTMINSTER CO 80234

INGRAM-HUEG SUSAN J AND
HUEG WILLIAM F III
12919 VALLEJO CIRCLE
WESTMINSTER CO 80234

JACOBS WILLIAM R AND
JACOBS SHAINA R
1930 HARMONY PARK DRIVE
WESTMINSTER CO 80234

NGUYEN TRUNG N AND
NGUYEN HANG T
12872 HARMONY PARKWAY
WESTMINSTER CO 80234

KORB JOHN W III AND
ZAMORA-KORB KATHRYN L
1955 HARMONY PARK DRIVE
WESTMINSTER CO 80234

NORDSTROM JACQUELINE SUZANNE
12901 HARMONY PKWY
WESTMINSTER CO 80234-1796

KURTZ ALLYSON E AND
KURTZ JAY M
12916 VALLEJO CIR
DENVER CO 80234-3794

NOVIK PETER AND
NOVIK TATYANA
12902 HARMONY PKWY
WESTMINSTER CO 80234-1790

LEO WILLIAM AND
LEO JANETTE N
1915 HARMONY PARK DR
DENVER CO 80234-1791

RENAULT ALEXANDER J AND
RENAULT TANIA J
1945 W 129TH DR
DENVER CO 80234-2781

LUCAS WAYNE E AND
LUCAS SERENA M
12862 HARMONY PARKWAY
WESTMINSTER CO 80234

ROSE BERNADETTE O
12882 HARMONY PKWY
DENVER CO 80234-1798

MADER KRISTOPHER RYAN AND
ZADIKIAN RITA
1935 W 129TH DR
DENVER CO 80234-2781

SHI TIAN MING AND
ZHAO YING YING
12940 VALLEJO CIR
DENVER CO 80234-3794

MARTINSON CHARLES P AND
MARTINSON BRENDA W
12912 HARMONY PKWY
DENVER CO 80234-1790

SNYDER CORY R AND
SHAFFER BRIDGET R
1945 HARMONY PARK DRIVE
WESTMINSTER CO 80234

MCCAMEY LELA AND
MCCAMEY KEELAN
12924 VALLEJO CIRCLE
WESTMINSTER CO 80234

TA HUNG V
1950 HARMONY PARK DRIVE
WESTMINSTER CO 80234

MCDONALDS REAL ESTATE COMPANY
1 MCDONALDS DR
OAK BROOK IL 60523-8738

TWIN STAR ENERGY LLC
10459 PARK MEADOWS DR
LONE TREE CO 80124-5305

NGUYEN THANG V
1975 HARMONY PARK DR
WESTMINSTER CO 80234

VILLAGE AT HARMONY PARK ASSOCIATION
C/O HOMESTEAD MANAGEMENT CORP
1499 W 121ST AVE STE 100
WESTMINSTER CO 80234-3513

WARD TERESA L AND
WARD DAVID A
1940 HARMONY PARK DRIVE
WESTMINSTER CO 80234

WILLOW RUN INVESTORS LLC
C/O GART PROPERTIES LLC
299 MILWAUKEE ST STE 500
DENVER CO 80206-5045

Current Resident
12550 ZUNI ST
WESTMINSTER, CO 80020

Current Resident
12750 ZUNI ST
WESTMINSTER, CO 80020

Current Resident
12852 HARMONY PKWY
WESTMINSTER, CO 80234

Current Resident
12872 HARMONY PKWY
WESTMINSTER, CO 80234

Current Resident
12892 HARMONY PKWY
WESTMINSTER, CO 80234

Current Resident
12901 HARMONY PKWY
WESTMINSTER, CO 80234

Current Resident
12903 HARMONY PKWY
WESTMINSTER, CO 80234

Current Resident
12912 HARMONY PKWY
WESTMINSTER, CO 80234

Current Resident
12916 VALLEJO CIR
WESTMINSTER, CO 80234

Current Resident
12920 VALLEJO CIR
WESTMINSTER, CO 80234

Current Resident
12620 ZUNI ST
WESTMINSTER, CO 80020

Current Resident
12811 HARMONY PKWY
WESTMINSTER, CO 80234

Current Resident
12862 HARMONY PKWY
WESTMINSTER, CO 80234

Current Resident
12882 HARMONY PKWY
WESTMINSTER, CO 80234

Current Resident
12900 ZUNI ST
WESTMINSTER, CO 80234

Current Resident
12902 HARMONY PKWY
WESTMINSTER, CO 80234

Current Resident
12905 HARMONY PKWY
WESTMINSTER, CO 80234

Current Resident
12915 VALLEJO CIR
WESTMINSTER, CO 80234

Current Resident
12919 VALLEJO CIR
WESTMINSTER, CO 80234

Current Resident
12924 VALLEJO CIR
WESTMINSTER, CO 80234

Current Resident
12928 VALLEJO CIR
WESTMINSTER, CO 80234

Current Resident
12936 VALLEJO CIR
WESTMINSTER, CO 80234

Current Resident
12944 VALLEJO CIR
WESTMINSTER, CO 80234

Current Resident
1925 HARMONY PARK DR
WESTMINSTER, CO 80234

Current Resident
1935 HARMONY PARK DR
WESTMINSTER, CO 80234

Current Resident
1940 HARMONY PARKWAY DR
WESTMINSTER, CO 80234

Current Resident
1945 W 129TH DR
WESTMINSTER, CO 80234

Current Resident
1955 HARMONY PARK DR
WESTMINSTER, CO 80234

Current Resident
1965 HARMONY PARK DR
WESTMINSTER, CO 80234

Current Resident
2171 W 128TH AVE
WESTMINSTER, CO 80234

Current Resident
12932 VALLEJO CIR
WESTMINSTER, CO 80234

Current Resident
12940 VALLEJO CIR
WESTMINSTER, CO 80234

Current Resident
1915 HARMONY PARK DR
WESTMINSTER, CO 80234

Current Resident
1930 HARMONY PARKWAY DR
WESTMINSTER, CO 80234

Current Resident
1935 W 129TH DR
WESTMINSTER, CO 80234

Current Resident
1945 HARMONY PARK DR
WESTMINSTER, CO 80234

Current Resident
1950 HARMONY PARK DR
WESTMINSTER, CO 80234

Current Resident
1960 HARMONY PARK DR
WESTMINSTER, CO 80234

Current Resident
1975 HARMONY PARK DR
WESTMINSTER, CO 80234

Current Resident
2271 W 128TH AVE
WESTMINSTER, CO 80234

Current Resident

2371 W 128TH AVE

WESTMINSTER, CO 80234

CERTIFICATE OF POSTING



I, **J. Gregory Barnes** do hereby certify that I posted the property at

12570 Zuni Street

on **May 22, 2018**

in accordance with the requirements of the Adams County Zoning Regulations

J. Gregory Barnes



Community & Economic Development Department

4430 South Adams County Parkway,
1st Floor, Suite W2000
Brighton, CO 80601-8205
PHONE 720.523.6800 FAX 720.523.6998

MEMORANDUM

To: Board of County Commissioners
From: J. Gregory Barnes, Planner II *JGB*
Subject: Channing / Case # RCU2017-00035
Date: July 5, 2018

If the Board of County Commissioners does not concur with the recommendation of Approval, the following findings may be adopted as part of a decision of Denial:

ALTERNATIVE RECOMMENDED FINDINGS FOR DENIAL

1. The conditional use is not permitted in the applicable zone district.
2. The conditional use is inconsistent with the purposes of these standards and regulations.
3. The conditional use will not comply with the requirements of these standards and regulations, including but not limited to, all applicable performance standards.
4. The conditional use is incompatible with the surrounding area, not harmonious with the character of the neighborhood, detrimental to the immediate area, detrimental to the future development of the area, and detrimental to the health, safety, or welfare of the inhabitants of the area and the County.
5. The conditional use permit has not addressed all off-site impacts.
6. The site is unsuitable for the proposed conditional use including inadequate usable space, inadequate access, and presence of environmental constraints.
7. The site plan for the proposed conditional use will not provide the most convenient and functional use of the lot including the parking scheme, traffic circulation, open space, fencing, screening, landscaping, signage, and lighting.
8. Sewer, water, storm water drainage, fire protection, police protection, and roads are not available and adequate to serve the needs of the conditional use as designed and proposed.