



**COMMUNITY AND ECONOMIC
DEVELOPMENT DEPARTMENT
STAFF REPORT**

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**COMMUNITY AND ECONOMIC
DEVELOPMENT DEPARTMENT
STAFF REPORT**

Board of County Commissioners

January 15, 2019

CASE No.:PRC2016-00005	CASE NAME: Berkeley Meadows Final Development Plan
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Owner's Name:	Del West Development Corp.
Applicant's Name:	JR Engineering
Applicant's Address:	7200 S Alton Way, Suite C400, Centennial, CO 80112
Location of Requests:	2405 West 56 th Avenue
Nature of Requests:	(1) Final Development Plan Development (FDP) to allow 54 single-family dwellings; (2) Major Subdivision Final Plat to create 54 single-family lots; (3) Subdivision Improvements Agreement (SIA)
Zone District:	Planned Unit Development (PUD)
Site Size:	10.17 acres
Proposed Uses:	Residential
Existing Use:	Vacant
Hearing Date:	BoCC: January 15, 2019 / 9:30 a.m.
Report Date:	December 14, 2018
Case Manager:	Greg Barnes
Staff Recommendation:	APPROVAL with 11 Findings-of-Fact and 1 Note.

BoCC UPDATE

On December 11, 2018, the Board of County Commissioners voted to continue this case to the January 15, 2019 agenda. At the December hearing, the Board asked the applicant to work with an adjoining property owner regarding the location of a proposed street to be known as West 56th Place.

On February 16, 2016, the Board of County Commissioners approved a rezoning, waiver from street design standards, preliminary development plan, and preliminary plat (PRC2015-00015) for development of 54 single-family dwellings. The approved preliminary development plan and preliminary plat created vested rights, pursuant to the requirements of Section 1-07-02 of the

Adams County Development Standards and Regulations. As a result of those vested rights, the applicant has proceeded with a final plat and final development plan depicting the approved location a public street to be known as West 56th Place.

The applicant agreed to explore ways to mitigate any issues that may arise for nearby property owners. It is expected that the applicant will provide an update on this matter at the public hearing.

SUMMARY OF APPLICATION

Background:

Del West Development Corporation is requesting approval of a final development plan, a major subdivision final plat, and associated subdivision improvements agreement. The proposed development consists of approximately 10-acres of infill residential development including 54 single-family lots and a 0.96 acre open space area. The project also includes construction of a new north-south internal roadway (Zuni Court) to serve the development. This new roadway will be constructed parallel to Zuni Street and will be connected via two internal east-west roads (see Exhibit 3.2).

The application was originally filed in 2016 by Berkeley Estates, LLC. During the review of the application, the ownership changed hands to Del West, and as a result of this transition, additional time was spent by the applicant on revising the application and resubmitting. In addition, a new referral period began, which allowed the public and referral agencies the opportunity to provide additional comments.

The Board of County Commissioners (BoCC) approved a Preliminary Development Plan (PDP) associated with the PUD in 2016. Per Section 2-02-10-04-01 of the County's Development Standards and Regulations, a Final Development Plan and subdivision plat is required prior to development of the site. The proposed request is to comply with requirements for obtaining a Final Development Plan and plat.

Site Characteristics:

The site is approximately 10.2 acres and located on the northwestern corner of the intersection of 56th Avenue and Zuni Street. The property is vacant, and surrounded on the east, south, and west by single-family residential dwellings. Most of these dwellings are one-story in height and were constructed from 1940-1970 with average lot sizes between 6,000 and 11,000 square feet.

Fisher Ditch is located north of the subject property. An industrial-zoned vacant lot is located across Fisher Ditch. The ditch provides a physical barrier between the industrial and residential zone districts. This industrial property has transportation access to its east; and therefore does not require a connection to the road network to the south, across the ditch.

The subject property is located within walking distance of two commuter rail stations. The proposed development is located approximately a half-mile from both Pecos and Clear Creek-Federal stations. The site is located south of RTD's G-Line.

Final Development Plan (FDP):

Per Section 2-02-10-01 of the Adams County Development Standards and Regulations, the objective of a Planned Unit Development (PUD) zone district is to establish an area of land to be developed under unified control or unified plan of development for a number of land uses. Per Section 3-29-02 of the County's Development Standards and Regulations, a PUD is a form of a customized zone district and therefore modifies development standards such as site area, density, setbacks, and height restrictions.

A PUD allows greater flexibility in the design of a development, more variety and diversification in the relationships between buildings and open spaces while meeting the goals, policies, and objectives of the County's Comprehensive Plan.

Below is the summary of housing types and design information, parking, and open space areas proposed with the FDP:

Housing Type & Design:

The proposed Berkeley Meadows FDP consists of 54 detached single-family dwellings with lot sizes varying from 3,938 to 10,153 square feet in area. The County's single-family (R-1-C) zone district requires a minimum lot size of 7,000 square feet for internal lots and 7,500 square feet for corner lots. The proposed FDP varies from this standard; however, a PUD zone district allows greater flexibility in the design of a development, including density and lot size. The development will consist of single- and two-story structures with a finished living area that ranges between 1,526 and 2,196 square feet. The maximum proposed dwelling height in the FDP is 25 ft which is similar to the height standards of the R-1-C zone district. In addition, all proposed garages in the development will be front loaded and constructed to accommodate parking for two cars. The development also includes a 41,784 sq. ft. open space area along the northern end of the development.

Minimum lot width will be 40 feet, except for corner lots which will have a minimum width of 45 feet. All of the lots will have a minimum depth of 95 feet. Proposed setbacks for dwellings will be 20 feet from front property lines (Zuni Court), 5 feet from side property lines (10 feet for corner lots) with a minimum 10 foot structure separation, and 15 foot setbacks from rear property lines. Rear setbacks would apply to residential lots with property lines adjacent to 56th Avenue and Zuni Street, which do not allow direct access to the properties. The proposed setbacks for the FDP are similar to required setbacks for the R-1-C zone district.

Homes proposed within the project will be comprised of a general architectural theme that will include consideration of color, form, materials, window proportions, and roof forms. Specific elevations were provided with the application (See Exhibit 3.2)

Parking:

All of the homes will be constructed with a two-car attached garage. This is consistent with the County's requirement for two off-street parking spaces for single family dwellings. On-street parking will be permitted within the development on both sides of Zuni Court, W. 56th Place, and W. 57th Avenue.

Open Space:

Per Section 3-29-03-05-06 of the County's Development Standards and Regulations, a minimum of 30% open space is required in all PUDs. Section 3-29-03-05-03 specifies that 25% of this required open space must be designated for active recreation purposes. 3.05 acres of open space will be required of the subject development to satisfy the 30% open space requirement, and 0.76 acres of that total must be designated for active recreation. The request includes an approximately 0.96 acre open space area on the northern portion of the site and approximately a quarter acre is designated for active recreation.

In addition to the dedicated open space area, the FDP also includes 5-foot wide, detached sidewalks on all internal streets and a 10-foot wide bicycle and pedestrian trail along the western portions of the improved Zuni Street. These sidewalks and the bicycle trail are included in the active recreation requirement. Overall, the development provides 35% open space, and of that open space, 27% is provided for active recreation area requirements. The proposed development exceeds the County's minimum requirements for open space and active recreation.

Major Subdivision (Final Plat):

Per Section 2-02-189 of the County's Development Standards and Regulations, the applicant is requesting a major subdivision (final plat) for the proposed residential development. Currently, the site consists of one single parcel. The applicant's proposal will create 54 residential lots and two tracts for landscaping and open space.

The proposed final plat conforms to the County's Development Standards and Regulations, which includes conformance to an approved preliminary plat. The proposed subdivision has adequate water and sewer facilities provided by the Berkeley Water and Sanitation District. All proposed drainage facilities have also been reviewed and approved by the County's Development Services Engineering. The County Development Services Engineering has also approved construction plans required for the development. The plans shows there will be adequate public infrastructure to support the development. A Subdivision Improvements Agreements, with sufficient collateral, has also been included with the application.

Additionally, the proposed subdivision is compatible with the surrounding area, harmonious with the character of the neighborhood, not detrimental to the immediate area, not detrimental to the future development of the area, and not detrimental to the health, safety, or welfare of the inhabitants of the area and the County.

Subdivision Improvement Agreement (SIA):

Per Section 5-02-05 of the County's Development Standards and Regulations, a subdivision improvement agreement is required with a final plat. The agreement is required to address the manner and timing of the completion of all subdivision improvements and responsibility for payment of the costs of improvements associated with the development. A Subdivision Improvements Agreement submitted with the application outlines the Developer's obligation for Public Land Dedication (PLD) fees for schools and parks, and required construction and associated collateral for all public improvements. In 2016, the applicant was granted a waiver to construct a 10 foot wide trail in lieu of 5 foot sidewalks along the western side of Zuni Street.

Per Section 5-05-05 of the Development Standards and Regulations, public land dedication to support schools and parks is a requirement for new subdivisions. The applicant has paid cash-in-lieu of the dedication requirements. A total of \$105,872.25 was provided to support schools, neighborhood parks, and regional parks.

Future Land Use Designation:

The Adams County Comprehensive Plan designates this area as Urban Residential, allowing single and multi-family housing at higher urban densities in locations that are readily accessible to urban services and transportation. The subject proposal consists of approximately 5.5 dwelling units per acre. The development is well connected to surrounding road networks with access to major streets such as Zuni Street and 56th Avenue. The proposal is also centrally located between two RTD commuter rail transit stations. The request is also consistent with the goals of the Comprehensive Plan to provide higher density housing near urban services and transportation.

Additionally, the surrounding properties to the south, east, and west are designated as Urban Residential Future Land Use in the Comprehensive Plan. The properties to the north have designations of Mixed-Use Employment and Open Space. The subject request includes an open space area at the northern portion of the development. This open space will serve as a buffer between the proposed residential uses and the currently vacant industrially-zoned property.

The site is within the Southwest Framework plan, adopted as an amendment to the Comprehensive Plan, which outlines existing conditions and directs future planning efforts in the County. The Framework Plan identifies the southwest portion of the County as containing most of the older, more urbanized areas of the County as well as a wide range and mix of land uses. The Framework Plan references the policies and strategies outlined in the Comprehensive Plan, such as maintaining and enhancing the quality of existing residential neighborhoods and enhancing the area's role as an important gateway to the County. The proposed development would require public improvements such as curb, gutter, and increased sidewalk access, as well as landscape and streetscape improvements to create and improve the health, safety, and image of the area.

Surrounding Zoning Designations and Existing Use Activity:

Northwest I-1 Vacant	North I-1 Vacant	Northeast R-1-C Vacant
West R-1-C Single-Family Residential	Subject Property A-3 Agricultural	East R-1-C Single-Family Residential
Southwest R-2 Single-Family Residential	South R-2 Single-Family Residential	Southeast R-2 Fire Station

Compatibility with the Surrounding Land Uses:

Properties to the west, east, and south of the proposed development are developed as single-family residential. Two properties located north and northeast are vacant. A property located to the southeast of the subject request is developed as the Southwest Adams Fire Station #13. The proposal for single-family dwellings at this location is compatible with the majority of surrounding uses and is compatible with the Comprehensive Plan future land use designation of Urban Residential.

Referral Comments:

Development Services Engineering reviewed the request and informed the applicant that the final site construction and drainage plans have been approved; however, final building permits will not be issued until all public improvements have been constructed, inspected, and preliminarily accepted by the County.

The Colorado Geological Survey (CGS) had no objections to the proposed plat or development plan and provided the applicant with information for construction of foundations at the time of development. CGS identified shallow groundwater and collapsible soil in the area.

Staff Recommendations:

Based upon the application, the criteria for approval for a Final Development Plan, a final plat, and Subdivision Improvements Agreement, and a recent site visit, staff recommends approval of this request with 11 findings-of-fact and 1 note.

RECOMMENDED FINDINGS-OF-FACT

Final Development Plan:

1. The FDP is in general conformity with the Adams County Comprehensive Plan and any applicable area plan.
2. The FDP conforms to the P.U.D. standards.

3. The FDP is consistent with any approved PDP for the property.
4. The FDP construction plans meet the requirements of these standards and regulations and have been approved by the Director of Community and Economic Development, all infrastructure and utility providers, Tri-County Health Department, and all other referral agencies.

Major Subdivision (Final Plat):

5. The final plat is consistent and conforms to the approved preliminary plat.
6. The final plat is in conformance with the subdivision design standards.
7. The applicant has provided evidence that a sufficient water supply has been acquired in terms of quantity, quality, and dependability for the type of subdivision proposed, as determined in accordance with the standards set forth in the water supply standards.
8. The applicant has provided evidence that a public sewage disposal system has been established and, if other methods of sewage disposal are proposed, adequate evidence indicating that the system complies with state and local laws and regulations.
9. The applicant has provided evidence to show all areas of the proposed subdivision, which may involve soil or topographical conditions presenting hazards or requiring special precautions, have been identified by the applicant and the proposed uses of these areas are compatible with such conditions.
10. The proposed or constructed drainage improvements are adequate and comply with these standards and regulations.
11. Adequate public facilities or infrastructure, or cash-in-lieu, for impacts reasonably related to the proposed subdivision have been constructed or financially guaranteed through cash-in-lieu or a subdivision improvements agreement so the proposed subdivision will not negatively impact the levels of service of the County.

Recommended Note to the Applicant:

1. The applicant shall comply with all building, zoning, fire, engineering, and health codes and regulations during the development of the subject site.

CITIZEN COMMENTS

Number of Notices Mailed (1000 Feet)	Number of Public Comments Received by Staff
638	4

Staff received four comments from surrounding property owners. These property owners did not object to the proposed use of the site for single-family residential dwellings but did state general concerns of increase in traffic from the new development. Other concerns included continuous privacy fencing along West 56th Avenue and Zuni Street, intersection of new local streets with

Zuni Street, potential for the bicycle trail and open space to attract transient camps, and a request for the new homes to be oriented toward the existing neighborhood.

The overall street layout of the development provides the best traffic management for the area and the proposed intersections with existing Zuni Street are spaced to provide a safe distance from existing intersections in the area. In addition, staff reviewed a traffic study as part of the application and determined all necessary public improvements were adequately provided with the construction plans. The proposed development allows for traffic to collect on internal streets and funnel through Zuni Street, and will limit access points on Zuni Street and East 56th Avenue. In addition, all open space and trails will be maintained by the home owners association and will provide an amenity to future residents of the development.

Staff evaluated the options for fencing along West 56th Avenue and Zuni Streets. A uniform fencing style has been proposed along these streets to provide privacy screening for the rear yards of the development. The proposal includes landscaping along the privacy fence to mitigate continuous runs of fencing along these roadways.

REFERRAL AGENCY COMMENTS

Responding with Concerns:

Colorado Geologic Survey

Responding without Concerns:

Colorado Department of Transportation (CDOT)

Colorado Division of Water Resources

Xcel Energy

Notified but not Responding / Considered a Favorable Response:

Adams County Fire Protection District

Berkeley Water & Sanitation

Century Link

Comcast

Fisher Ditch Company

Hyland Hills Park & Rec District

Metro Wastewater Reclamation

North Pecos Water & Sanitation

Northridge Estates at Gold Run HOA

Tri-County Health Department

Union Pacific Railroad

US Post Office

US Environmental Protection Agency

Westminster School District #50



Legend

- Railroad
- Major Water
- Zoning Line
- Sections

Zoning Districts

- A-1
- A-2
- A-3
- R-E
- R-1-A
- R-1-C
- R-2
- R-3
- R-4
- M-H
- C-0
- C-1
- C-2
- C-3
- C-4
- C-5
- I-1
- I-2
- I-3
- CO
- PL
- AV
- DIA
- P-U-D
- P-U-D(P)

Berkeley Meadows

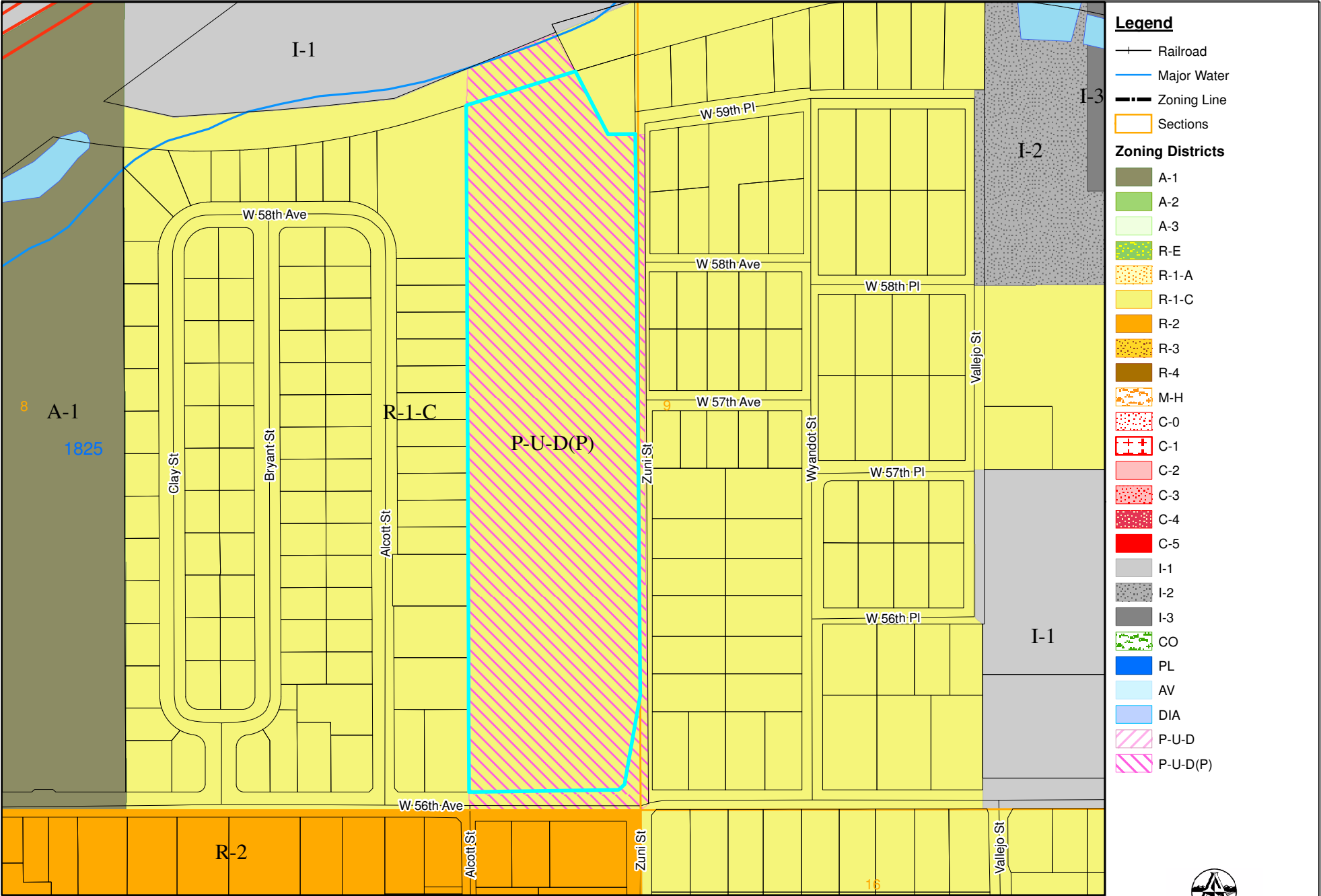
PRC2016-00005



For display purposes only.



This map is made possible by the Adams County GIS group, which assumes no responsibility for its accuracy



Legend

- Railroad
- Major Water
- - - Zoning Line
- Sections

Zoning Districts

- A-1
- A-2
- A-3
- R-E
- R-1-A
- R-1-C
- R-2
- R-3
- R-4
- M-H
- C-0
- C-1
- C-2
- C-3
- C-4
- C-5
- I-1
- I-2
- I-3
- CO
- PL
- AV
- DIA
- P-U-D
- P-U-D(P)

Berkeley Meadows

PRC2016-00005

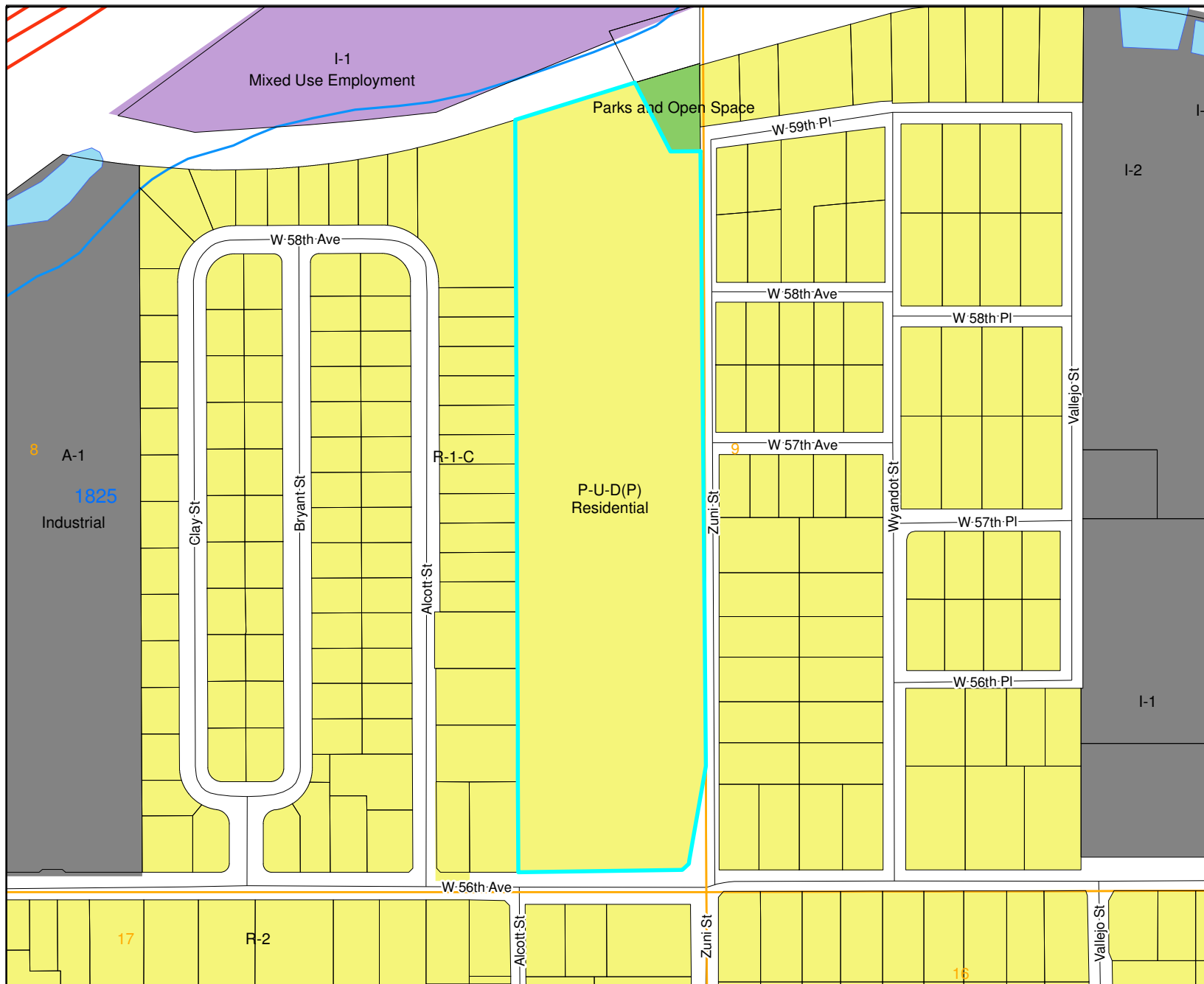


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ADAMS COUNTY
COLORADO

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group, which assumes no
responsibility for its accuracy



Legend

- Railroad
- Major Water
- Zoning Line
- Sections

Berkeley Meadows

PRC2016-00005

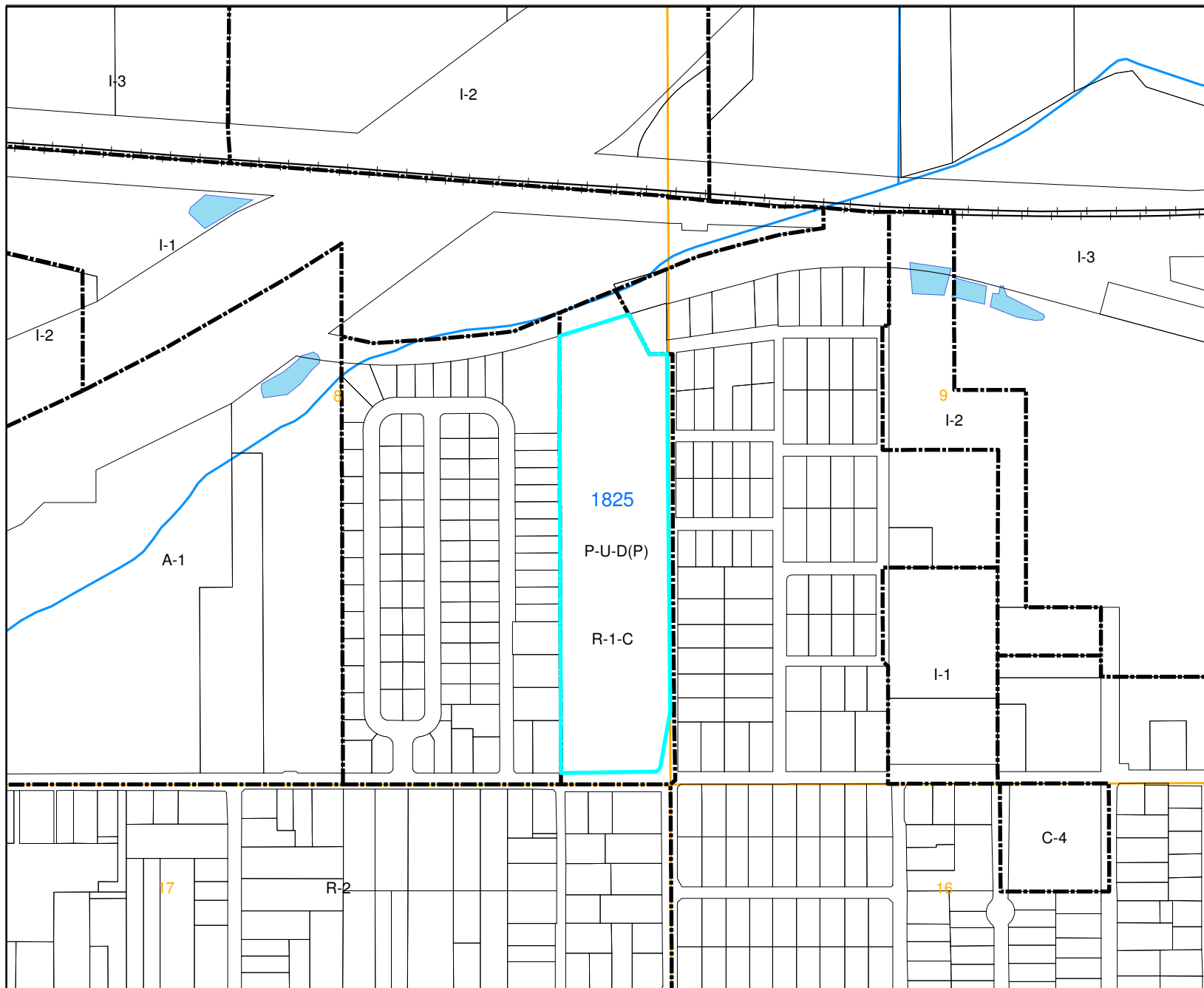


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ADAMS COUNTY
COLORADO

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LEGEND

- ★ Special Zoning Conditions
- 3 Section Numbers
- +— Railroad
- Major Water
- - - Zoning Line
- Sections

Berkeley Meadows

PRC2016-00005



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ADAMS COUNTY
COLORADO

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March 28, 2018

Mr. Greg Barnes
Senior Planner
Adams County
 4430 S. Adams County Parkway
 Brighton, CO 80601



RE: Berkeley Estates Subdivision –Project Re-submittal March 2018

Dear Mr. Barnes:

This letter is attached to a request for a re-submittal of the Final PUD and Final Plat with Adams County staff. We request this project be routed through the departments and agencies to allow the case to be heard in front of the BOCC. We will be providing a revised subdivision improvements agreement (SIA) at a later date upon changes in improvements to be required by public works due to recent code changes. The general terms of the previous SIA will still be applicable with a new schedule of values added and updated dates, ownership names etc. We will be requesting one term change in the SIA to allow initial acceptance of the subdivision allowing homes to be built without the top lift of asphalt. The top lift of asphalt would be completed later in the process but prior to final acceptance.

This project is located at the northwest corner of W. 56th Avenue and Zuni Street. The property address is 2405 W. 56th Ave, which is situated in the southeast quarter of Section 8, Township 3 South, Range 68 West of the sixth principal meridian in Adams County Colorado. The project owner is Berkeley Estates LLC; 4301 Jason Street, Denver, CO 80211. The engineer/ planner and authorized representative for the project is Jim Fitzmorris; JR Engineering, LLC; 7200 South Alton Way, Suite C400; Centennial, Colorado, 80112.

The proposed plan is to complete the process for a Final PUD and Final Plat to permit 54 detached single-family residential homes on the 10.7 acre property. Please see the attached revised documents and other documentation as requested by staff. Public roads dedicated to Adams County are proposed as shown.

The revised PUD provides for minor changes including revised house models for a new prospective builder (Delwest), potential enhancements and changes in allowances to the fencing proposed, change in owner and contact information taking effect upon land sale, deletion of the proposed side-load garage access to 56th Place and 57th Ave, and changes in allowed advertising signs during home sales.

There will be no known negative impacts associated with the proposed project. Project benefits include providing new housing stock to the neighborhood to improve surrounding property values, improvements to Zuni Street as described below, and utility and drainage infrastructure improvements.

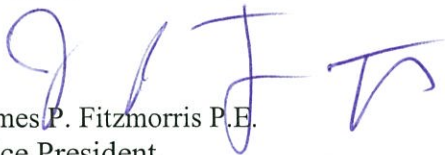
Zuni Street will be improved to a safe and efficient roadway in place of its current extremely degraded and unsafe condition. These improvements will remove a liability from Adams County and provide the neighborhood with a viable roadway as well as a path for emergency vehicles to use which does not exist today. Zuni Street is proposed to include a regional trail and landscape buffer on the west side of the road and a new curb and gutter and driveway improvements on the east side. 30 feet of new Right of Way (ROW) are proposed to be added to the existing Zuni Street ROW to provide an appropriate street section.

We request Adams County support for this plan. The project is expected to begin construction as soon as planning and engineering approvals can be gained and permits can be applied for.

Sincerely,

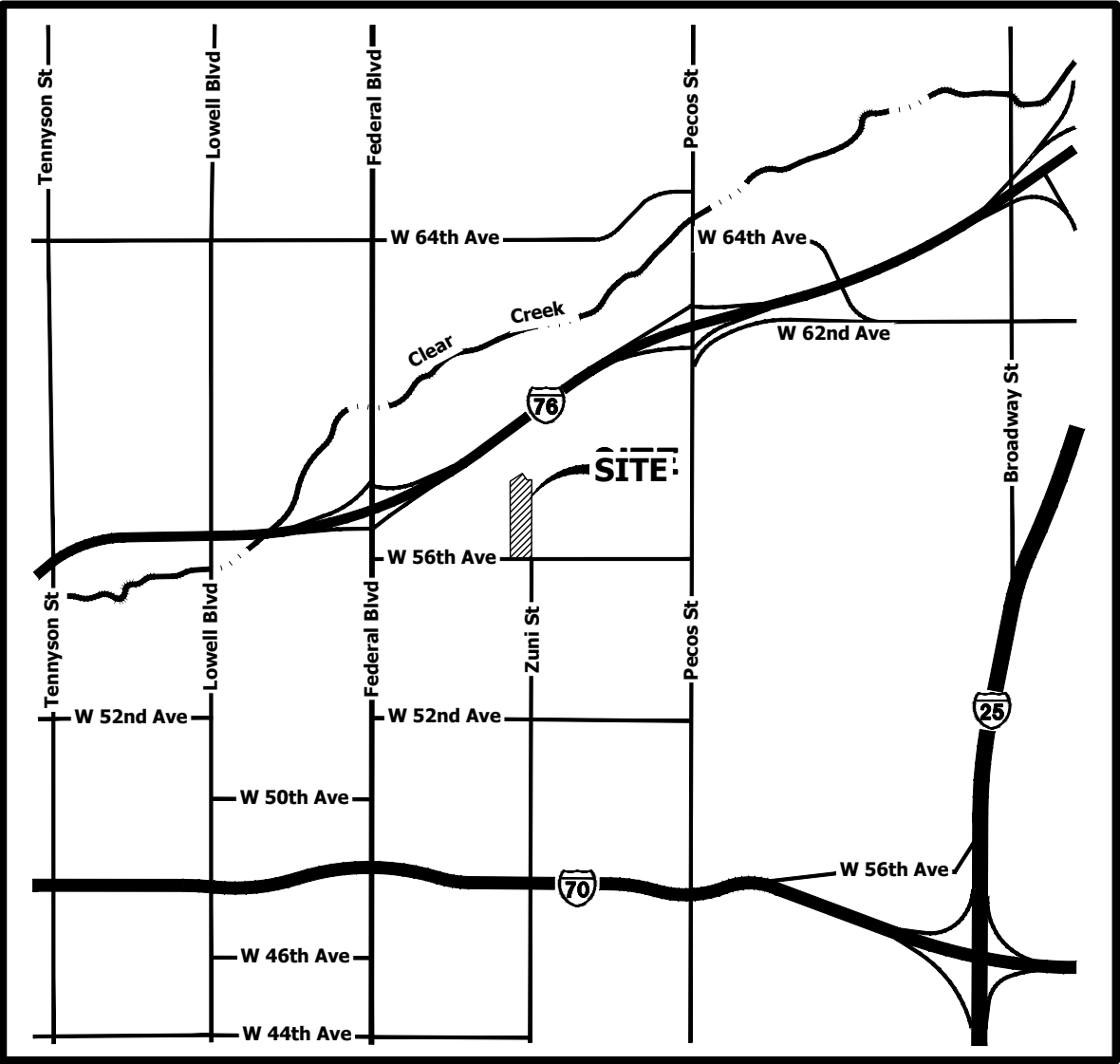
JR ENGINEERING, LLC

James P. Fitzmorris P.E.
Vice President

A handwritten signature in blue ink, appearing to read 'J.P. Fitzmorris', is written over the printed name and title.

BERKELEY MEADOWS
PLANNED UNIT DEVELOPMENT - FINAL DEVELOPMENT PLAN

LOCATED IN THE SOUTHEAST 1/4 OF SECTION 8,
TOWNSHIP 3 SOUTH, RANGE 68 WEST, 6TH PRINCIPAL MERIDIAN,
COUNTY OF ADAMS, STATE OF COLORADO



VICINITY MAP:
SCALE: 1" = 3,000' (2 MILE RADIUS)

SHEET INDEX - FDP:

Table with 2 columns: DESCRIPTION and SHEET #. Rows include COVER SHEET (1), NARRATIVE AND NOTES (2-3), SITE PLAN (4-5), DETAILS (6-9), and TYPICAL HOUSE ELEVATIONS (10-16).

PROPERTY OWNER

DELWEST DEVELOPMENT CORP.
ATTN: DARRELL SCHREINER
155 S. MADISON ST. #326
DENVER, CO, 80209

ENGINEER/PLANNER

JR ENGINEERING, LLC
ATTN: JIM FITZMORRIS, PE
7200 SOUTH ALTON WAY, SUITE C400
CENTENNIAL, CO 80112
P~303.267.6185
JFITZMORRIS@JRENGINEERING.COM

SURVEYOR

JR ENGINEERING, LLC
ATTN: JARROD ADAMS, PLS
7200 SOUTH ALTON WAY, SUITE C400
CENTENNIAL, CO 80112
P~303.740.9393
JADAMS@JRENGINEERING.COM

LANDSCAPE ARCHITECT

JR ENGINEERING, LLC
ATTN: KEN MERRITT, APA RLA
7200 SOUTH ALTON WAY, SUITE C400
CENTENNIAL, CO 80112
P~303.267.6233
KMERRITT@JRENGINEERING.COM

LEGAL DESCRIPTION:

A PARCEL OF LAND BEING A PORTION OF THE SOUTHEAST QUARTER OF SECTION 8, TOWNSHIP 3 SOUTH, RANGE 68 WEST OF THE 6TH PRINCIPAL MERIDIAN, ADAMS COUNTY, COLORADO BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT THE SOUTHEAST CORNER OF SE 1/4 SECTION 8, THENCE NORTH ALONG SECTION LINE FOR 1464 FEET TO SOUTH LINE OF COLORADO AND SOUTHERN RAIL ROAD RIGHT OF WAY, THENCE IN A SOUTHWESTERLY DIRECTION ALONG SAID COLORADO AND SOUTHERN RAIL ROAD RIGHT OF WAY TO A POINT 331.75 FEET WEST OF EAST LINE OF SAID SECTION AND THENCE SOUTH 1364 FEET TO SOUTH LINE SAID SECTION THENCE EAST 331.75 FEET TO PLACE OF BEGINNING.

EXCEPT ROAD ON SOUTH SIDE AS PER DEED OF RECORD, THE PROPERTY CONVEYED BY THE PERSONAL REPRESENTATIVE'S DEED DATED MARCH 12, 2009 AND RECORDED MARCH 12, 2009 AT RECEPTION NO. 2009000017688, AND THE PROPERTY CONVEYED BY THE PERSONAL REPRESENTATIVE'S DEED DATED MARCH 12, 2009 AND RECORDED MARCH 12, 2009 AT RECEPTION NO. 2009000017689.

THE ABOVE DESCRIBED PROPERTY ALSO BEING DESCRIBED AS FOLLOWS:

BASIS OF BEARINGS: THE EAST LINE OF THE SOUTHEAST QUARTER OF SECTION 8, TOWNSHIP 3 SOUTH, RANGE 68 WEST OF THE 6TH PRINCIPAL MERIDIAN, BEING MONUMENTED BY A 3-1/4" ALUMINUM CAP MARKED "PLS 16406, 1996" AT THE SOUTHEAST CORNER AND A 3-1/4" ALUMINUM CAP MARKED "PLS 20160, 1998" AT THE EAST QUARTER CORNER, BEING ASSUMED TO BEAR S00°13'28"E A DISTANCE OF 2640.17 FEET.

COMMENCING AT THE SOUTHEAST CORNER OF SAID SECTION 8;

THENCE ON SAID EAST LINE OF THE SOUTHEAST QUARTER, N00°13'28"W 222.47 FEET, TO A POINT ON THE NORTHERLY LINE OF THAT PARCEL AS DESCRIBED AT RECEPTION NO. 2009000017688, AND THE POINT OF BEGINNING;

THENCE ON SAID NORTHERLY LINE THE FOLLOWING FOUR (4) COURSES:

- 1. S10°00'01"W A DISTANCE OF 168.18 FEET;
2. S08°59'41"W A DISTANCE OF 6.85 FEET;
3. S45°32'10"W A DISTANCE OF 15.93 FEET;
4. S89°12'23"W A DISTANCE OF 289.40 FEET, TO A POINT BEING 331.75 FEET WEST OF SAID EAST LINE OF THE SOUTHEAST QUARTER,

THENCE N00°13'28"W A DISTANCE OF 460.01 FEET, TO THE SOUTHEAST CORNER OF NORTHRIDGE ESTATES AT GOLD RUN SUBDIVISION AS DESCRIBED UNDER RECEPTION NUMBER C0700025;

THENCE ON THE EAST LINE OF SAID SUBDIVISION, N00°13'28"W A DISTANCE OF 869.57 FEET, TO A POINT ON THE SOUTHERLY RIGHT OF WAY LINE OF THE COLORADO AND SOUTHERN RAIL ROAD AS DESCRIBED IN BOOK 3475 AT PAGE 305;

THENCE ON SAID SOUTHERLY RIGHT OF WAY, N73°09'25"E A DISTANCE OF 227.36 FEET, TO A POINT ON THE WESTERLY LINE OF THAT PARCEL AS DESCRIBED AT RECEPTION NO. 2009000017689;

THENCE ON SAID WESTERLY LINE THE FOLLOWING TWO (2) COURSES:

- 1. S26°51'36"E A DISTANCE OF 135.81 FEET;
2. N89°46'28"E A DISTANCE OF 53.00 FEET TO A POINT ON SAID EAST LINE OF THE SOUTHEAST QUARTER OF SECTION 8;

THENCE ON SAID EAST LINE OF THE SOUTHEAST QUARTER, S00°13'28"E A DISTANCE OF 1086.95 FEET TO THE POINT OF BEGINNING.

SAID PARCEL CONTAINS AN OVERALL CALCULATED AREA OF 441,825 SQUARE FEET OR 10.143 ACRES.

ADDITIONS AND DELETIONS:

THE FOLLOWING ADDITIONS AND DELETIONS IN THE PUD WERE MADE BY THE BOARD OF COUNTY COMMISSIONERS AT THE TIME OF APPROVAL.

Empty lines for additions and deletions.

PLANNING COMMISSION APPROVAL

APPROVED BY THE ADAMS COUNTY PLANNING COMMISSION THIS ____ DAY OF ____, 20__

CHAIR

CERTIFICATE OF OWNERSHIP:

DELWEST DEVELOPMENT CORP. BEING THE OWNER OF BERKELEY MEADOWS LOCATED IN THE COUNTY OF ADAMS, STATE OF COLORADO, HEREBY SUBMIT THIS PLANNED UNIT DEVELOPMENT - FINAL DEVELOPMENT PLAN AND AGREE TO PERFORM UNDER THE TERMS NOTED HEREON.

BY:
STATE COLORADO)
COUNTY OF ADAMS)

THE FOREGOING OWNERSHIP CERTIFICATE WAS ACKNOWLEDGED BEFORE ME THIS ____ DAY OF ____, 20__

NOTARY PUBLIC

MY COMMISSION EXPIRES: ____

BOARD OF COUNTY COMMISSIONERS APPROVAL:

APPROVED BY THE ADAMS COUNTY BOARD OF COMMISSIONERS THIS ____ DAY OF ____, 20__

CHAIR

CERTIFICATE OF THE CLERK AND RECORDER:

THIS FINAL DEVELOPMENT PLAN WAS FILED FOR RECORD IN THE OFFICE OF THE ADAMS COUNTY CLERK AND RECORDER IN THE STATE OF COLORADO AT ____ M. ON THE ____ DAY OF ____, 20__.

COUNTY CLERK AND RECORDER

BY DEPUTY: ____

COVER SHEET
BERKELEY MEADOWS
JOB NO. 15565.00
DATE 10/17/18



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Fort Collins 970-491-9888 • www.jrengineering.com

BERKELEY MEADOWS

PLANNED UNIT DEVELOPMENT - FINAL DEVELOPMENT PLAN

LOCATED IN THE SOUTHEAST 1/4 OF SECTION 8,
TOWNSHIP 3 SOUTH, RANGE 68 WEST, 6TH PRINCIPAL MERIDIAN,
COUNTY OF ADAMS, STATE OF COLORADO

EXPLANATION OF THE PUD

THE BERKELEY MEADOWS FINAL DEVELOPMENT PLAN (FDP) CREATES A SINGLE-FAMILY DETACHED RESIDENTIAL COMMUNITY CONSISTING OF 54 LOTS, A POCKET PARK, TRAILS, OPEN SPACE, SIGNIFICANT RIGHT-OF-WAY DEDICATION, AND STREETScape LANDSCAPING ON APPROXIMATELY 10.14 ACRES. THE INTENT OF THE PUD IS TO ALLOW FOR DESIGN FLEXIBILITY WITH LOT SIZES, BUILDING SETBACKS, AND STREET DESIGN, WHILE PROVIDING NEEDED COMMUNITY IMPROVEMENTS AND MAINTAINING COMPATIBILITY WITH SURROUNDING NEIGHBORHOODS. THE PLANNING AND DESIGN OF BERKELEY MEADOWS PUD SHALL CONFORM AND BE CONSISTENT WITH THE ADAMS COUNTY SUBDIVISION REGULATIONS AND ENGINEERING STANDARDS, UNLESS OTHERWISE SET FORTH IN THE PRELIMINARY OR FINAL PUD PLAN.

KEY FEATURES

- 54 SINGLE FAMILY DETACHED LOTS.
- TWO ACCESS POINTS OFF OF ZUNI STREET AT W. 56TH PLACE AND W 57TH AVENUE.
- ALL HOMES WILL FRONT OFF OF A NEW NORTH-SOUTH INTERNAL STREET THAT HAS A CUL-DE-SAC AT EACH END.
- OVERALL DENSITY IS COMPATIBLE WITH THE SURROUNDING NEIGHBORHOODS.
- HIGH QUALITY NEIGHBORHOOD AND SINGLE-FAMILY DETACHED HOMES.
- DEVELOPMENT STANDARDS BASED ON UNDERLYING ZONING OF R-1-C WITH THE ONLY DIFFERENCES RELATED TO MINIMUM LOT WIDTHS, SETBACKS , AND LIMITING USES TO PROMOTE COMPATIBILITY WITH SURROUNDING SINGLE FAMILY NEIGHBORHOODS.
- VARIETY OF LOT SIZES FROM 3,938 TO 10,153 SQUARE FEET.
- MINIMUM LOT WIDTH AT STREET FRONTAGE WILL BE 40 FEET ON STRAIGHT STREETS, 45 FEET AT CORNER LOTS AND 40 FEET AT CUL-DE-SACS.
- MOST LOTS WILL HAVE A DEPTH OF APPROXIMATELY 125 FEET, ALLOWING FOR INCREASED SETBACK DISTANCES BETWEEN SURROUNDING NEIGHBORHOODS.
- ACTIVE POCKET PARK.
- COMMUNITY WILL HAVE AN HOA AND COVENANT CONTROLS PRIOR TO THE CLOSING OF THE FIRST HOME SALE.
- PROVIDE NEEDED INFRASTRUCTURE TO ZUNI STREET BY WIDENING THE EXISTING UNSERVICEABLE STREET, ADDING CURB AND GUTTER ON BOTH SIDES OF THE STREET, AND BUILDING A NEW STREET WITH 28 FEET OF ASPHALT AND PROVIDING CURB, GUTTER AND A 10-FOOT WIDE ATTACHED SIDEWALK ALONG ZUNI STREET'S WESTERN EDGE.
- AT THE REQUEST OF DENVER WATER, LOOP DEAD-END WATER LINES WILL BE CONNECTED.

EXPECTED DENSITIES & COVERAGE

BERKELEY MEADOWS PUD SHALL HAVE A MAXIMUM OF 54 HOMES ON A TOTAL OF 10.14 ACRES, FOR AN OVERALL GROSS DENSITY OF 5.3 DWELLING UNITS PER ACRE (DU/AC). BUILDING COVERAGE WILL BE LESS THAN FORTY PERCENT (40%) OF THE LOT AREA. THE TOTAL LOT AREA FOR ACCESSORY BUILDINGS SHALL NOT EXCEED TWENTY-FIVE PERCENT (25%) OF THE LOT AREA. THE TOTAL FLOOR AREA FOR ACCESSORY STRUCTURES MUST BE NO MORE THAN SIXTY (60%) OF THE FIRST FLOOR AREA OF THE DWELLING UNIT. IN NO CIRCUMSTANCES MAY THE TOTAL SQUARE FOOTAGE OF ACCESSORY STRUCTURES BE MORE THAN 500 SQUARE FEET PER LOT.

LAND USE LEGEND

LAND USE SUMMARY	ACRES	% OF TOTAL
MAXIMUM NET DEVELOPABLE (LOT AREA)	6.565	64.7%
MAXIMUM COMBINED OPEN SPACE AND ROW DEDICATION	3.578	35.3%
TOTAL SITE AREA	10.143	100%

OPEN SPACE & RIGHT OF WAY DEDICATION

LAND USE SUMMARY	ACRES	% OF TOTAL OPEN SPACE
ACTIVE OPEN SPACE AREA		
TRACT A	0.951	27.19%
REGIONAL TRAIL	0.292	8.35%
ROADWAY (ZUNI STREET)	0.529	15.12%
RIGHT OF WAY (ZUNI COURT, W. 57TH AVE., W. 56TH PLACE)	1.726	49.34%
TOTAL	3.498	100.0%

DEVELOPMENT STANDARDS

ZONE CHARACTERISTICS	BERKELEY MEADOWS PUD
MAX. NUMBER OF SF DETACHED HOMES	54
MINIMUM LOT SIZE	3,938
CORNER LOTS	5,587
MINIMUM LOT WIDTH (INTERNAL)	40 FEET (EXCEPT CUL-DE-SACS)
MINIMUM LOT WIDTH CUL-DE-SACS	40.2 FEET
MINIMUM LOT WIDTH (CORNER)	45 FEET
MINIMUM FLOOR AREA FOR DWELLING	1,100 S.F.
MAXIMUM TOTAL FLOOR AREA ACCESSORY STRUCTURES	500 S.F.
MAX FLOOR AREA FOR ACCESSORY STRUCTURES AS A PERCENTAGE OF DWELLING UNIT'S FIRST FLOOR AREA	60%

MIN. SETBACKS - PRINCIPAL STRUCTURE AND ACCESSORY STRUCTURES:

FRONT	20 FEET
SIDE	5 FEET FROM PROPERTY LINE AND 10 FEET BETWEEN STRUCTURES
SIDE CORNER	10 FEET
REAR	15 FEET
ROW - LOCAL OR COLLECTOR	FRONT 20 FEET; REAR 15 FEET; SIDE 10 FEET

MAXIMUM HEIGHT

DWELLING (1 & 2 STORY DWELLING)	HEIGHT AS ALLOWED BY ADAMS COUNTY R-1-C ZONE DISTRICT STANDARDS
ACCESSORY	HEIGHT AS ALLOWED BY ADAMS COUNTY R-1-C ZONE DISTRICT STANDARDS

USES RESTRICTONS AND PERFORMANCE STANDARDS

BERKELEY MEADOWS IS A SMALL INFILL DEVELOPMENT INTENDED TO BE COMPATIBLE WITH THE SURROUNDING SINGLE FAMILY NEIGHBORHOOD IN TERMS OF DENSITY AND USES. THE PUD WILL RETAIN THE SAME USE RESTRICTIONS AS THE UNDERLYING ZONE DISTRICT (R-1-C).

PERFORMANCE STANDARDS

UNLESS OTHERWISE SET FORTH IN THE PUD, THE PLANNING, DESIGN, OPERATION AND DEVELOPMENT OF BERKELEY MEADOWS PUD MUST MEET PERFORMANCE STANDARDS SET FORTH IN *SECTION 4-07* RESIDENTIAL USE PERFORMANCE STANDARDS ADAMS COUNTY DESIGN REQUIREMENTS AND PERFORMANCE STANDARDS SET FORTH IN SECTION 4-07 RESIDENTIAL USE PERFORMANCE STANDARDS ADAMS COUNTY DESIGN REQUIREMENTS AND PERFORMANCE STANDARDS.

PROHIBITED USES

ALL USES: (1) NOT EXPRESSLY IDENTIFIED AS PERMITTED USES IN THIS SECTION; OR (2) DETERMINED TO BE PERMITTED BY THE DIRECTOR OF COMMUNITY AND ECONOMIC DEVELOPMENT PURSUANT TO SECTION 3-05-01 OF ADAMS COUNTY DEVELOPMENT STANDARDS AND REGULATIONS, ARE PROHIBITED.

ARCHITECTURAL GUIDELINES

HOMES WITHIN THE PROJECT SHALL BE COMPRISED OF A GENERAL OVERALL ARCHITECTURAL THEME THAT INCLUDES THE CONSIDERATION OF COLOR, THE BUILDING FORM, SIDING AND BASE MATERIALS, WINDOW PROPORTIONS, ROOF FORMS, AND OTHER BUILDING ELEMENTS WHICH COMBINE TO CREATE AN OVERALL APPEALING AND COMPATIBLE EFFECT. EXTERIOR OF ACCESSORY STRUCTURES SHALL MATCH COLOR AND MATERIAL OF THE HOMES.

COVENANTS AND HOMEOWNERS ASSOCIATION

COVENANTS, CONDITIONS AND RESTRICTIONS FOR BERKELEY MEADOWS PUD WILL BE RECORDED WITH ADAMS COUNTY PRIOR TO THE CLOSING OF THE FIRST HOME SALE.

OWNERSHIP AND MAINTENANCE OF COMMON AREAS

THE HOA WILL OWN AND MAINTAIN TRACT A AND B, WHICH INCLUDES THE DETENTION POND AND POCKET PARK AND ALL ITS AMENITIES. THE HOA WILL ALSO BE RESPONSIBLE FOR AND MAINTAIN THE STREETScape ALONG THE WESTERN EDGE OF ZUNI STREET (6 FOOT STRIP BETWEEN THE 10 FOOT SIDEWALK AND PRIVACY FENCE) AND THE STREETScape ALONG AND WITHIN THE RIGHT-OF-WAY OF 56TH AVENUE, 56TH PLACE AND 57 AVENUE. THE HOA WILL OWN AND MAINTAIN ALL MAILBOX KIOSKS.

LANDSCAPE DEVELOPMENT

COMMON AREA LANDSCAPE FEATURES:

- THE COMMUNITY POCKET PARK WILL INCLUDE A CHILDREN'S PLAY FEATURE WITH REQUIRED ACCESSIBLE ACCESS AND RESILIENT SAFETY SURFACING, BENCHES AND TRASH RECEPTACLES, CONCRETE ACCESS WALKS, AND LANDSCAPING. AN IRRIGATED TURF AREA WILL ALSO BE PROVIDED FOR FREE PLAY ACTIVITIES.
- STREETScape ALONG ZUNI STREET WILL CONSIST OF TREES, SHRUBS AND ORNAMENTAL GRASSES IN LANDSCAPE BEDS WITH DECORATIVE ROCK AND/OR BARK MULCH OVER WEED BARRIER FABRIC. A LOW WATER TEXAS HYBRID BLUEGRASS BLEND OF SOD OR SIMILAR WILL BE PROVIDED IN THE PARK LANDSCAPING. ALL LANDSCAPE BEDS AND TURF WILL BE SERVED BY A PERMANENT AUTOMATIC UNDERGROUND IRRIGATION SYSTEM.
- THE DETENTION BASIN WILL BE SEEDED WITH A DROUGHT TOLERANT NATIVE GRASS SEED MIX AND ESTABLISHED WITH A SEPARATELY ZONED TEMPORARY ABOVE GROUND IRRIGATION SYSTEM.

RESIDENTIAL LANDSCAPE STANDARDS

FRONT YARDS SHALL BE LANDSCAPED BY THE BUILDER PRIOR TO OCCUPANCY. FRONT YARD LANDSCAPING SHALL INCLUDE ONE (1) 2" CALIPER DECIDUOUS TREE, THREE (3) 5-GALLON DECIDUOUS SHRUBS, AND A COMBINATION OF IRRIGATED SOD AND ROCK MULCH. EACH LOT/HOME OWNER SHALL BE REQUIRED TO INSTALL REAR YARD LANDSCAPING WITHIN ONE YEAR OF OCCUPANCY. EACH LOT/HOME OWNER SHALL BE RESPONSIBLE TO MAINTAIN THE FRONT SIDE AND REAR LOT LANDSCAPING IN A MANNER CONSISTENT WITH THE REQUIREMENT OF THE HOME OWNERS ASSOCIATION COVENANTS, CONDITIONS, AND RESTRICTIONS. IN THE CASE OF REAR FENCE GATES, HOMEOWNERS WILL WORK WITH HOA TO RELOCATE PLANT MATERIALS TO ACCOMMODATE GATE.

SETBACK NOTE

NOTE THAT ANY PORTION OF THE STRUCTURE WITHIN THE 5 FOOT SETBACK (ONLY TO INCLUDE CANTILEVERS FOR CLOSETS OR FIRE PLACES OR ROOF OVERHANGS) SHALL MEET CURRENT BUILDING CODE FOR FIRE RATED CONSTRUCTION. ANY CANTILEVERS SHALL BE NO MORE THAN 2 FEET INTO THE SETBACK. ANY ROOF OVERHANGS SHALL BE NO MORE THAN 18 INCHES INTO THE SETBACK.

ESTIMATED TIMETABLE FOR DEVELOPMENT

THE SITE IMPROVEMENTS FOR THE PROJECT WILL BE COMPLETED WITHIN 2 YEARS OF FINAL PUD APPROVAL. LOT AND HOME SALES ARE EXPECTED TO BE COMPLETED WITHIN 4 YEARS OF THE FINAL PUD APPROVAL. TRACT A IMPROVEMENTS AND LANDSCAPING TO BE COMPLETED PRIOR TO THE FIRST CERTIFICATE OF OCCUPANCY BEING ISSUED.

NARRATIVE AND NOTES
BERKELEY MEADOWS
JOB NO. 15565.00
DATE 10/17/18



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THE PROJECT WILL BE ACCESSED FROM ZUNI STREET VIA W. 56TH PLACE OR W. 57TH AVENUE. BOTH ENTRY STREETS - 57TH AVENUE AND 56TH PLACE - WILL BE DEDICATED AS A 50-FOOT RIGHT-OF-WAY (ROW) THAT WILL INTERSECT WITH AN INTERNAL LOCAL STREET - ZUNI COURT (58-FOOT ROW) THAT HAS A CUL-DE-SAC ON ITS NORTH AND SOUTH END. ALL LOTS WILL FACE AND ACCESS OFF OF ZUNI COURT, REAR GATES WILL BE ALLOWED ALONG 56TH AVENUE AND ZUNI STREET FOR PEDESTRIAN ACCESS. NO INDIVIDUAL LOT VEHICLE ACCESS WILL BE ALLOWED OFF ZUNI STREET OR W. 56TH AVENUE.

ZUNI COURT: PARKING WILL BE PERMITTED ON BOTH SIDES OF THE STREET.

2.5 OFF-STREET PARKING SPACES PER SINGLE FAMILY DETACHED HOME

ALL DRY UTILITIES WITHIN INTERNAL LOTS AND STREETS WILL BE BURIED UNDERGROUND.

WATER: DENVER WATER

SANITARY SEWER: BERKELEY SANITATION DISTRICT

PHONE: CENTURY LINK

NATURAL GAS AND ELECTRIC: XCEL ENERGY

CABLE: COMCAST

FIRE PROTECTION: ADAMS COUNTY FIRE PROTECTION DISTRICT

TRASH PICKUP: COMMERCIAL SERVICE PROVIDED BY CONTRACT WITH HOA

[illegible]

ROW WIDTH: 50 FEET.

ASPHALT WIDTH: 28 FEET.

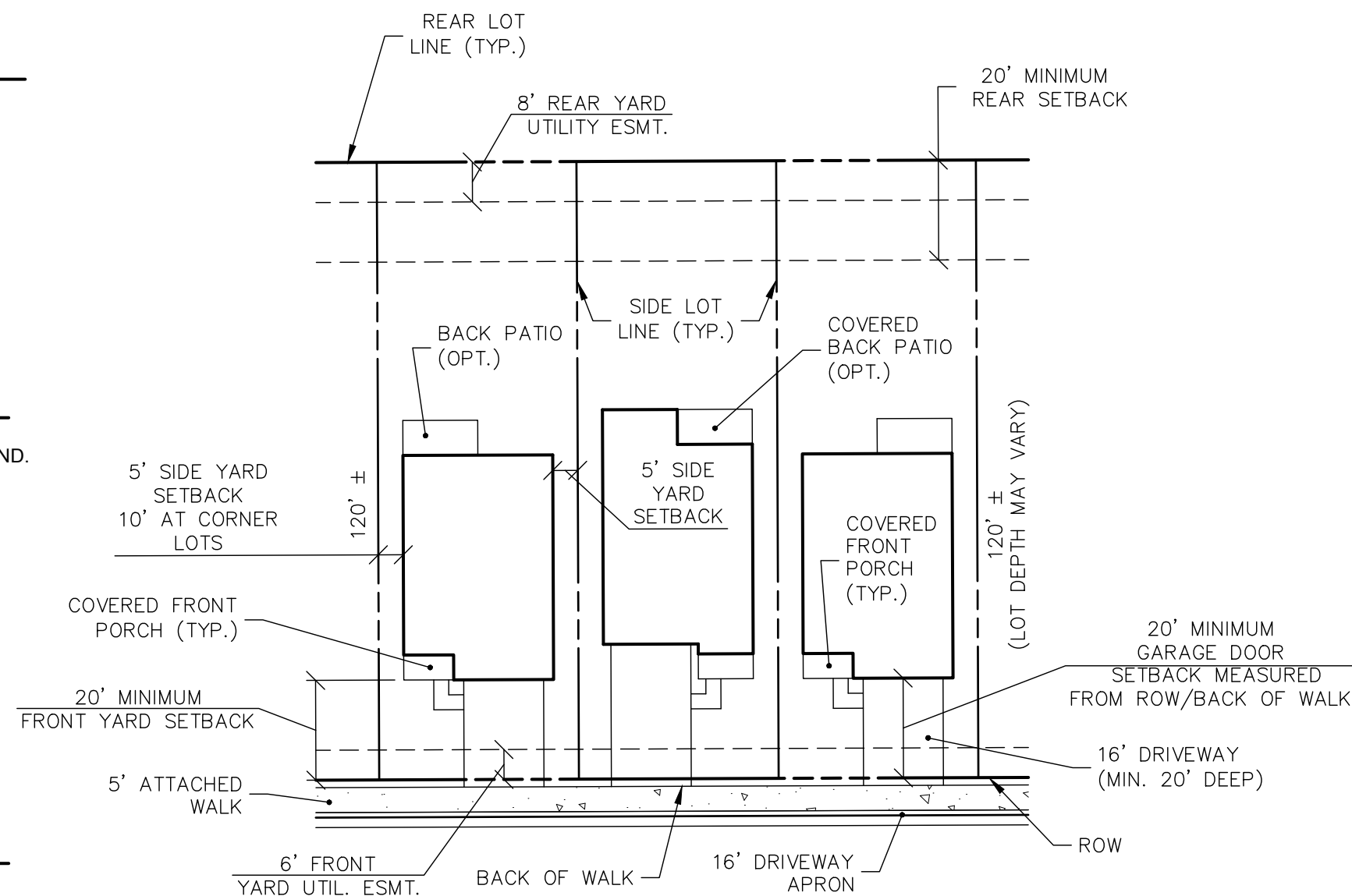
FLOWLINE TO FLOWLINE WIDTH: 31 FEET.

CURB AND 1' OUTFALL GUTTER ALONG EASTERN EDGE.

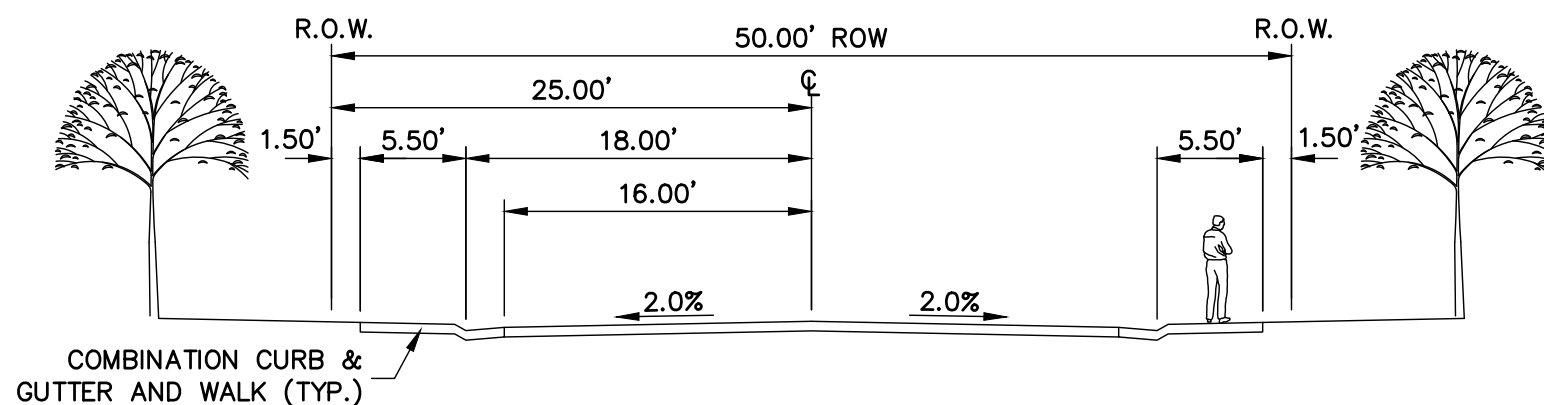
CURB & INFALL GUTTER AND 10 FOOT PEDESTRIAN/BIKE TRAIL ALONG THE WESTERN EDGE.

PARKING WILL BE PERMITTED ON THE EAST SIDE OF THE ROAD ONLY.

A PROJECT IDENTIFICATION ENTRY MONUMENT IS PLANNED WITHIN TRACT B LOCATED AT THE NORTHWEST CORNER OF THE INTERSECTION OF ZUNI STREET AND W. 56TH AVENUE. FINAL MONUMENT LOCATION SHALL BE WITHIN THE SIGN ENVELOPE IDENTIFIED WITHIN THE P.U.D., BUT FINAL SIZE, MATERIALS, LETTERING AND ORIENTATION SHALL BE REVIEWED AND APPROVED SEPARATELY AT TIME OF THE SIGN PERMIT.



1' ■ 30'



ROW WIDTH: 50 FEET.

ASPHALT WIDTH: 32 FEET.

FLOWLINE TO FLOWLINE WIDTH: 36 FEET.

COMBINATION CURB, GUTTER AND WALK (5-FOOT).

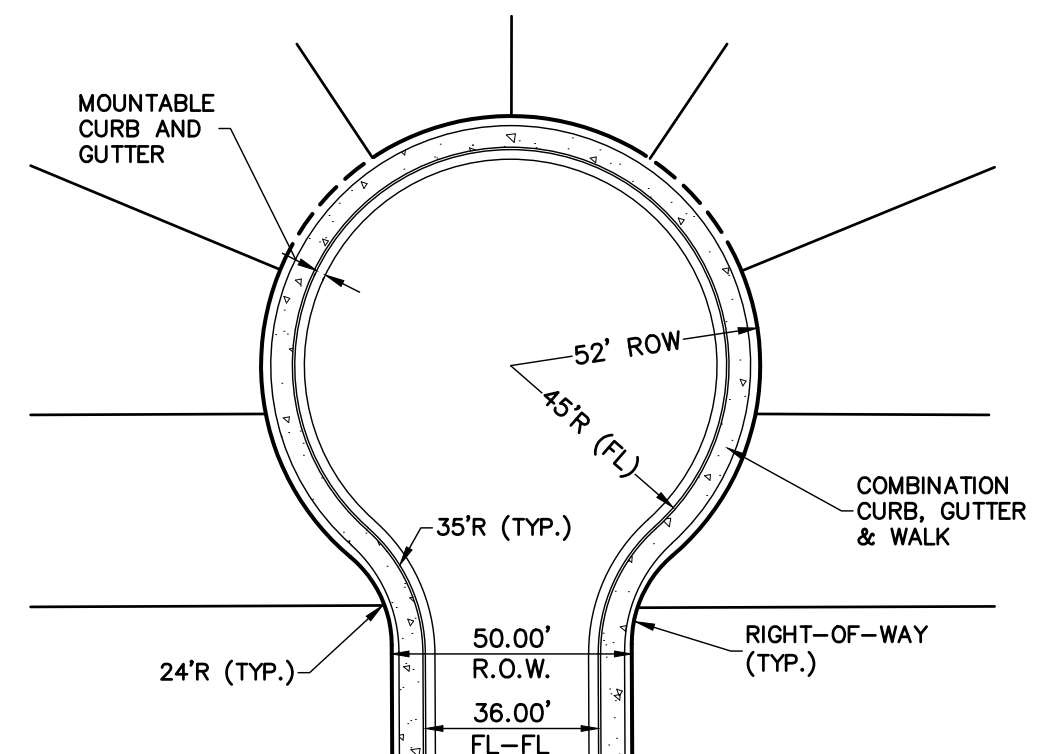
PARKING WILL BE PERMITTED ON BOTH SIDES OF THE STREET.

A 6' HIGH WOOD PRIVACY FENCE (PER DETAIL ON SHEET 9) SHALL BE LOCATED ALONG THE REAR OF LOTS 1 THROUGH 54 AND ALONG THE RIGHTS- OF-WAY OF W. 57TH AVENUE AND W. 56TH PLACE. THE FENCE ALONG W. 57TH AVENUE AND W. 56TH PLACE SHALL TERMINATE AS SHOWN ON THE PLANS.

THE 6' FENCE ALONG ZUNI ST., 57AVE., 56TH PLACE AND 56TH AVE. SHALL BE OWNED & MAINTAINED BY THE HOA.

A 3-RAIL FENCE WILL BE PROVIDED ALONG THE NORTH, SOUTH AND WEST PROPERTY LINES OF TRACT A INCLUDING THE NORTH LINE OF LOTS 1 AND 54. ALL 3-RAIL FENCE AROUND TRACT A WILL BE OWNED AND MAINTAINED BY THE HOA.

THE 6' WOOD FENCE LOCATED IN THE REAR OF LOTS 27 THROUGH 54 SHALL BE OWNED & MAINTAINED BY THE ADJACENT LOT OWNER.



ROW WIDTH: 52 FOOT RADIUS.

ASPHALT WIDTH: 43 FOOT RADIUS.

FLOWLINE TO FLOWLINE WIDTH: 45 FOOT RADIUS; 90 FOOT DIAMETER.

MOUNTABLE CURB AND GUTTER W/ ATTACHED WALK (5-FOOT).

PARKING WILL BE PERMITTED AROUND OUTER PERIMETER OF THE CUL-DE-SAC.

NARRATIVE AND NOTES

BERKELEY MEADOWS

JOB NO. 15565.00

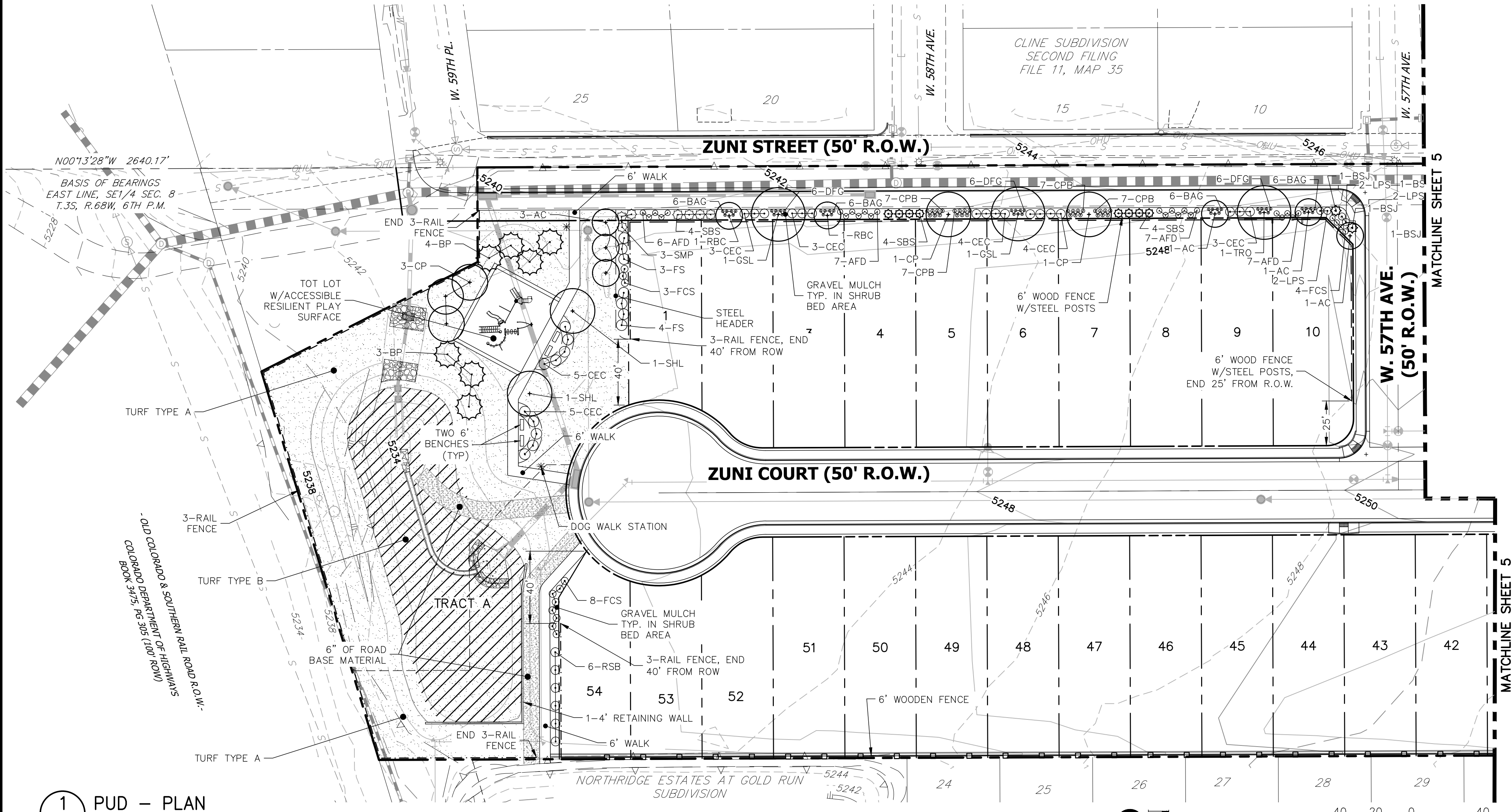
DATE 10/17/18



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BERKELEY MEADOWS
PLANNED UNIT DEVELOPMENT - FINAL DEVELOPMENT PLAN
LOCATED IN THE SOUTHEAST 1/4 OF SECTION 8,
TOWNSHIP 3 SOUTH, RANGE 68 WEST, 6TH PRINCIPAL MERIDIAN,
COUNTY OF ADAMS, STATE OF COLORADO

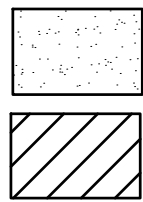
SHEET 4 OF 16



1 PUD - PLAN
4 LANDSCAPING AND IMPROVEMENTS

SITE AMENITY SCHEDULE

- DECIDUOUS STREET/ SHADE TREE
TREE, 2" CALIPER
- ORNAMENTAL TREE, 2" CALIPER SIZE
- DECIDUOUS SHRUB, 5 GALLON CONTAINER
- CONIFEROUS SHRUB, 5 GALLON CONTAINER
- PERENNIAL/ORNAMENTAL GRASSES,



- TURF TYPE A: DROUGHT TOLERANT
BLUE GRASS SOD, TEXAS BLUEGRASS
HYBRID BLEND OR APPROVED EQUAL
- TURF TYPE B: PAWNEE BUTTES PBSI
PRAIRIE WETLAND SEED MIX
(3LB/1000SF) OR APPROVED EQUAL
- STEEL HEADER
- 6' WOOD FENCE W/STEEL POSTS (SEE DET. SHT. 4)
- 3-RAIL FENCE (SEE DET. SHT. 4)
- 6' WOOD FENCE W/TUCCO WALL (SEE DET. SHT. 4)
- 6' WOODEN FENCE (SEE DET. SHT. 4)

- PROPOSED MINOR/1' CONTOUR
- PROPOSED MAJOR/5' CONTOUR
- TOT LOT PLAY EQUIPMENT
- DOG WALK STATION
- MAILBOX KIOSK

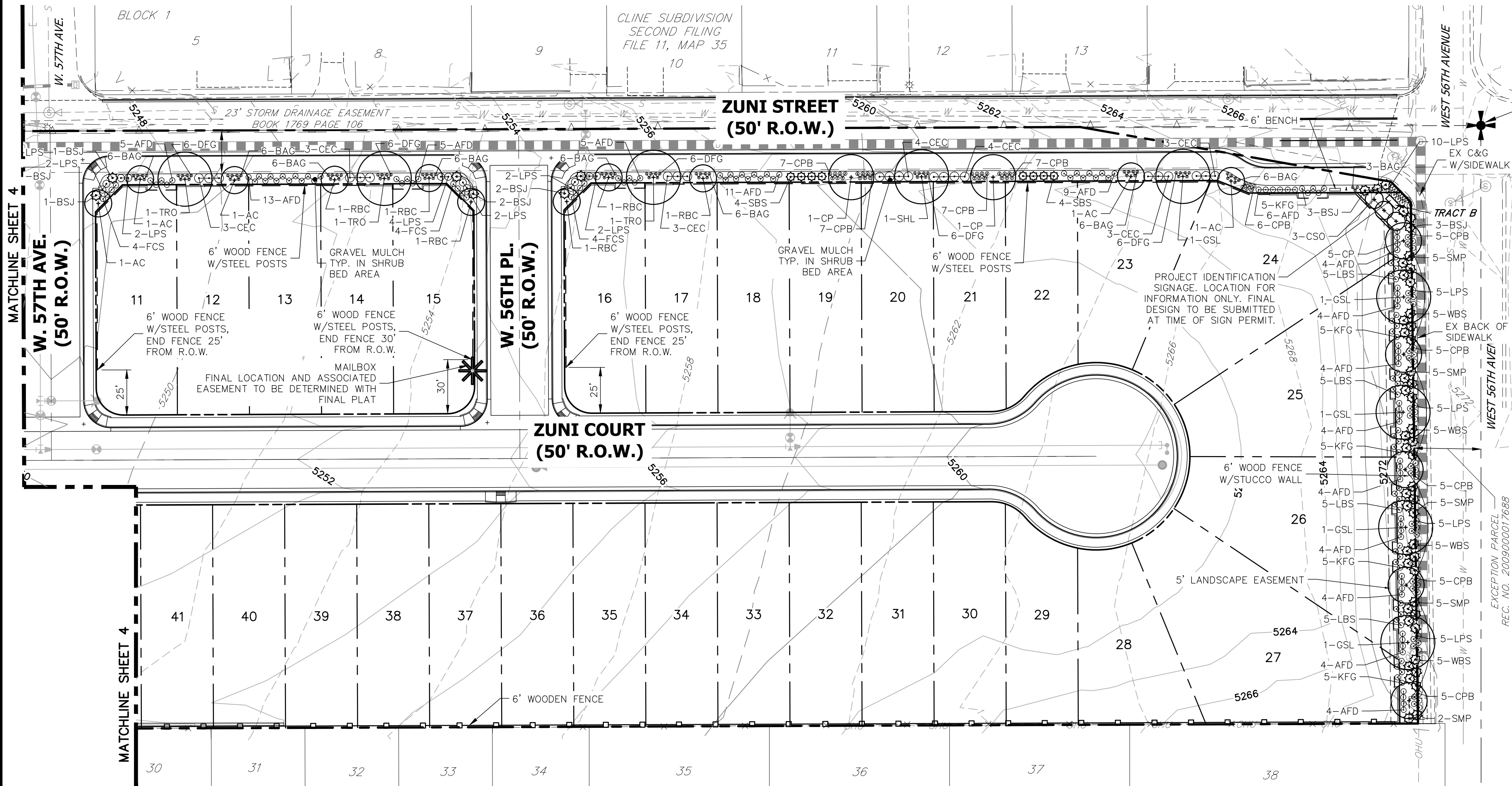
NOTE: HOME BUILDERS SHALL PLANT 1 FRONT YARD TREE ALONG ZUNI COURT FOR EACH HOME BUILT. THE FRONT YARD TREE SHALL BE PLACED A MINIMUM OF 5' FROM THE EDGE OF DRIVEWAYS AND WITH A 5' MINIMUM SEPARATION FROM WATER AND SEWER UTILITY SERVICES. TREES SHALL BE SELECTED BY THE HOME BUILDER FROM THE LIST OF ACCEPTABLE STREET TREES PROVIDED ON SHEET 6.

SITE PLAN
BERKELEY MEADOWS
JOB NO. 15565.00
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1 PUD – PLAN
5 LANDSCAPING AND IMPROVEMENTS

SITE AMENITY SCHEDULE

	DECIDUOUS STREET/ SHADE TREE TREE, 2" CALIPER		TURF TYPE A: DROUGHT TOLERANT BLUE GRASS SOD, TEXAS BLUEGRASS HYBRID BLEND OR APPROVED EQUAL
	ORNAMENTAL TREE, 2" CALIPER SIZE		TURF TYPE B: PAWNEE BUTTES PBSI PRAIRIE WETLAND SEED MIX (3LB/1000SF) OR APPROVED EQUAL
	DECIDUOUS SHRUB, 5 GALLON CONTAINER		STEEL HEADER
	CONIFEROUS SHRUB, 5 GALLON CONTAINER		6" WOOD FENCE W/STEEL POSTS (SEE DET. SHT. 4)
	PERENNIAL/ORNAMENTAL GRASSES,		3-RAIL FENCE (SEE DET. SHT. 4)
			6" WOOD FENCE W/STUCCO WALL (SEE DET. SHT. 4)
			6" WOODEN FENCE (SEE DET. SHT. 4)

NOTE: HOME BUILDERS SHALL PLANT 1 FRONT YARD TREE ALONG ZUNI COURT FOR EACH HOME BUILT. THE FRONT YARD TREE SHALL BE PLACED A MINIMUM OF 5' FROM THE EDGE OF DRIVEWAYS AND WITH A 5' MINIMUM SEPARATION FROM WATER AND SEWER UTILITY SERVICES. TREES SHALL BE SELECTED BY THE HOME BUILDER FROM THE LIST OF ACCEPTABLE STREET TREES PROVIDED ON SHEET 6.

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PLANT LIST

CONIFEROUS TREES

Quantity	Symbol	Common Name	Botanical Name	Size	Cont.	Kc Value
1	BP	Bosnian Pine	Pinus Nigra	6' Hgt Min.	B&B	M

DECIDUOUS TREES

Quantity	Symbol	Common Name	Botanical Name	Size	Cond.	Kc Value
1	GSL	Greenspire Linden	Tilia Cordata 'Greenspire'	2 1/2" Cal	B&B	M
3	SHL	Shademaster Honeylocust	Gleditsia Triacanthos Inermis 'Shademaster'	2 1/2" Cal	B&B	L
4	TRO	Texas Red Oak	Quercus Buckleyi	2 1/2" Cal	B&B	L

ORNAMENTAL TREES

Quantity	Symbol	Common Name	Botanical Name	Size	Cond.	Kc Value
11	AC	Adirondack Crab	Malus 'Adirondack'	2" Cal	B&B	M
12	CP	Capital Pear	Pyrus Calleryana 'Capital'	2" Cal	B&B	M
8	RBC	Red Barron Crab	Malus 'Red Barron'	2" Cal	B&B	M

DECIDUOUS SHRUBS

Quantity	Symbol	Common Name	Botanical Name	Size	Cond.	Kc Value
117	AFD	Artic Fire Dogwood	Cornus Sericea 'Artic Fire'	5 Gal.	Cont.	M
52	CEC	Compact European Cranberry	Viburnum Opulus 'Compactum'	5 Gal.	Cont.	L
87	CFB	Crimson Pigmy Barberry	Berberis Thunbergii 'Autropurpurea Nana'	5 Gal.	Cont.	L
3	C&O	Crimson Spire Oak	Quercus Robur 'Fastigiata'	5 Gal.	Cont.	M
27	FC&	First Choice Spirea	Caryopteris x Clandonensis 'First Choice'	5 Gal.	Cont.	L
7	FS	Froebel Spirea	Spirea x Bumalda 'Froebeli'	5 Gal.	Cont.	M
48	LPS	Little Princess Spirea	Spiraea Japonica 'Little Princess'	5 Gal.	Cont.	M
6	R&B	Regent Serviceberry	Amelanchier Alnifolia 'Regent'	6 Gal.	Cont.	L

CONIFEROUS/ EVERGREEN SHRUBS

Quantity	Symbol	Common Name	Botanical Name	Size	Cond.	Kc Value
14	BSJ	Blue Star Juniper	Juniperus Squamata 'Blue Star'	5 Gal.	Cont.	L
20	SB&	Sester Blue Spruce	Picea pungens 'Sester Dwarf'	5 Gal.	Cont.	L
25	SMP	Slowmound Mugo Pine	Pinis Mugo 'Slowmound'	5 Gal.	Cont.	L
20	WBS	Waldbrunn Blue Spruce	Picea pungens 'Waldbrunn'	5 Gal.	Cont.	L

ORNAMENTAL GRASSES

Quantity	Symbol	Common Name	Botanical Name	Size	Cond.	Kc Value
15	BAG	Blue Avena Grass	Helictotrichon Sempervirens	1 Gal.	Cont.	L
48	DFG	Dwarf Fountain Grass	Fennisetum Alopecuroides 'Hameln'	1 Gal.	Cont.	L
25	KFG	Karl Forester Grass	Calamagrostis Acutiflora 'Karl Forester'	1 Gal.	Cont.	L
20	LS&	Little Bluestem	Schizachyrium Scoparium 'The Blues'	1 Gal.	Cont.	L

DETAILS
BERKELEY MEADOWS
JOB NO. 15565.00
DATE 10/17/18



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BERKELEY MEADOWS

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LOCATED IN THE SOUTHEAST 1/4 OF SECTION 8,

TOWNSHIP 3 SOUTH, RANGE 68 WEST, 6TH PRINCIPAL MERIDIAN,

COUNTY OF ADAMS, STATE OF COLORADO

LANDSCAPE NOTES

1. STREET AND ORNAMENTAL TREES SHALL BE PLANTED TO MEET COUNTY LANDSCAPE STANDARDS. TREES SHALL BE PLANTED NO CLOSER THAN FORTY (40) FEET FROM STREET LIGHTS. NO TREES SHALL BE PLANTED WITHIN TEN (10) FEET FROM WATER AND SEWER MAINS, SIX (6) FEET FROM WATER AND SEWER SERVICE LINES, FOUR (4) FEET FROM GAS, TELEPHONE AND ELECTRIC UTILITIES.
2. MAINTAIN A MINIMUM OF THREE (3) FEET OF CLEARANCE ON EACH SIDE OF FIRE DEPARTMENT CONNECTION (FDC). NO VEGETATION OTHER THAN TURF OR GROUND COVERS SHALL BE PLANTED IN FRONT OF FDC.
3. IF TREES OR SHRUBS ARE LOCATED ON TOP OF FIELD VERIFIED UTILITIES, CONTRACTOR SHALL NOTIFY OWNERS REPRESENTATIVE BEFORE ANY DIGGING COMMENCES. VERIFY WITH OWNER REPRESENTATIVE WHICH SHRUBS/ TREES NEED TO BE RELOCATED PRIOR TO PLANTING.
4. ALL LANDSCAPE AREAS SHALL BE MAINTAINED, INCLUDING MOWING, WATER AND FERTILIZING BY CONTRACTOR, UNTIL FINAL ACCEPTANCE BY OWNER REPRESENTATION. AT SUCH TIME OWNER WILL BE RESPONSIBLE FOR ALL MAINTENANCE. LANDSCAPE AND IRRIGATION WILL BE WARRANTED FOR ONE (1) FULL YEAR AFTER FINAL ACCEPTANCE. THIS SHALL INCLUDE IRRIGATION SYSTEMS, FENCES, WALLS AND OTHER LANDSCAPE ELEMENTS. THE APPLICANT, LANDOWNER AND/OR SUCCESSORS IN INTEREST SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF ALL LANDSCAPE/ IRRIGATION AND OTHER SITE AMENITIES. ALL LANDSCAPING SHALL BE MAINTAINED FREE FROM DISEASE, PESTS, WEEDS AND LITTER, AND ALL LANDSCAPE STRUCTURES SUCH AS FENCES AND WALLS SHALL BE REPAIRED AND/OR REPLACED PERIODICALLY TO MAINTAIN THE SITE IN GOOD SOUND CONDITION.
5. TO THE MAXIMUM EXTENT FEASIBLE, TOPSOIL THAT IS REMOVED DURING CONSTRUCTION ACTIVITY SHALL BE CONSERVED FOR LATER USE IN AREAS TO BE PLANTED WITH TREES, SHRUBS, GROUND COVERS, AND TURF.
6. EXCAVATED MATERIAL TO BE USED AS FILL WILL HAVE ALL ROCKS, DEBRIS, WATER MATERIAL, FROZEN MATERIAL, VEGETATION LARGER THAN 3" IN ANY DIMENSION REMOVED BEFORE PLACEMENT AND COMPACTION OF SOIL.
7. PROVIDE POSITIVE DRAINAGE AWAY FROM BUILDING AND WALL FOUNDATIONS AND PROVIDE A SMOOTH TRANSITION BETWEEN ALL ADJACENT EXISTING GRADES AND PROPOSED GRADES.
8. PRIOR TO FINE GRADING, SOD AREAS AND PLANTING BEDS, SOIL SHALL BE THOROUGHLY LOOSENEED AND TILLED. REMOVE ALL UNSUITABLE SOIL, INCLUDING ALL ROCKS LARGER THAN 3 INCHES IN ANY DIMENSION AND ALL OTHER DEBRIS INCLUDING CONCRETE, TRASH, WEEDS, ROOTS AND OTHER WASTE MATERIALS. THE SOIL IN ALL LANDSCAPE AREAS, INCLUDING PARKWAYS AND MEDIANS, SHALL BE THOROUGHLY LOOSENEED TO A DEPTH OF NOT LESS THAN EIGHT (8) INCHES AND SOIL AMENDMENT SHALL BE THOROUGHLY INCORPORATED INTO THE SOIL OF ALL LANDSCAPE AREAS TO A DEPTH OF AT LEAST SIX (6) INCHES BY TILLING, DISCING OR OTHER SUITABLE METHOD, AT A RATE OF AT LEAST FOUR (4) CUBIC YARDS OF ORGANIC COMPOST SOILS AMENDMENT PER ONE THOUSAND (1,000) SQUARE FEET OF LANDSCAPE AREA. DO NOT CULTIVATE SOIL WITHIN THE DRIP LINE OF EXISTING TREES TO REMAIN.
9. UNIFORMLY COMPACT AND FINE GRADE ALL AREAS TO BE PLANTED TO A SMOOTH SURFACE, FREE FROM IRREGULAR SURFACE GRADES. RE-COMPACT SOFT SPOTS, FILL IN LOW AREAS AND TRIM HIGH SPOTS TO COMPLY WITH REQUIRED GRADE TOLERANCES. REFER TO CIVIL PLANS FOR REQUIRED FINISH SPOT AND CONTOUR GRADES.
10. ONCE PLANTING AREA ARE FILLED AND COMPACTED AND FINE GRADE HAS BEEN ESTABLISHED, ALL ROCKS, DEBRIS, WASTER MATERIAL AND VEGETATION MATERIAL LARGER THAN 1 1/2" WILL BE RAKED FROM THE SURFACE AND REMOVED FROM SITE.
11. BLUEGRASS SOD TO BE 100% COLORADO GROWN TEXAS BLUEGRASS HYBRID BLEND SPECIFICALLY GROWN FOR LOW WATER AND HIGH TRAFFIC LAWN APPLICATIONS WITH MINIMUM THREE (3) IMPROVED VARIETIES, HAVING A HEALTH VIGOROUS ROOT SYSTEM. ONCE TURF IS LAID IT SHALL BE PROPERLY ROLLED, COMPACTED, AND SOD JOINTS SHALL BE PUSHED TOGETHER TO ELIMINATE ANY GAPS BETWEEN ROLL EDGES. APPLY FERTILIZER IN THESE AREAS PER SOD FARM'S RECOMMENDATIONS.
12. ALL TREES, SHRUBS AND ORNAMENTAL GRASSES SHALL BE IRRIGATED WITH A DRIP IRRIGATION SYSTEM, PERENNIAL AND FLOWER BEDS SHALL BE IRRIGATED BY 6" OR 12" POP-UP SPRAY HEADS. IRRIGATION SYSTEM TO BE DESIGNED AND BUILT BY A QUALIFIED IRRIGATION CONTRACTOR.
13. THE DEVELOPER SHALL CONTACT THE COUNTY REPRESENTATIVE TO INSPECT ALL STREET TREE PLANTINGS AT THE COMPLETION OF EACH PHASE OF THE DEVELOPMENT. ALL TREES SHALL BE INSTALLED AS SHOWN ON THE LANDSCAPE PLAN. APPROVAL OF STREET TREE PLANTING IS REQUIRED BEFORE FINAL APPROVAL OF EACH PHASE OF THE DEVELOPMENT.
14. ALL MINIMUM PLANT MATERIAL SIZES ARE SHOWN IN THE PLANT LIST. ALL PLANTS SHALL BE PLANTED IN AMENDED SOIL AND TREES SHALL BE STAKED AS SHOWN IN DETAILS. ALL PLANTS SHALL BE NO.1 GRADE FREE OF ANY DEFECTS, OR NORMAL HEALTH, HEIGHT, LEAF DENSITY AND SPREAD APPROPRIATE TO THE SPECIES AS DEFIED BY AMERICAN ASSOCIATION OF NURSERYMEN STANDARDS.
15. IF PLANTS ARE IN NEED OF REPLACEMENT DUE TO DECLINING HEALTH, DISEASE, OR DEATH, THE PLANTS SHALL BE PROMPTLY REPLACED WITH THE ORIGINAL SPECIES UNLESS APPROVED BY THE COUNTY.

16. CHANGES IN PLANT SPECIES OR PLANT LOCATIONS FROM THAT SHOWN IN THE APPROVED LANDSCAPE PLANS WILL REQUIRE THE APPROVAL OF THE COUNTY PRIOR TO INSTALLATION OR REPLACEMENT. OVERALL QUANTITY AND QUALITY SHALL BE CONSISTENT WITH THE APPROVED LANDSCAPE PLANS. IN THE EVENT OF CONFLICT WITH THE QUANTITIES SHOWN IN THE PLANT LIST, WHAT IS GRAPHICALLY REPRESENTED IN THE PLANTING PLANS SHALL BE PLANTED.
17. ALL TREES AND SHRUBS TO BE BALLED AND BURLAPPED, OR CONTAINERIZED.
18. ALL PLANT MATERIAL SHALL HAVE ALL WIRE TWINE, BASKETS, BURLAP, AND ALL OTHER NON-BIDEGRADABLE CONTAINMENT MATERIAL REMOVED FROM THE TRUNKAND/OR ROOT BALL OF THE PLANT PRIOR TO PLANTING.
19. ALL SHRUB BEDS SHALL HAVE MINIMUM 4" DEPTH SHREDDDED FIR BIRCH WOOD MULCH-NATURAL COLOR AND/OR SMOOTH WASHED RIVER COBBLE, SEE PLANS FOR LOCATIONS. A CONTINUOUS LAYER OF TYPAR WEED BARRIER LANDSCAPE FABRIC OR APPROVED EQUAL SHALL BE INSTALLED IN ALL SHRUB BEDS WITH 6" OVERLAP AT SEAMS WITH 4" STAPLES 4' O.C. IN ALL DIRECTIONS. DO NOT USER WEED BARRIER WHERE TREES ARE PLANTED IN TURF AREAS.
20. STEEL HEADER BETWEEN GRASS TYPES AND SHRUB BEDS/ROCK COBBLE ETC. SHALL BE HEAVY DUTY STEEL EDGER MIN. 14 GA X 4" WITH ROLLED TOP AND SHALL BE SET LEVEL WITH THE TOP OF THE ADJACENT SOD. NO EDGING SHALL BE USED BETWEEN FIR BIRCH WOOD MULCH AND COBBLE TRANSITIONS.
21. ALL LANDSCAPE MATERIALS SHALL BE INSTALLED ACCORDING TO SOUND HORTICULTURAL PRACTICES IN A MANNER DESIGNED TO ENCOURAGE QUICK ESTABLISHMENT AND HEALTHY GROWTH. ALL LANDSCAPING IN EACH PHASE SHALL EITHER BE INSTALLED OR THE INSTALLATION SHALL BE SECURED WITH A LETTER OR CREDIT, ESCROW OR PERFORMANCE BOND FOR ONE HUNDRED TWENTY-FIVE (125) PERCENT OF THE VALUE OF THE LANDSCAPING PRIOR TO THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY FOR ANY BUILDING IN SUCH PHASE.
22. ANY SHRUBS, ORNAMENTAL GRASSES OR PERENNIAL PLANTS WITHIN THE PUBLIC RIGHT-OF-WAY (R.O.W.) ARE RESTRICTED TO PLANTS THAT DO NOT EXCEED 24 INCHES IN HEIGHT MEASURED FROM THE STREET FLOWLINE (TREES EXCEPTED). IF THE LANDSCAPING WITHIN THE R.O.W. EXCEEDS THIS HEIGHT OR CREATES A SIGHT DISTANCE CONCERN THE PROPERTY OWNER SHALL BE REQUIRED TO EITHER REMOVE OR PRUNE THE LANDSCAPE MATERIAL IN ORDER TO CORRECT ANY SIGHT OBSTRUCTIONS.
23. THE DEVELOPER SHALL ENSURE THAT THE SITE PLAN, LANDSCAPE PLAN AND UTILITY PLANS ARE COORDINATED SO THAT THE GRADING, STORM DRAINAGE, OR OTHER CONSTRUCTION REQUIREMENTS DO NOT CONFLICT WITH NOR PRECLUDE INSTALLATION AND MAINTENANCE OF ANY SITE OR LANDSCAPING ELEMENTS AS SHOWN ON THE APPROVED PLANS.
24. ALL LANDSCAPE PLANTINGS INSTALLED WITHIN THE PUBLIC STREET RIGHT-OF-WAY SHOULD NOT OBSTRUCT VISIBILITY OF TRAFFIC RELATED REGULATORY SIGNAGE.
25. HOME BUILDERS SHALL PLANT 1 FRONT YARD TREE ALONG ZUNI COURT FOR EACH HOME BUILT. THE FRONT YARD TREE SHALL BE PLACED A MINIMUM OF 5' FROM THE EDGE OF DRIVEWAYS AND WITH A 5' SEPARATION FROM WATER AND SEWER UTILITY SERVICES. TREES SHALL BE SELECTED BY THE HOME BUILDER FROM THE LIST OF ACCEPTABLE FRONT YARD TREES PROVIDED ON SHEET 6.

DETAILS
BERKELEY MEADOWS
JOB NO. 15565.00
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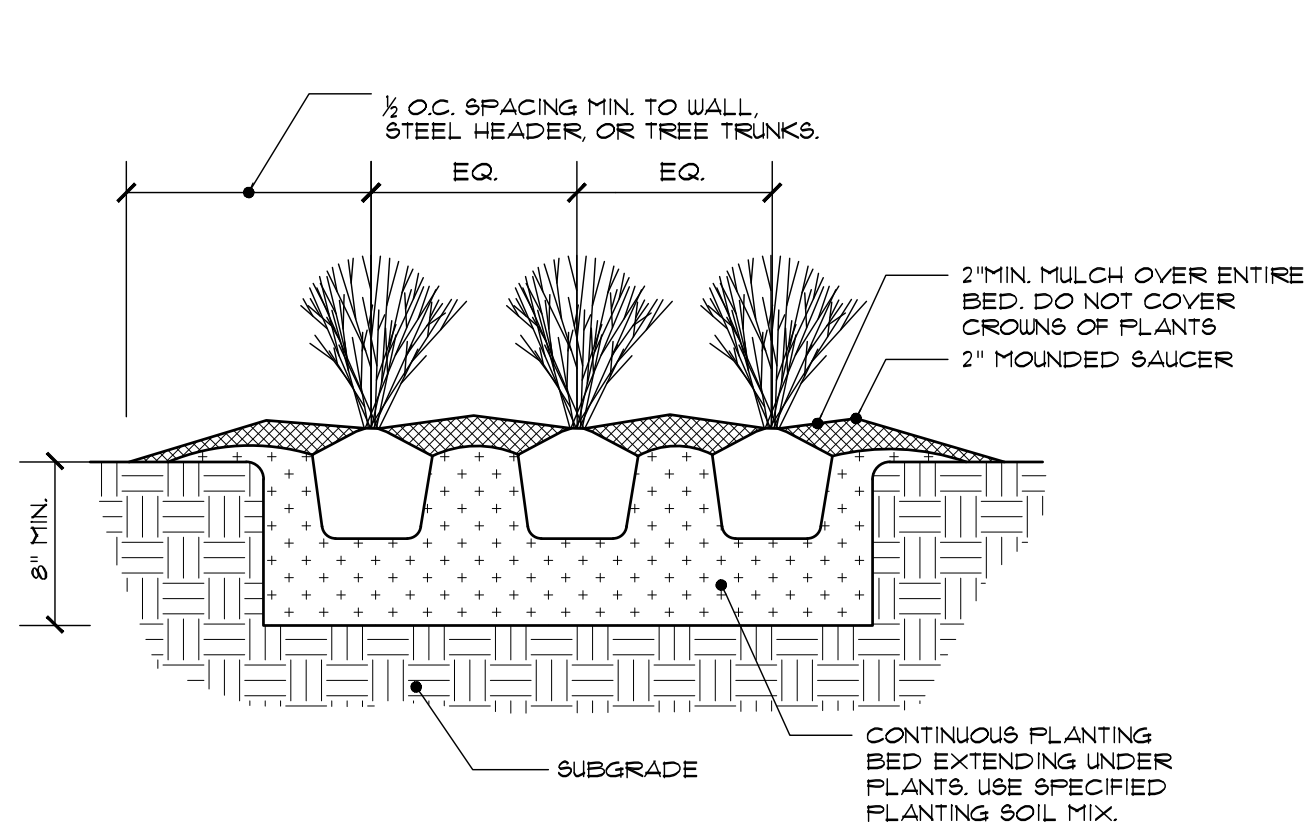
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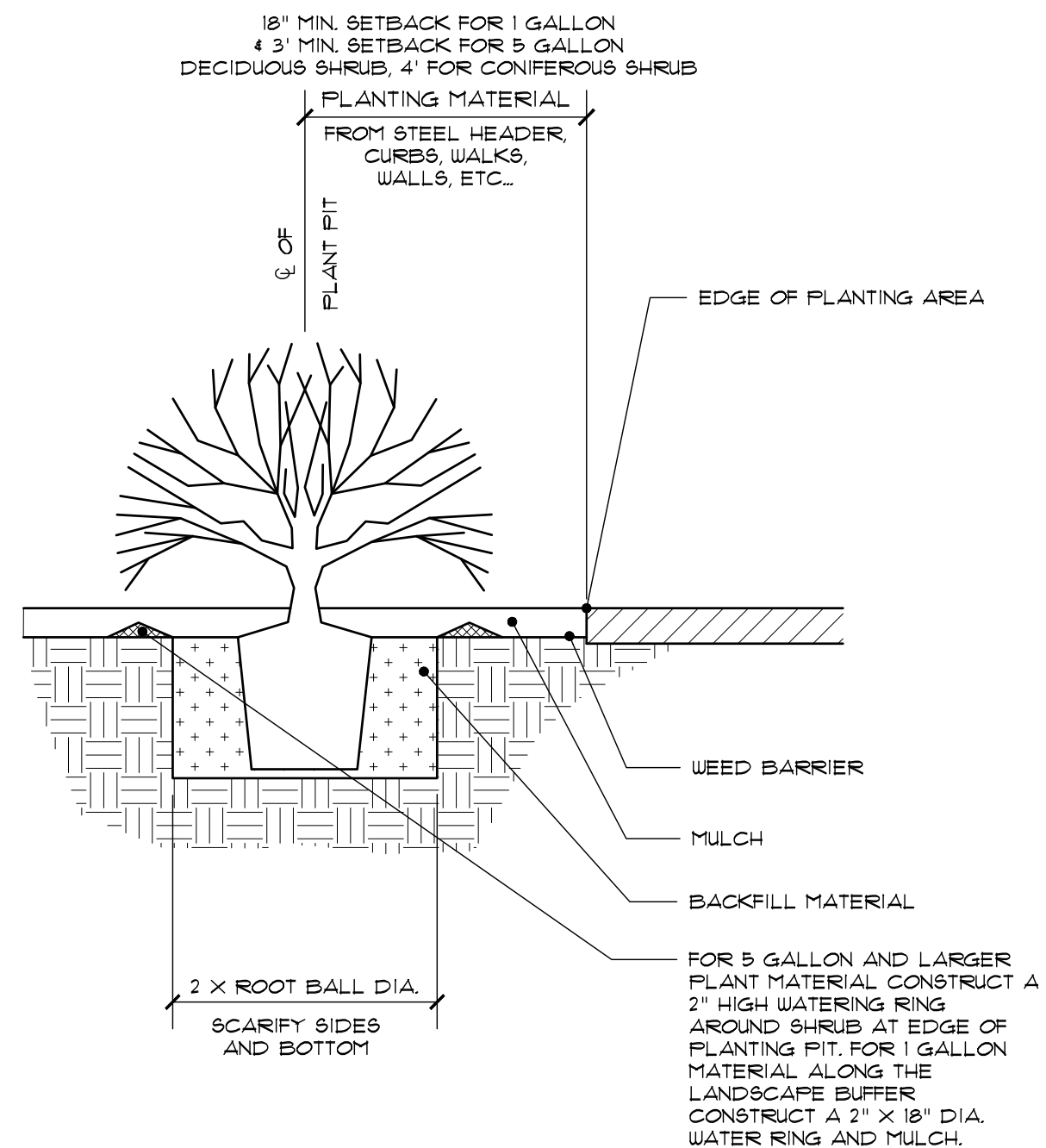
BERKELEY MEADOWS

PLANNED UNIT DEVELOPMENT - FINAL DEVELOPMENT PLAN

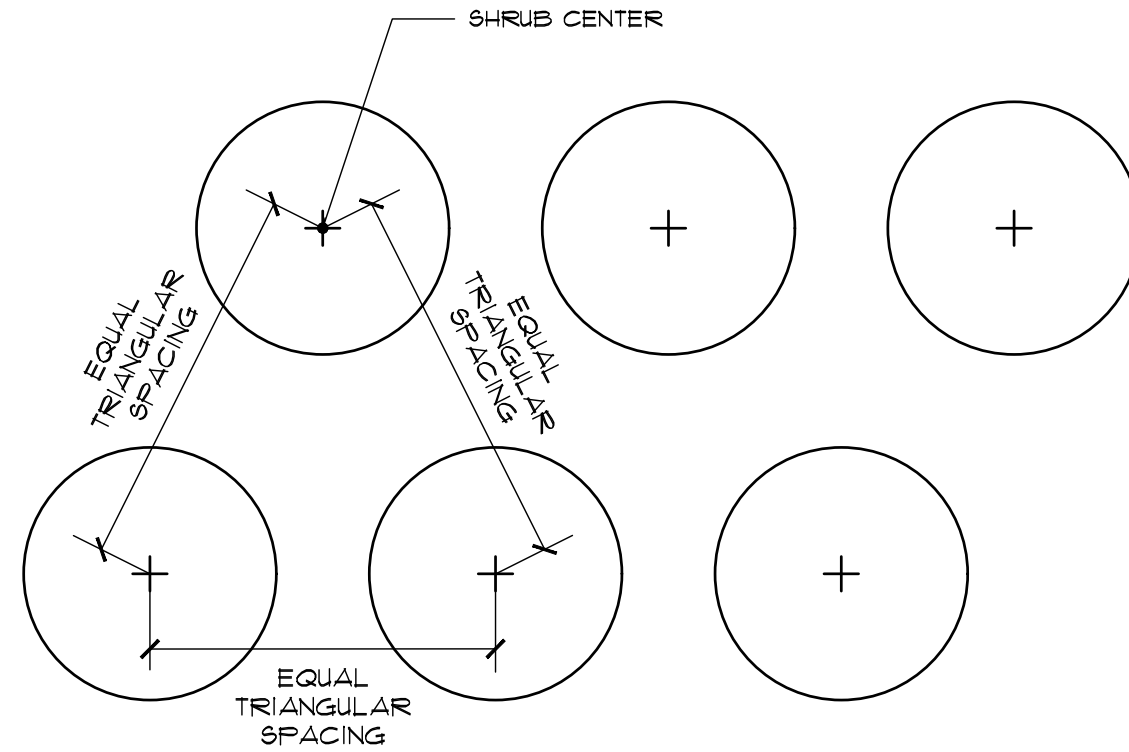
LOCATED IN THE SOUTHEAST 1/4 OF SECTION 8,
TOWNSHIP 3 SOUTH, RANGE 68 WEST, 6TH PRINCIPAL MERIDIAN,
COUNTY OF ADAMS, STATE OF COLORADO



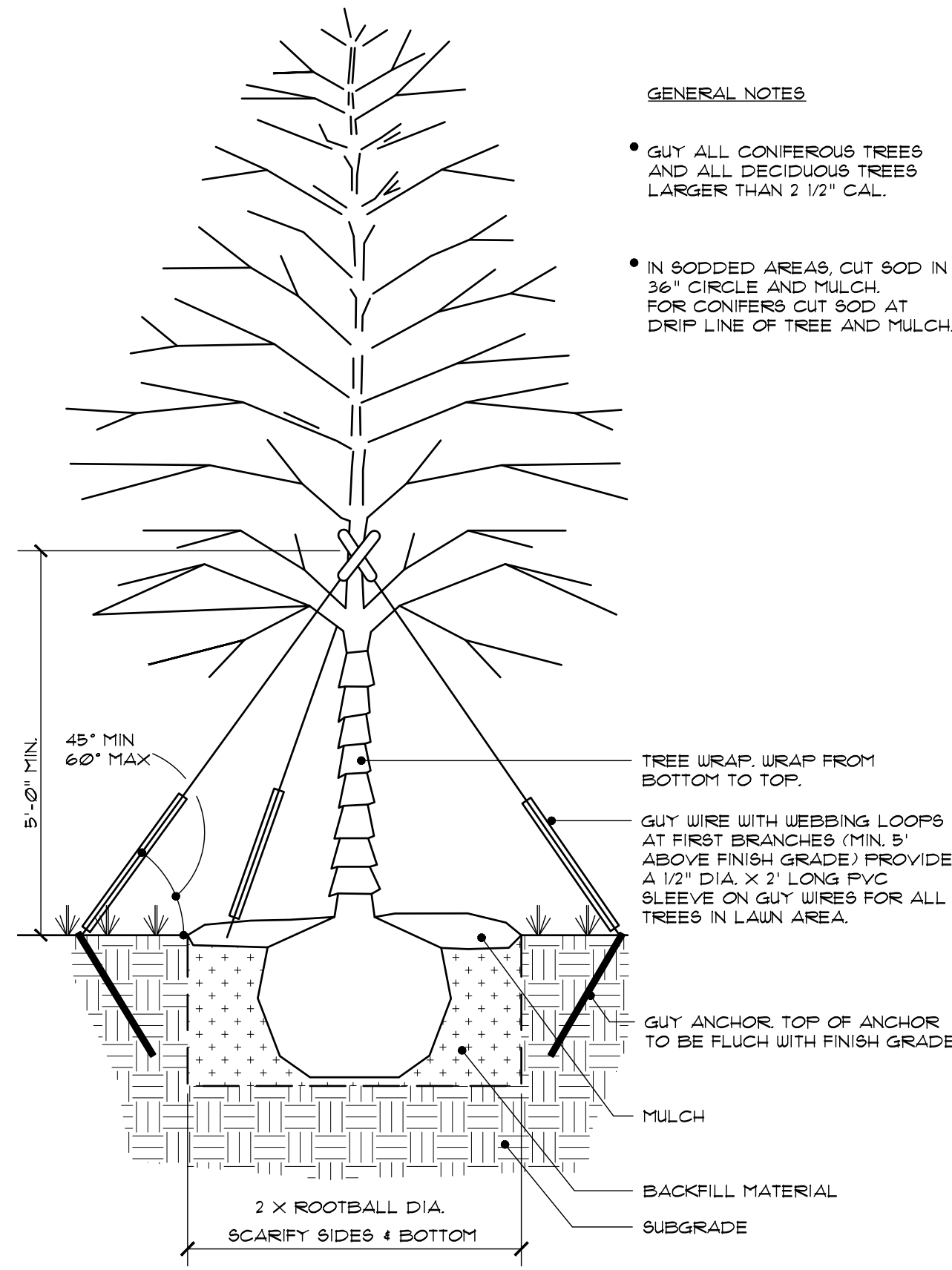
A PERENNIAL PLANTING



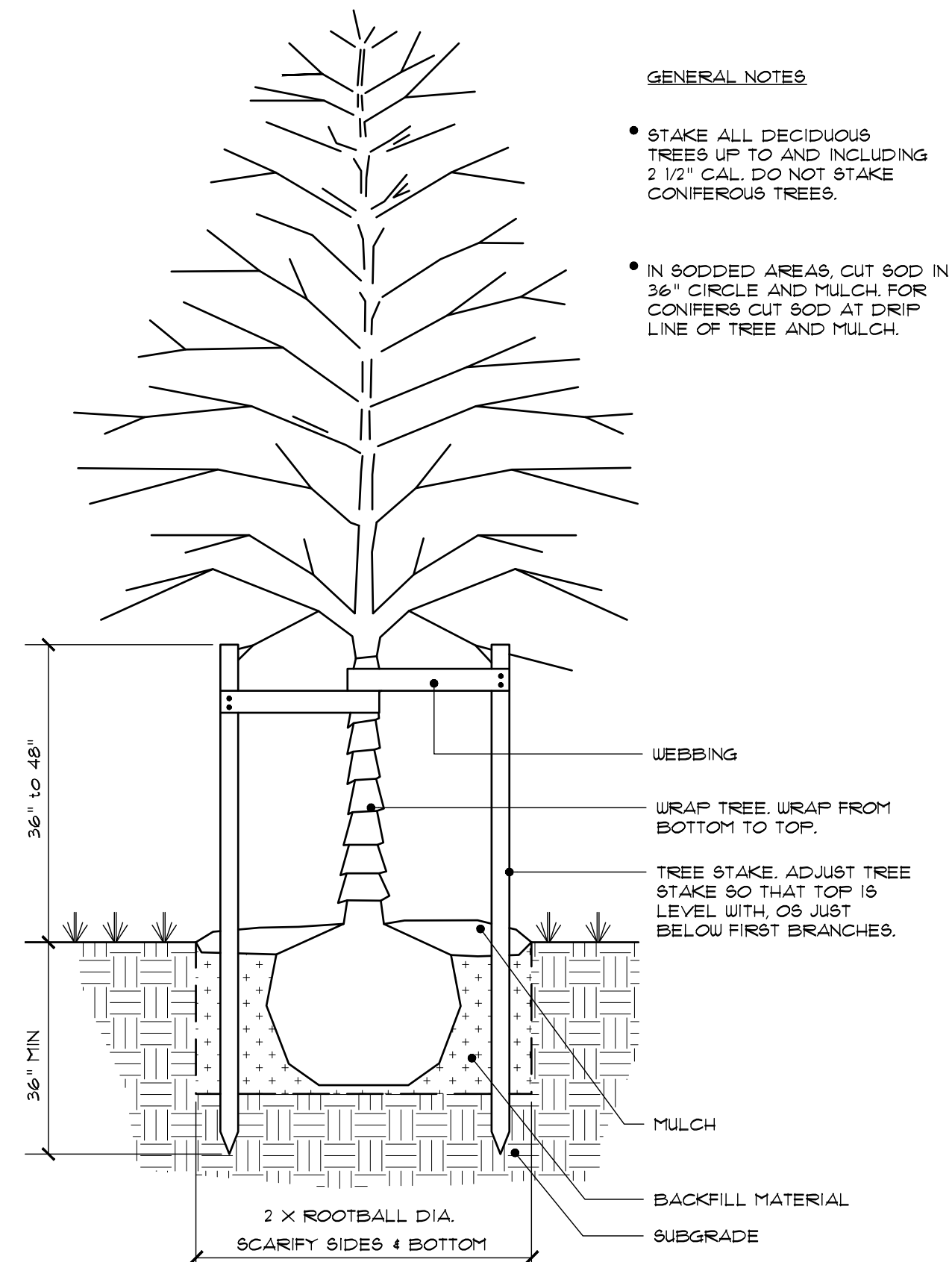
C SHRUB PLANTING



B TRIANGULAR SHRUB SPACING



D TREE PLANTING AND GUYING



E TREE PLANTING AND GUYING

- GENERAL NOTES**
- STAKE ALL DECIDUOUS TREES UP TO AND INCLUDING 2 1/2" CAL. DO NOT STAKE CONIFEROUS TREES.
 - IN SODDED AREAS, CUT SOD IN 36" CIRCLE AND MULCH. FOR CONIFERS CUT SOD AT DRIP LINE OF TREE AND MULCH.

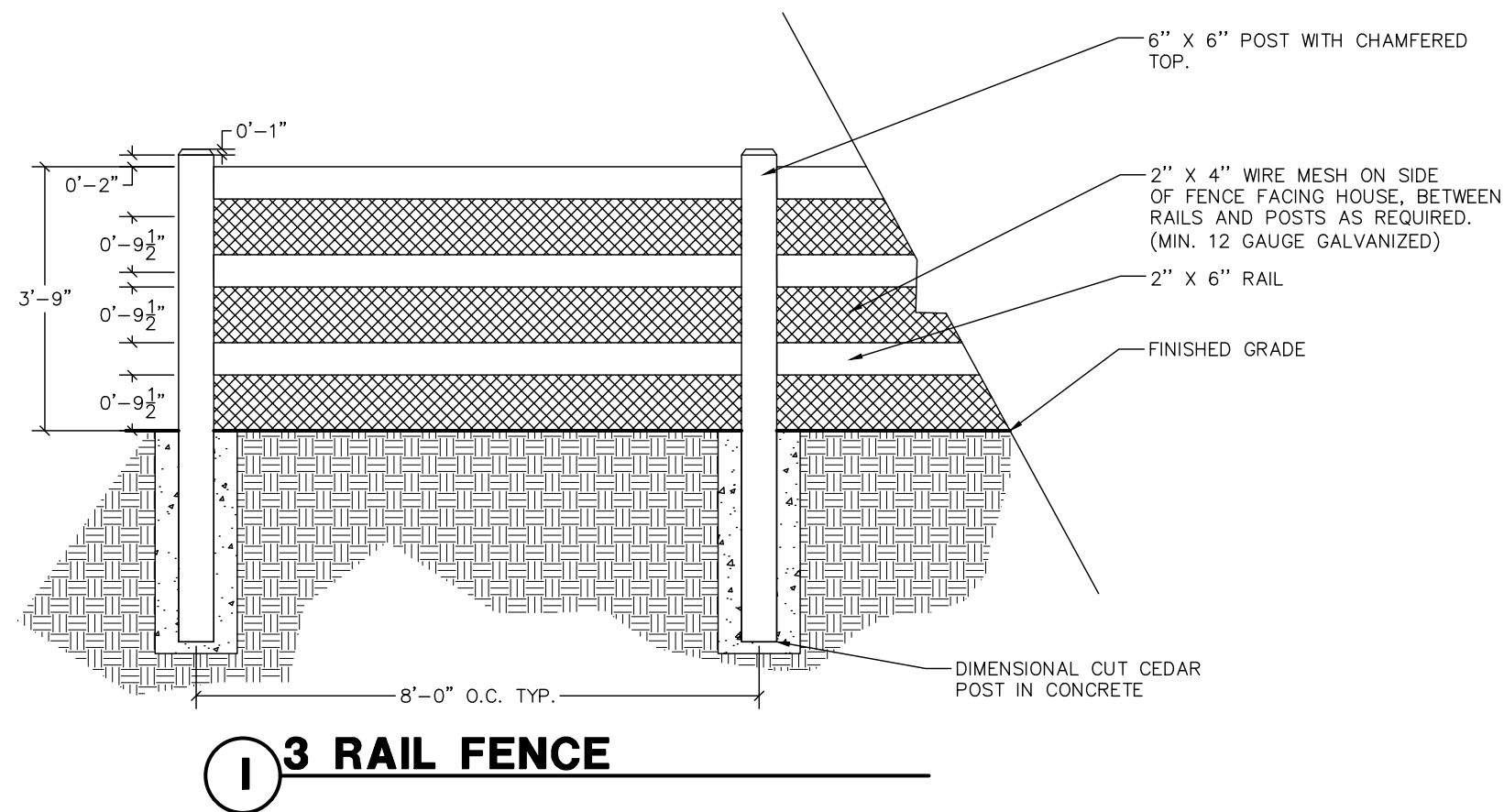
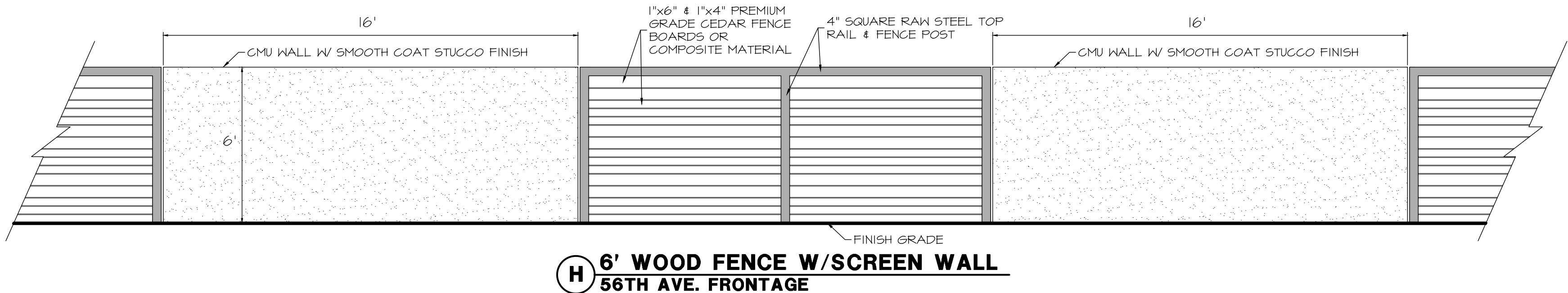
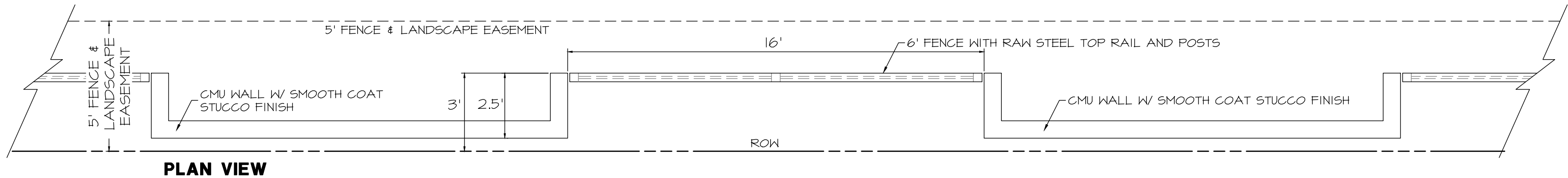
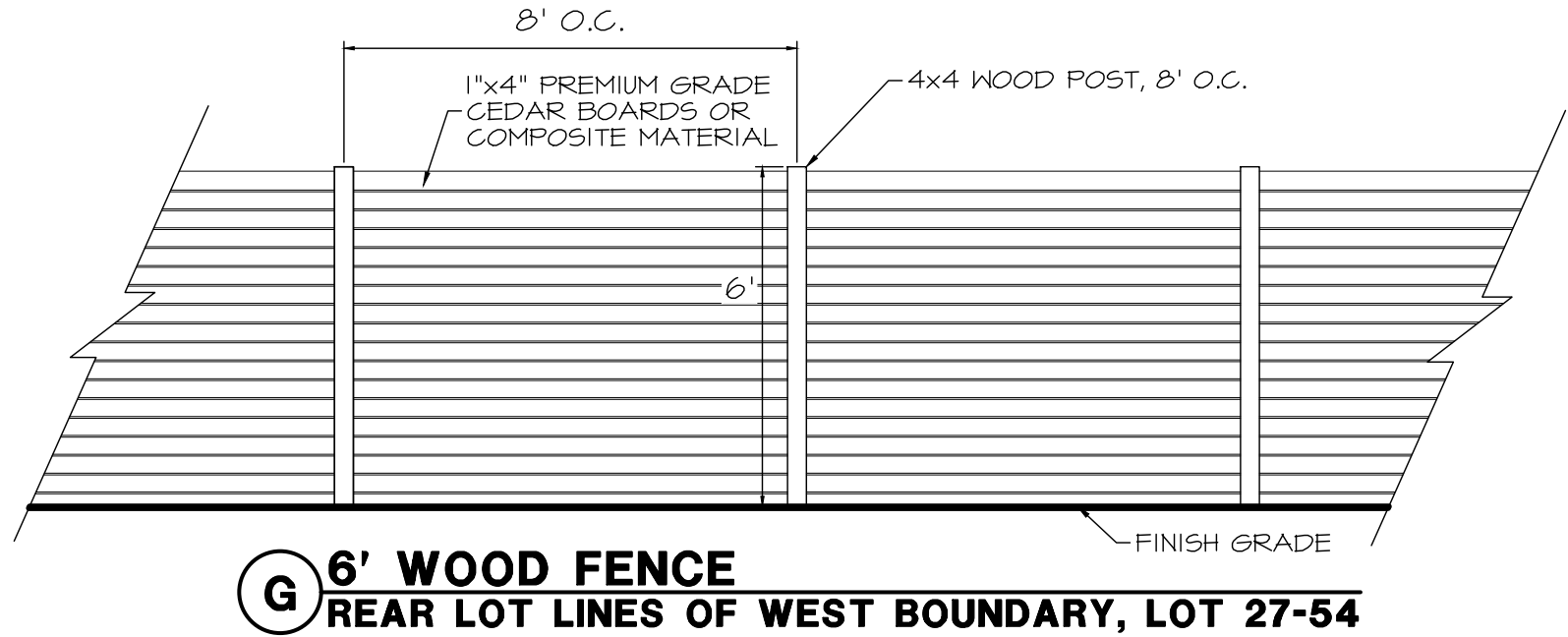
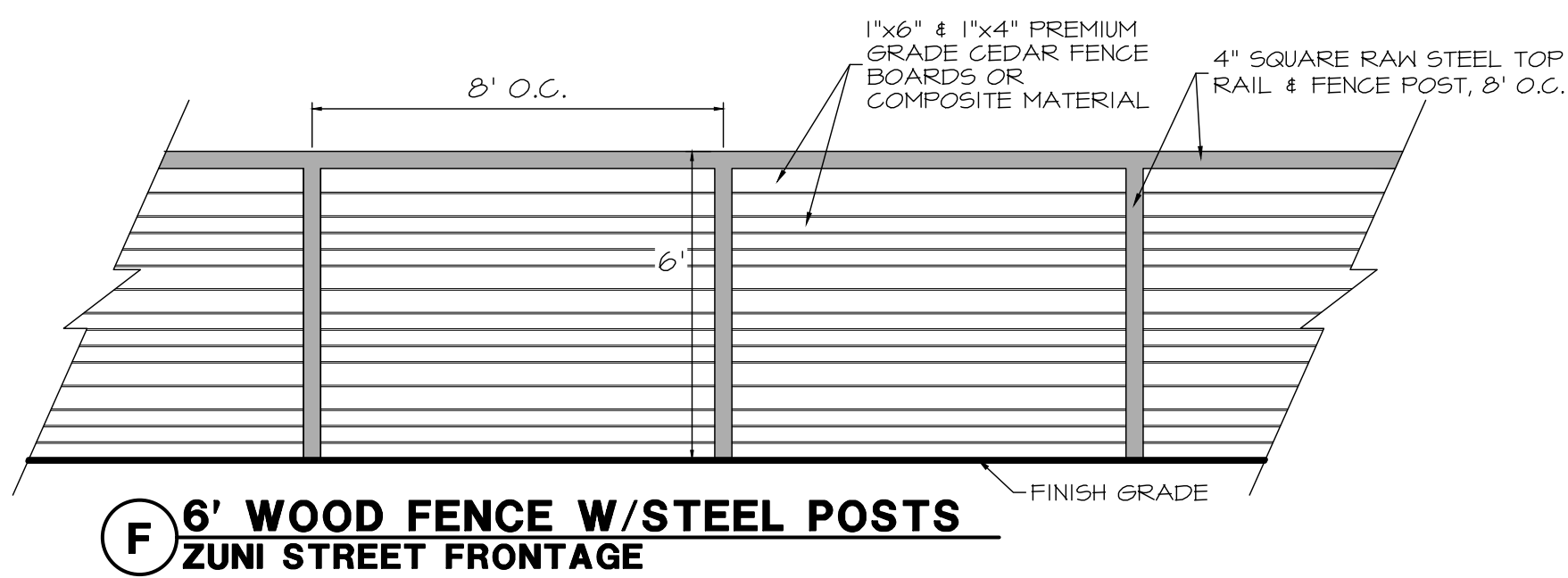
- GENERAL NOTES**
- GUY ALL CONIFEROUS TREES AND ALL DECIDUOUS TREES LARGER THAN 2 1/2" CAL.
 - IN SODDED AREAS, CUT SOD IN 36" CIRCLE AND MULCH. FOR CONIFERS CUT SOD AT DRIP LINE OF TREE AND MULCH.

DETAILS
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BERKELEY MEADOWS
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LOCATED IN THE SOUTHEAST 1/4 OF SECTION 8,
TOWNSHIP 3 SOUTH, RANGE 68 WEST, 6TH PRINCIPAL MERIDIAN,
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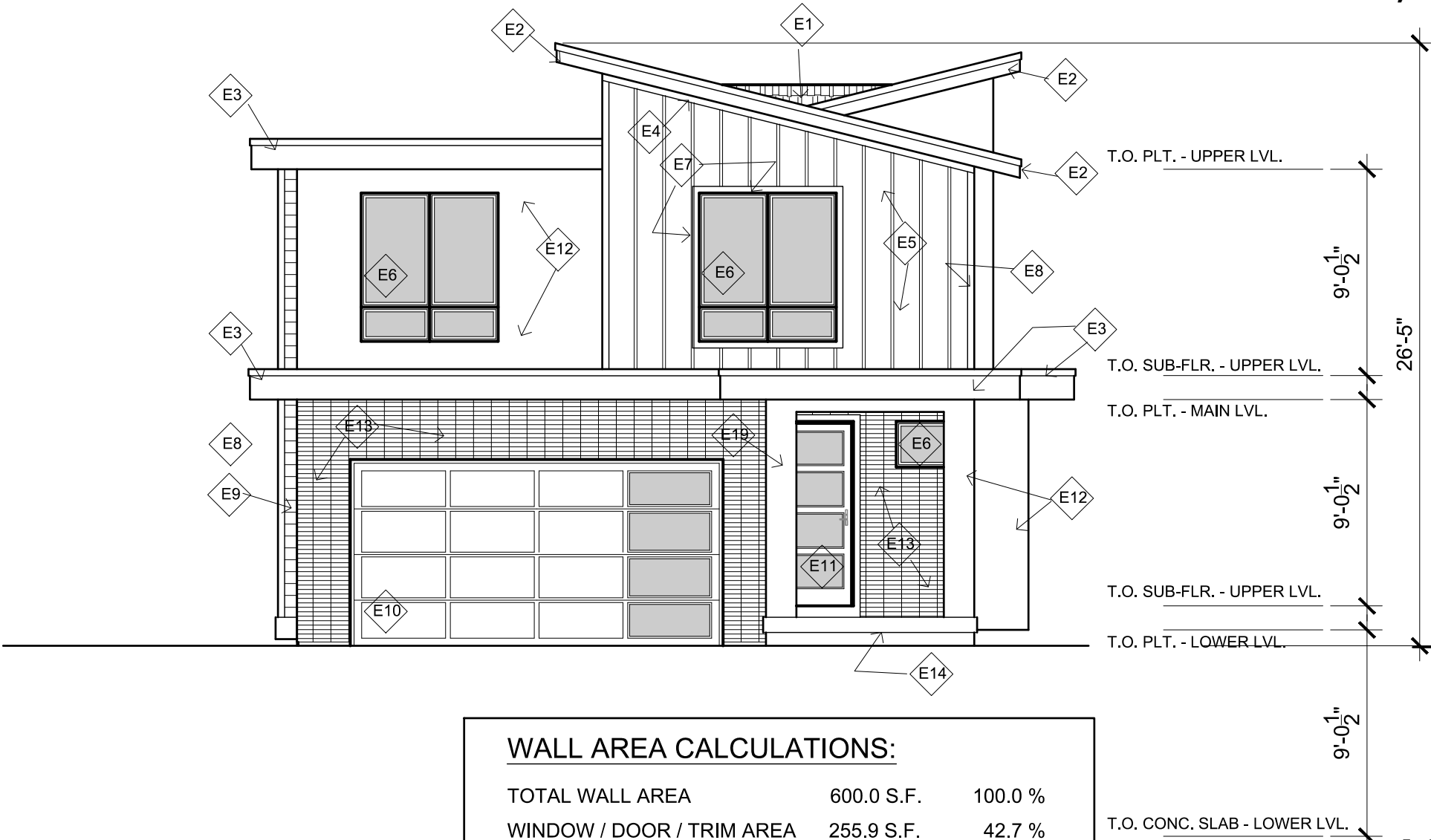


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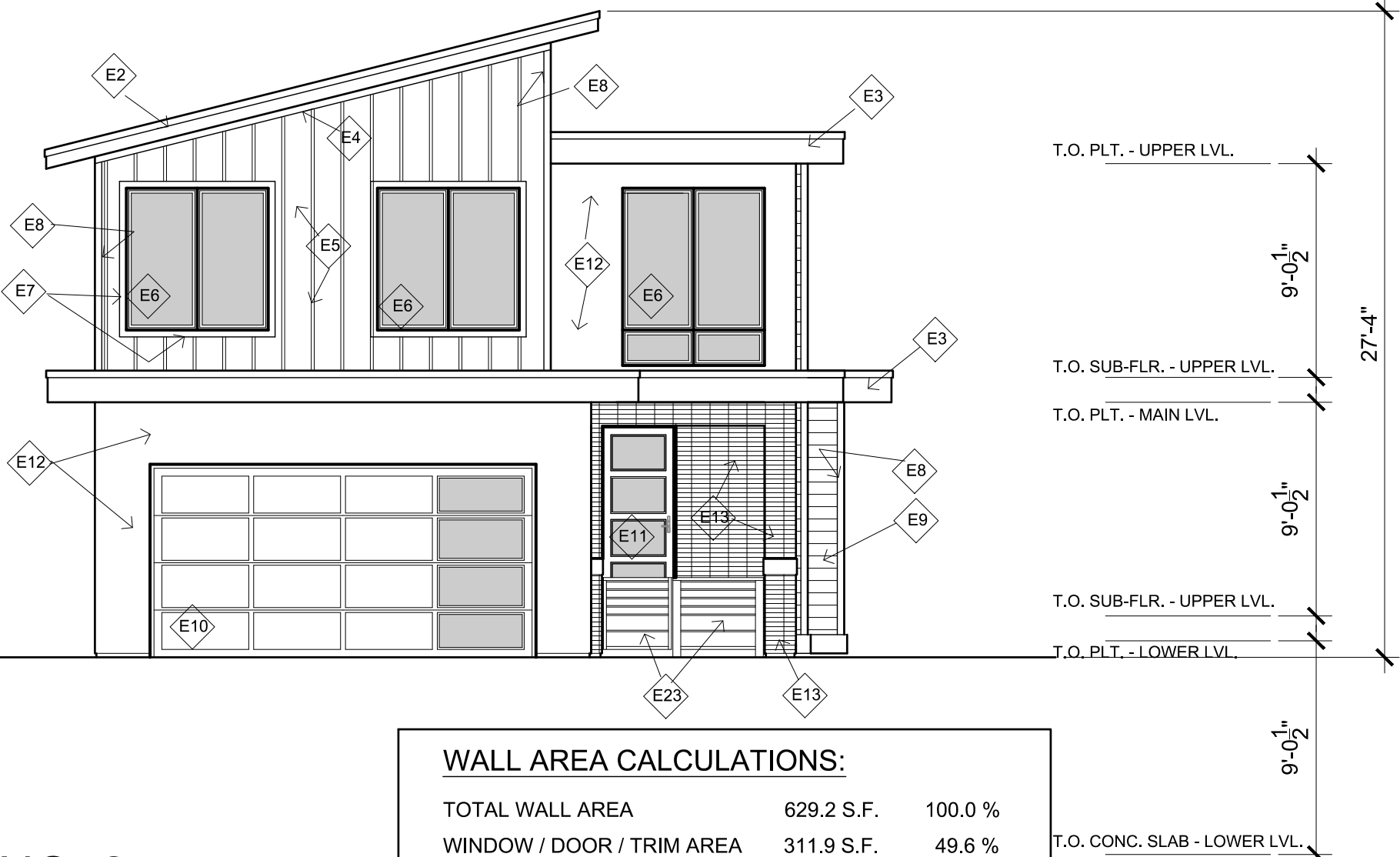


MODEL NO. 1
FRONT ELEVATION

N.T.S.

WALL AREA CALCULATIONS:

TOTAL WALL AREA	600.0 S.F.	100.0 %
WINDOW / DOOR / TRIM AREA	255.9 S.F.	42.7 %
STUCCO AREA	107.2 S.F.	17.9 %
SIDING AREA	120.2 S.F.	20.1 %
BRICK AREA	116.7 S.F.	19.5 %

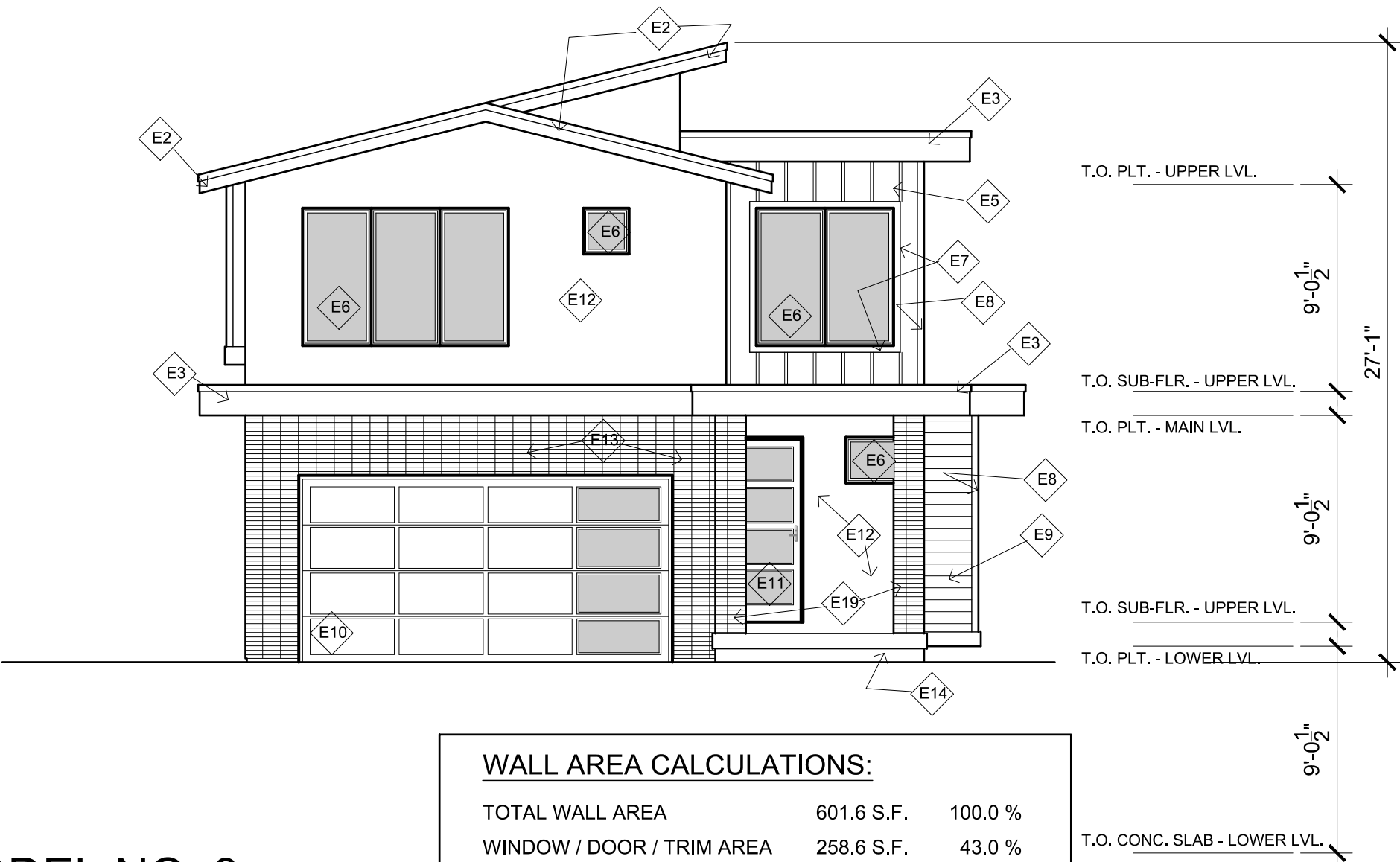


MODEL NO. 2
FRONT ELEVATION

N.T.S.

WALL AREA CALCULATIONS:

TOTAL WALL AREA	629.2 S.F.	100.0 %
WINDOW / DOOR / TRIM AREA	311.9 S.F.	49.6 %
STUCCO AREA	138.4 S.F.	22.0 %
SIDING AREA	122.3 S.F.	19.5 %
BRICK AREA	56.6 S.F.	9.0 %



MODEL NO. 3
FRONT ELEVATION

N.T.S.

WALL AREA CALCULATIONS:

TOTAL WALL AREA	601.6 S.F.	100.0 %
WINDOW / DOOR / TRIM AREA	258.6 S.F.	43.0 %
STUCCO AREA	205.3 S.F.	34.1 %
SIDING AREA	36.7 S.F.	6.1 %
BRICK AREA	117.8 S.F.	19.6 %

BUILDING ELEVATION KEYED NOTES:

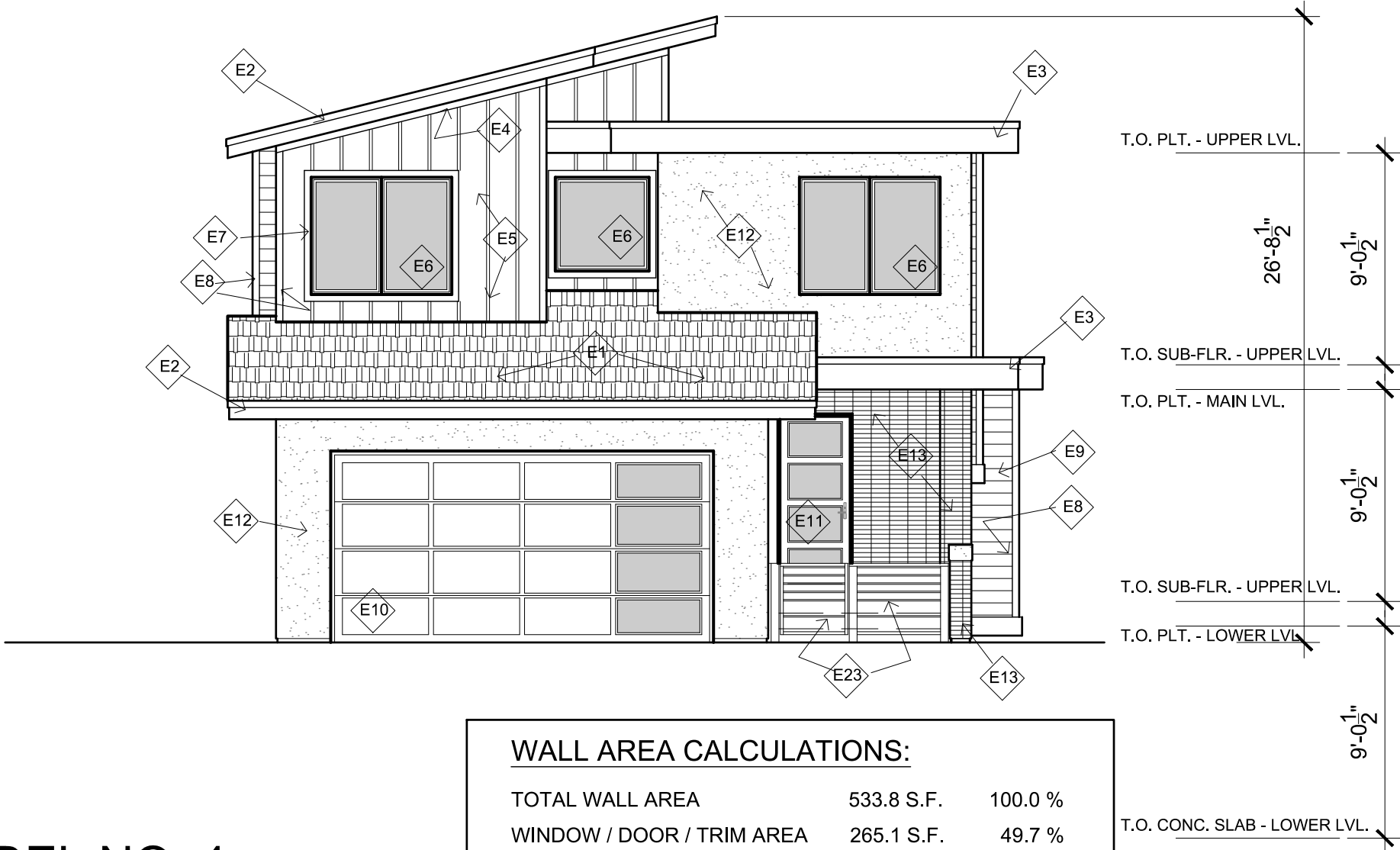
- E1 ARCHITECTURAL GRADE (50 YR.) COMPOSITION SHINGLE ROOFING
- E2 SYNTHETIC WOOD FASCIA & TRIM (1 x 4 OVER 5/4 x 10)
- E3 SYNTHETIC WOOD FASCIA (1 x 4 OVER COMPOSITE 5/4 x 16)
- E4 1 x 4 SYNTHETIC WOOD FRIEZE BOARD
- E5 SYNTHETIC BOARD AND BATTEN SIDING PANELS ('HARD-PANEL' OR APPD. EQUAL)
- E6 VINYL WINDOW w/ PERIMETER FLASHING
- E7 1 x 4 SYNTHETIC WOOD TRIM (@ WINDOW / DOOR PERIMETER)
- E8 1 x 4 SYNTHETIC WOOD CORNER TRIM
- E9 HORIZONTAL SYNTHETIC WOOD SIDING (4" REVEAL) (SIMULATED T & G - 'HARD-SIDING PANEL' OR APPD. EQUAL)
- E10 INSULATED STEEL OVERHEAD SECTIONAL GARAGE DOOR w/ GLASS LITES
- E11 INSULATED STEEL (DECORATIVE) ENTRY DOOR w/ GLASS LITES
- E12 CEMENT STUCCO FINISH w/ INTEGRAL COLOR
- E13 THIN BRICK MASONRY VENEER
- E14 CONCRETE PORCH / PATIO SLAB
- E15 PREFINISHED ALUMINUM GUARDRAIL (36" H. - SECURE TO CONC. SLAB.)
- E16 SYNTHETIC WOOD DECKING OVER P.T. WOOD FRAMING
- E17 SYNTHETIC WOOD STAIR TREADS OVER CEDAR WOOD FRAMING
- E18 5/4 x 10 SYNTHETIC WOOD TRIM BAND
- E19 CEMENT STUCCO COLUMN ENCLOSURE
- E20 SOLID CORE DOOR w/ FULL LITES (SLIDING or SWING)
- E21 NOT USED.
- E22 BASEMENT WINDOW w/ AREAWELL
- E23 SYNTHETIC 'WOOD LOOK' FENCE (36" H.) w/ GATE
- E24 5/4 x 8 SYNTHETIC WOOD TRIM BAND
- E25 10" w. x 1 1/2" d. CEMENT STUCCO ACCENT BAND

TYPICAL HOUSE ELEVATIONS
BERKELEY MEADOWS
JOB NO. 15565.00
DATE 10/17/18



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BERKELEY MEADOWS
PLANNED UNIT DEVELOPMENT - FINAL DEVELOPMENT PLAN
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MODEL NO. 4
FRONT ELEVATION

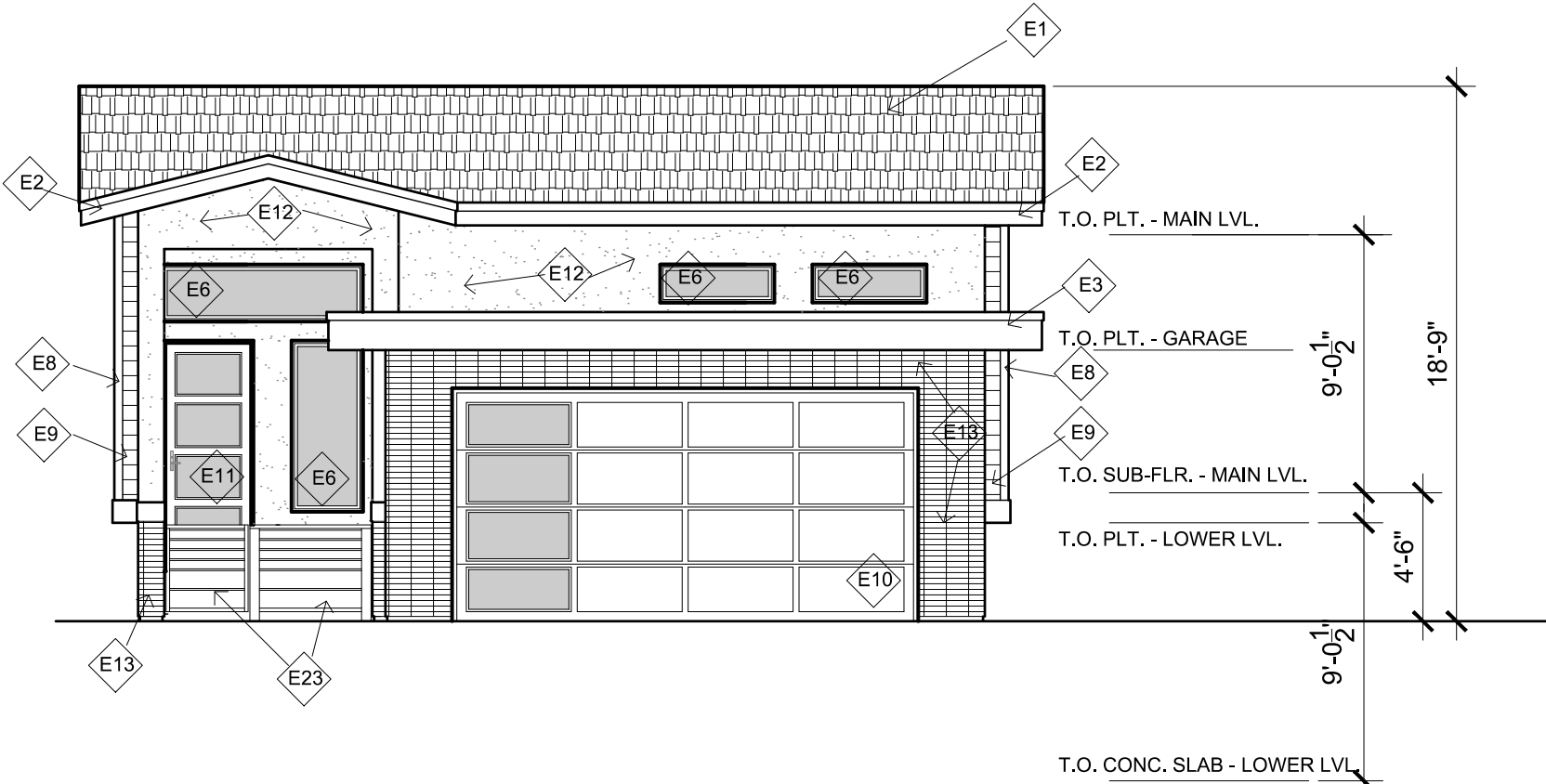
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WALL AREA CALCULATIONS:

TOTAL WALL AREA	533.8 S.F.	100.0 %
WINDOW / DOOR / TRIM AREA	265.1 S.F.	49.7 %
STUCCO AREA	139.5 S.F.	26.1 %
SIDING AREA	75.6 S.F.	14.2 %
BRICK AREA	53.6 S.F.	10.0 %

BUILDING ELEVATION KEYED NOTES:

- E1 ARCHITECTURAL GRADE (50 YR.) COMPOSITION SHINGLE ROOFING
- E2 SYNTHETIC WOOD FASCIA & TRIM (1 x 4 OVER 5/4 x 10)
- E3 SYNTHETIC WOOD FASCIA (1 x 4 OVER COMPOSITE 5/4 x 16)
- E4 1 x 4 SYNTHETIC WOOD FRIEZE BOARD
- E5 SYNTHETIC BOARD AND BATTEN SIDING PANELS ('HARD-PANEL' OR APP'D. EQUAL)
- E6 VINYL WINDOW w/ PERIMETER FLASHING
- E7 1 x 4 SYNTHETIC WOOD TRIM (@ WINDOW / DOOR PERIMETER)
- E8 1 x 4 SYNTHETIC WOOD CORNER TRIM
- E9 HORIZONTAL SYNTHETIC WOOD SIDING (4" REVEAL) (SIMULATED T & G - 'HARD-SIDING PANEL' OR APP'D. EQUAL)
- E10 INSULATED STEEL OVERHEAD SECTIONAL GARAGE DOOR w/ GLASS LITES
- E11 INSULATED STEEL (DECORATIVE) ENTRY DOOR w/ GLASS LITES
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- E20 SOLID CORE DOOR w/ FULL LITES (SLIDING or SWING)
- E21 NOT USED.
- E22 BASEMENT WINDOW w/ AREAWELL
- E23 SYNTHETIC 'WOOD LOOK' FENCE (36" H.) w/ GATE
- E24 5/4 x 8 SYNTHETIC WOOD TRIM BAND
- E25 10" w. x 1 1/2" d. CEMENT STUCCO ACCENT BAND



MODEL NO. 5
FRONT ELEVATION

N.T.S.

WALL AREA CALCULATIONS:

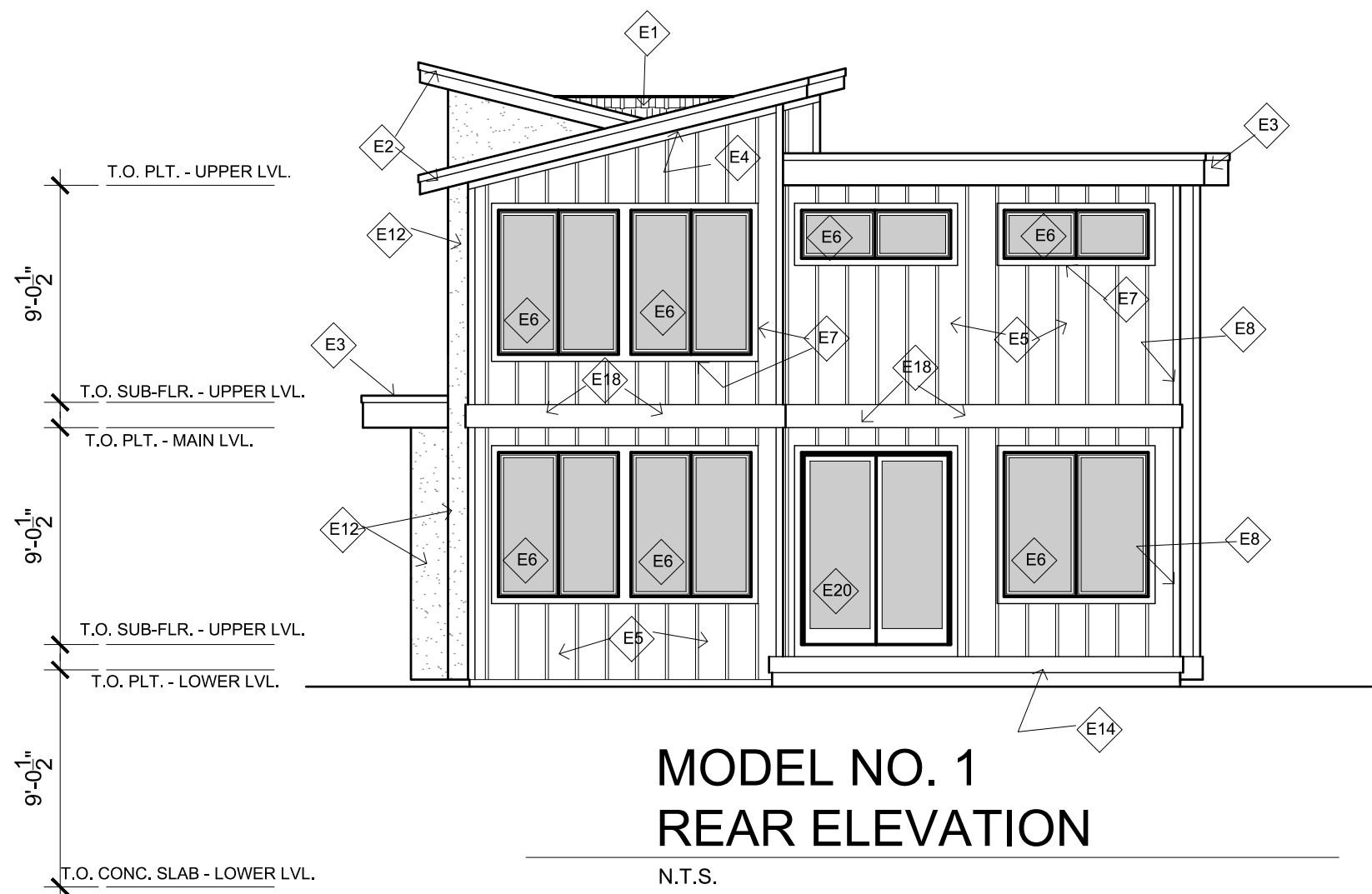
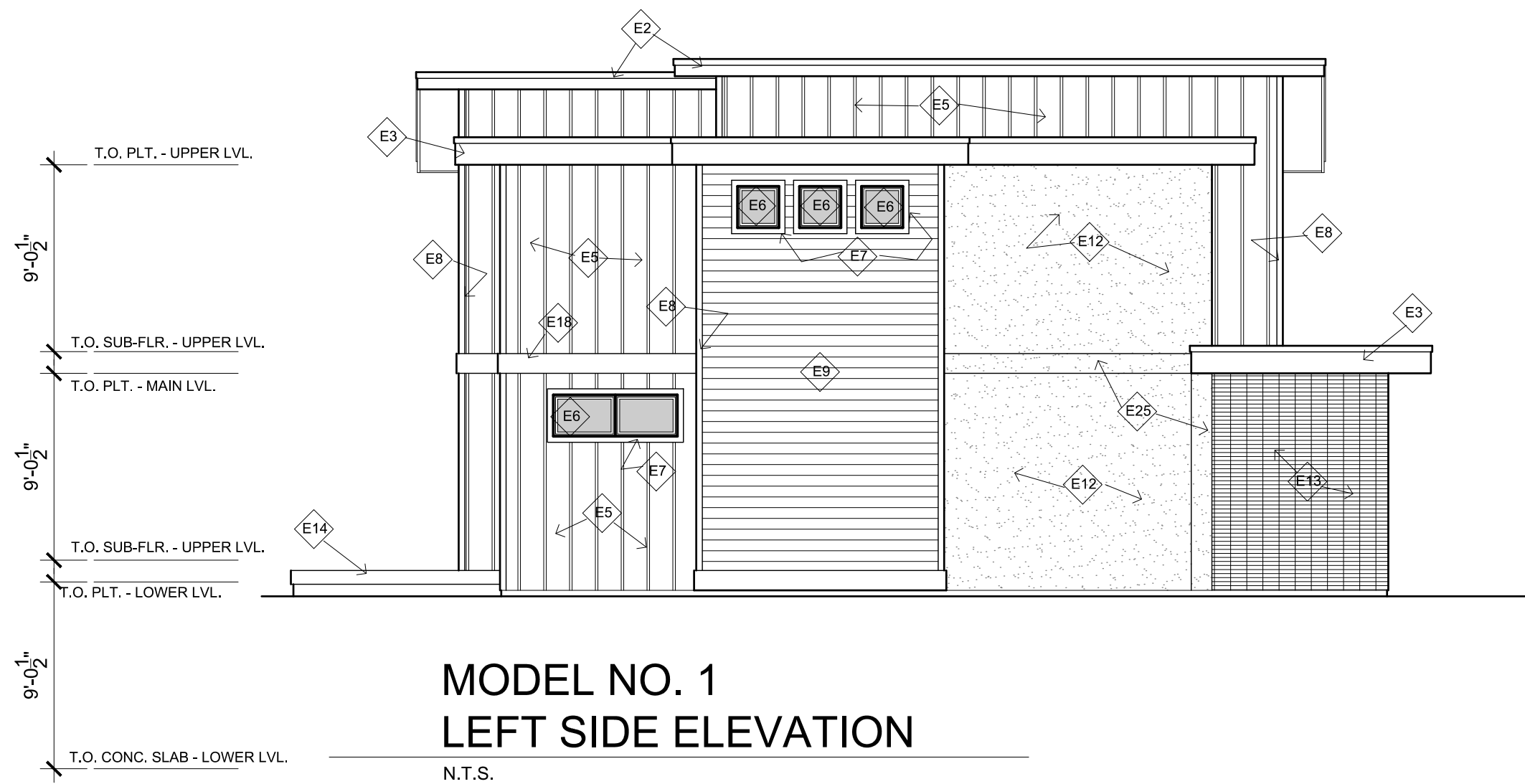
TOTAL WALL AREA	385.9 S.F.	100.0 %
WINDOW / DOOR / TRIM AREA	194.9 S.F.	50.5 %
STUCCO AREA	100.0 S.F.	25.9 %
SIDING AREA	-0-	-
BRICK AREA	90.9 S.F.	23.6 %

TYPICAL HOUSE ELEVATIONS
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BERKELEY MEADOWS
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BUILDING ELEVATION KEYED NOTES:

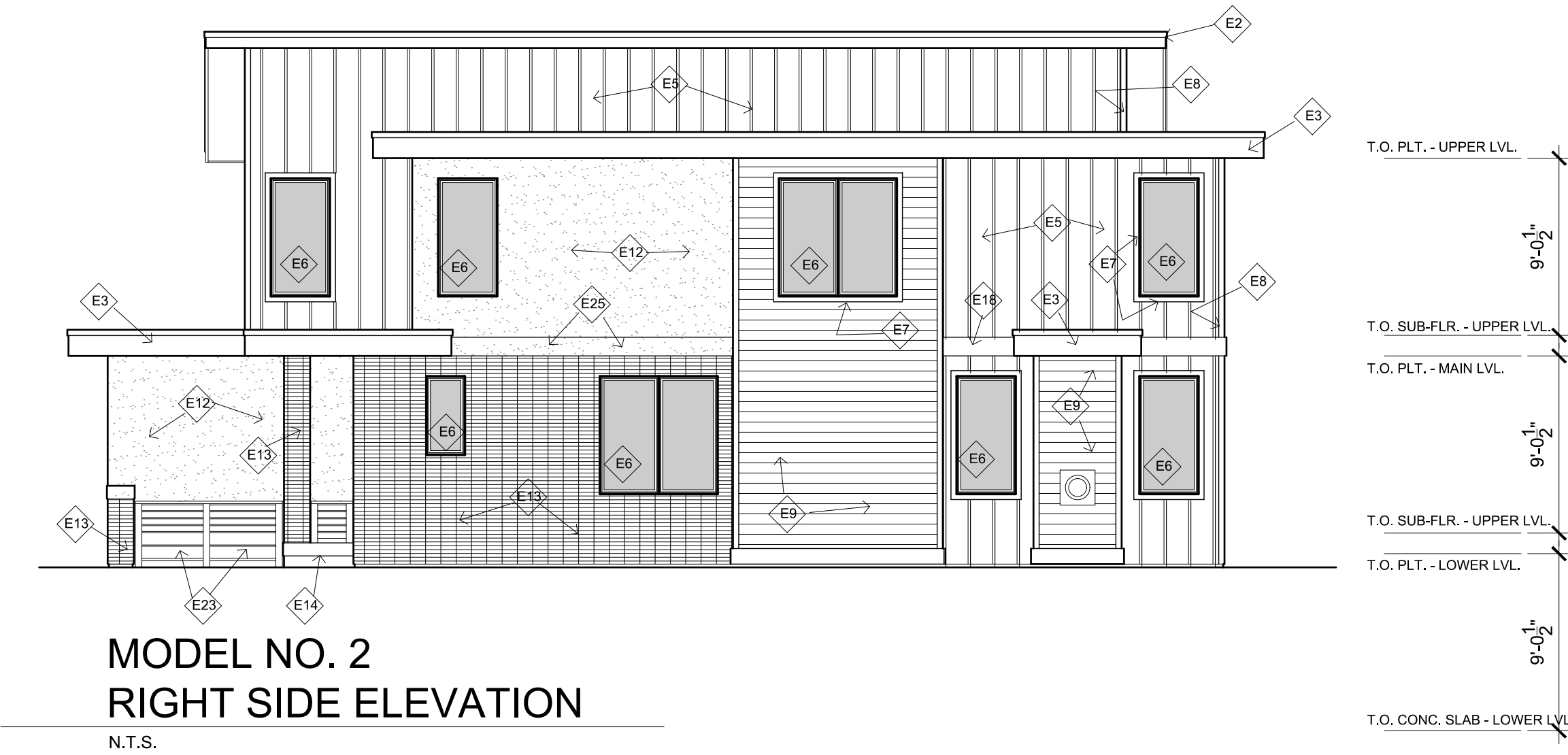
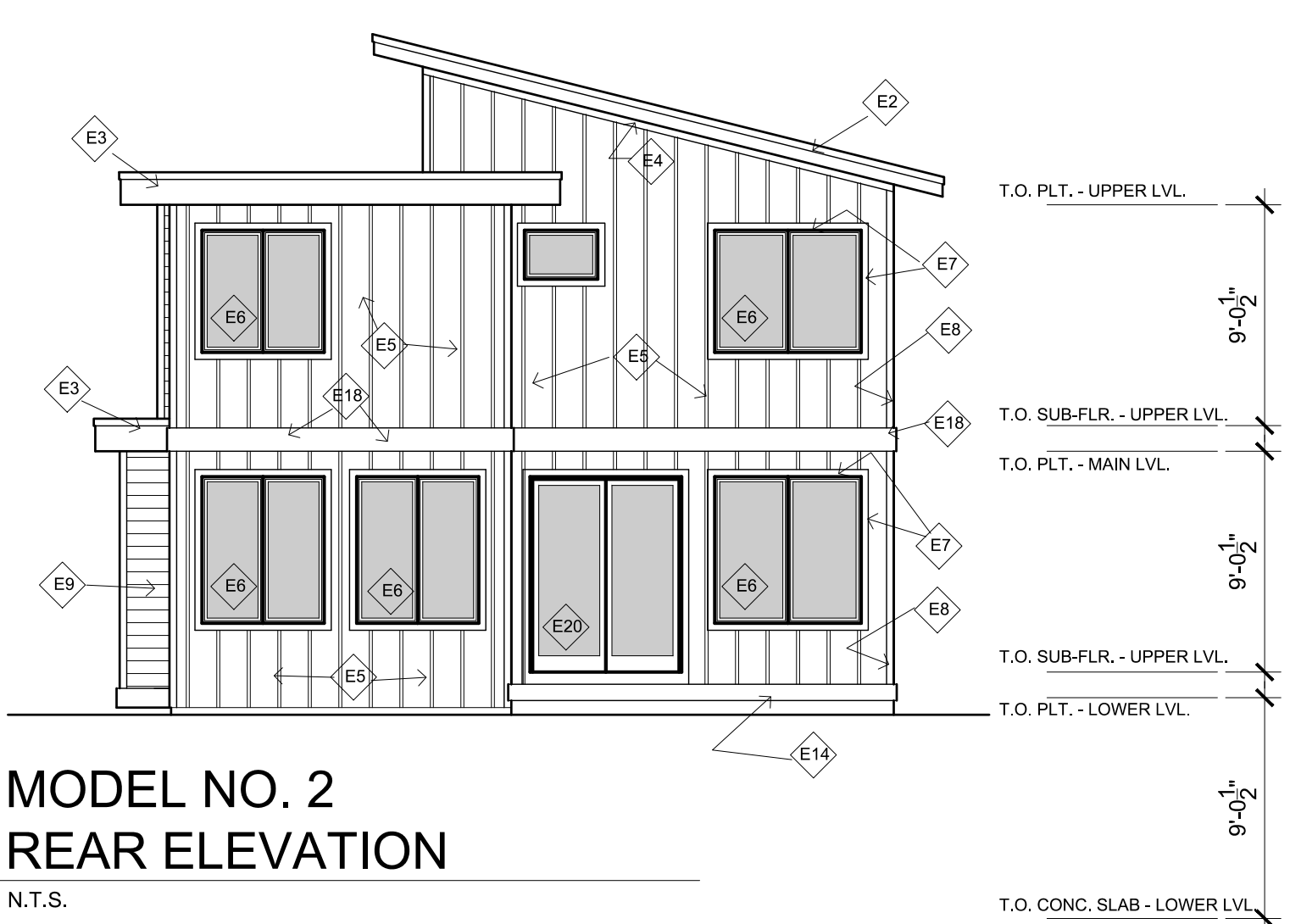
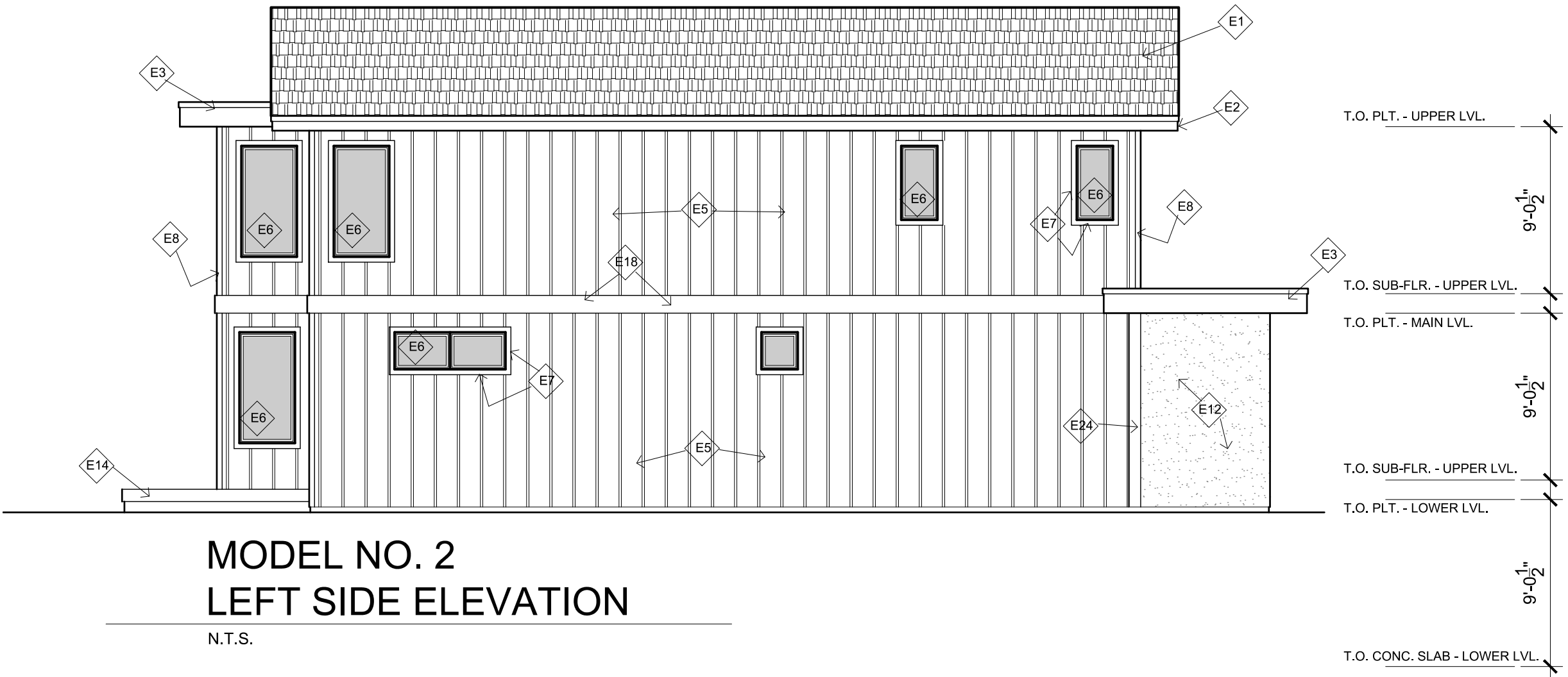
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PLANNED UNIT DEVELOPMENT - FINAL DEVELOPMENT PLAN
LOCATED IN THE SOUTHEAST 1/4 OF SECTION 8,
TOWNSHIP 3 SOUTH, RANGE 68 WEST, 6TH PRINCIPAL MERIDIAN,
COUNTY OF ADAMS, STATE OF COLORADO



BUILDING ELEVATION KEYED NOTES:

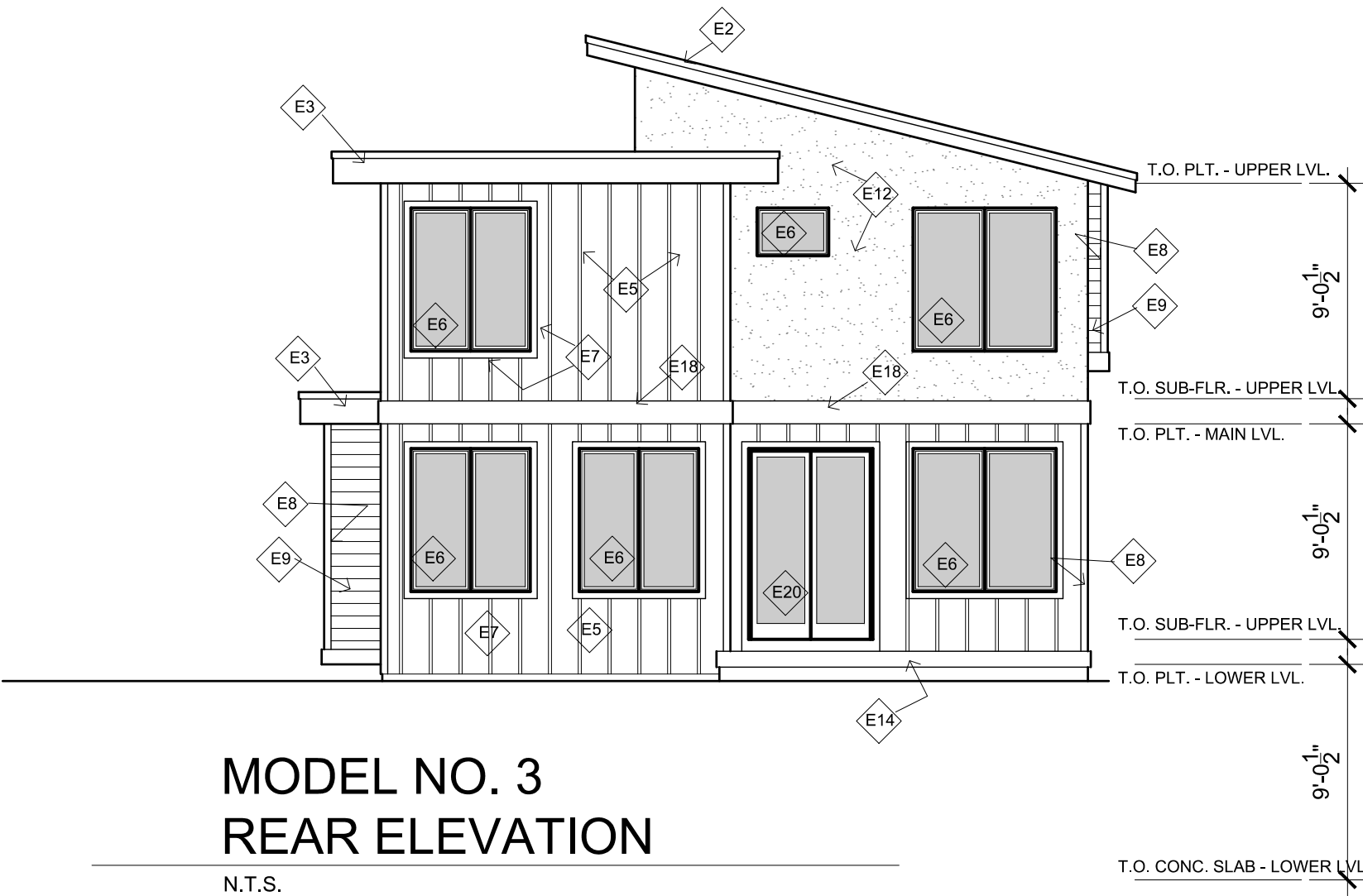
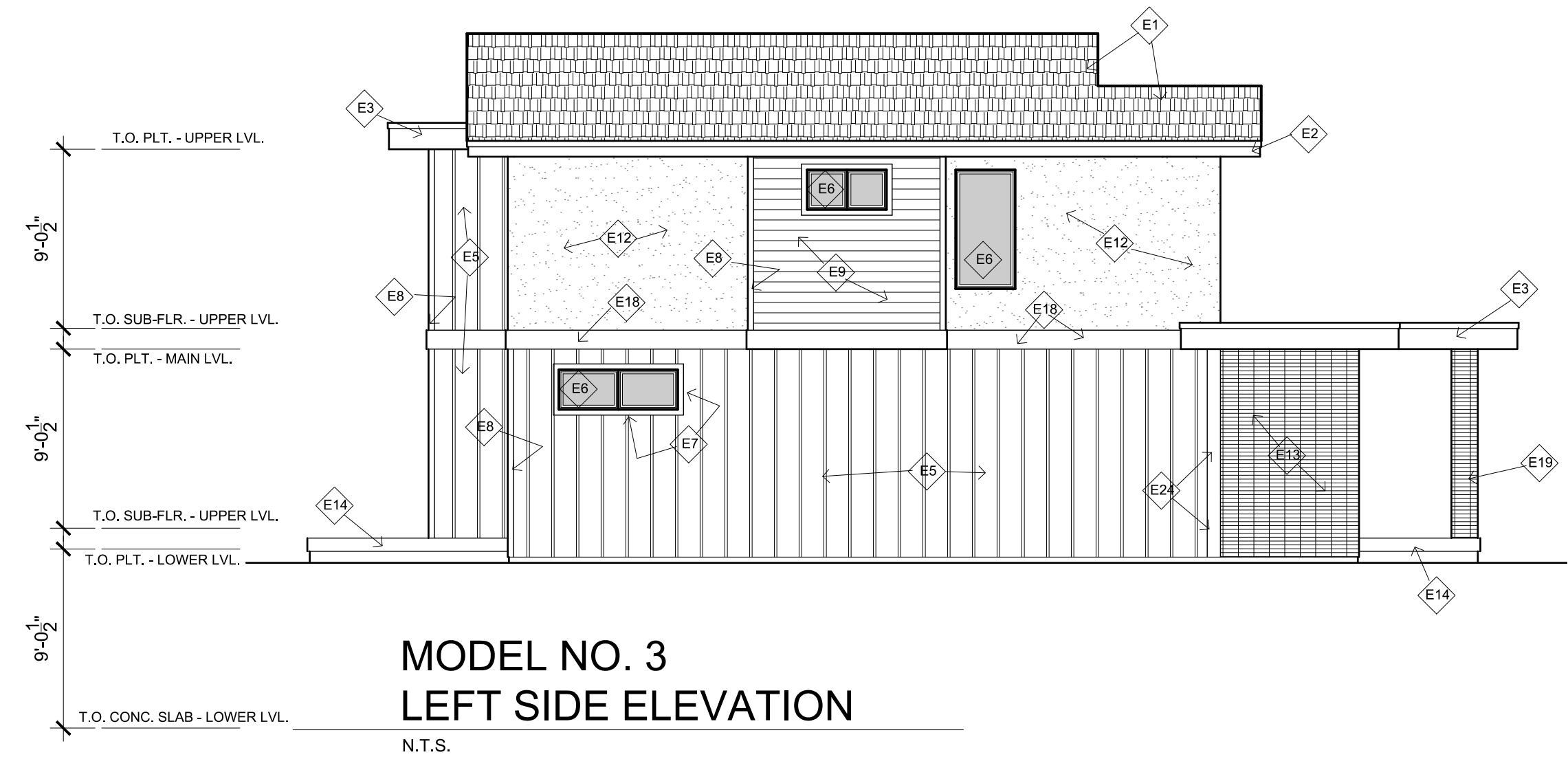
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TYPICAL HOUSE ELEVATIONS
BERKELEY MEADOWS
JOB NO. 15565.00
DATE 10/17/18



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LOCATED IN THE SOUTHEAST 1/4 OF SECTION 8,
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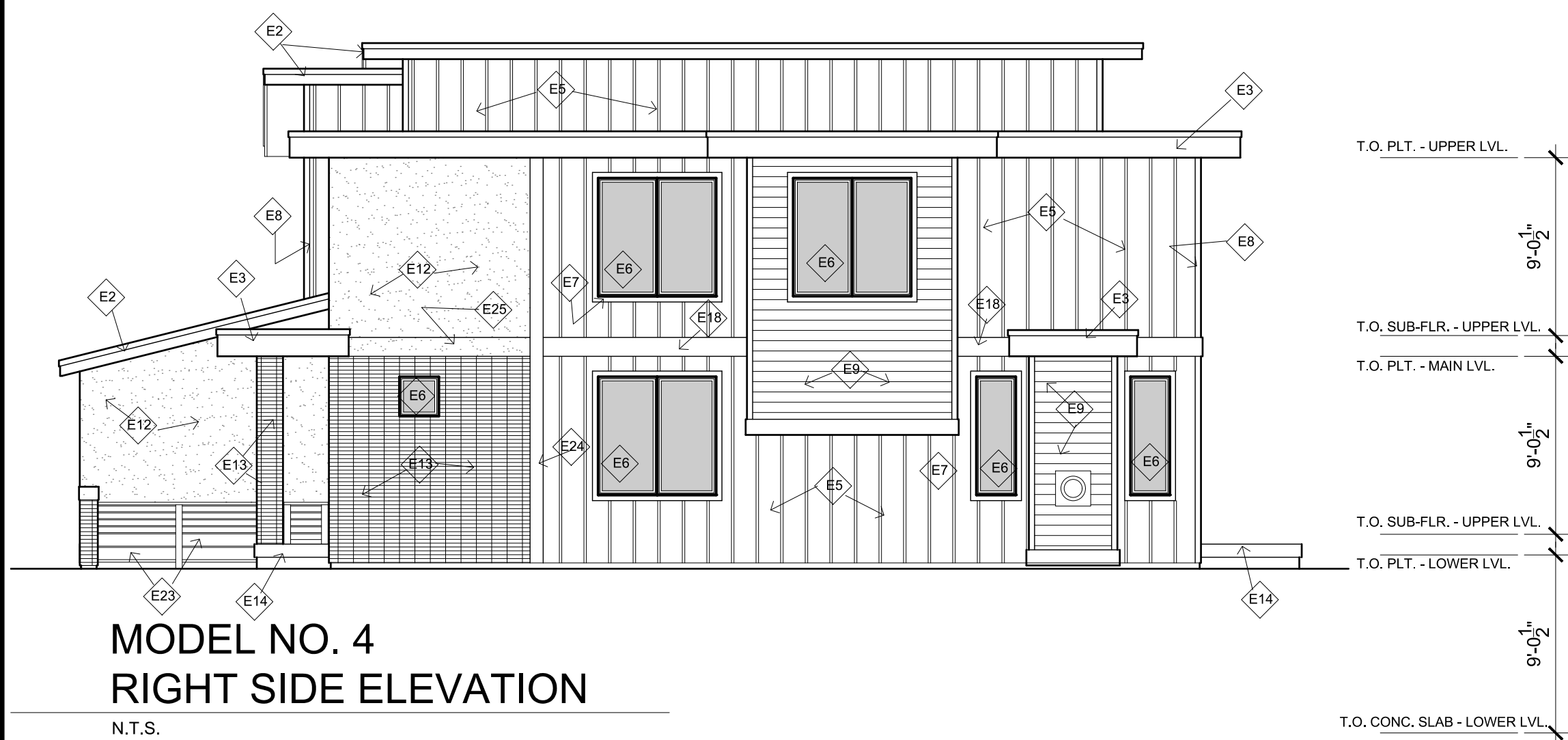
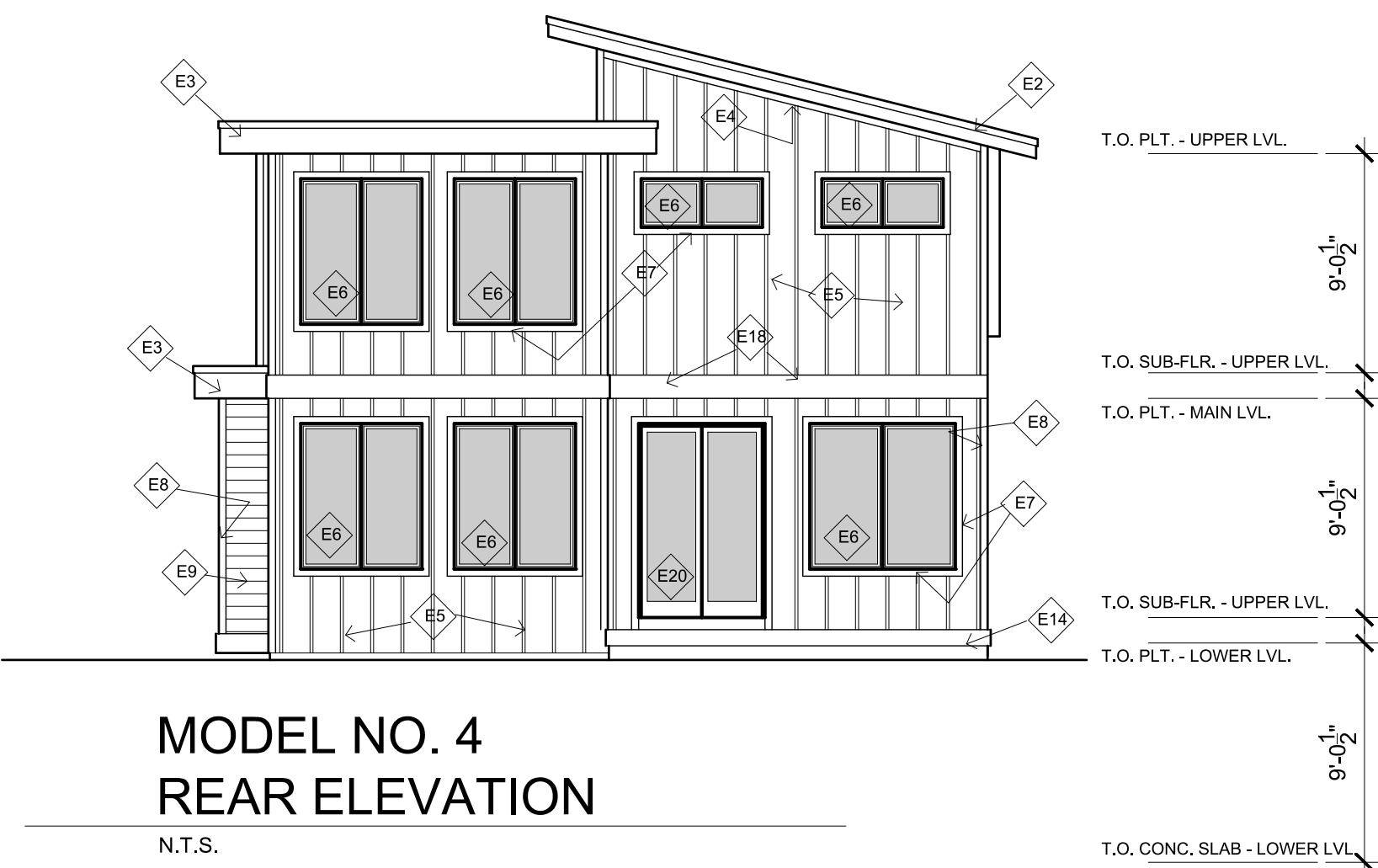
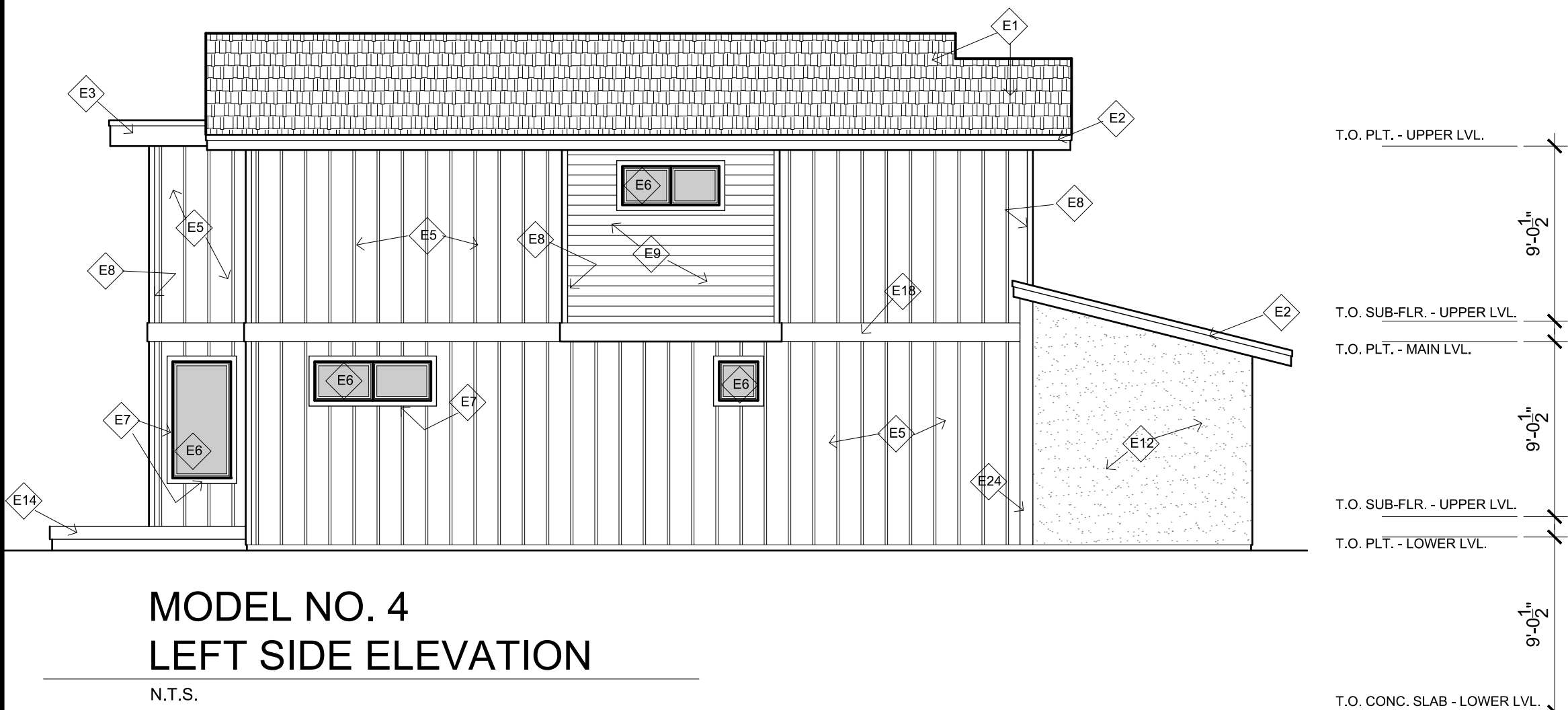
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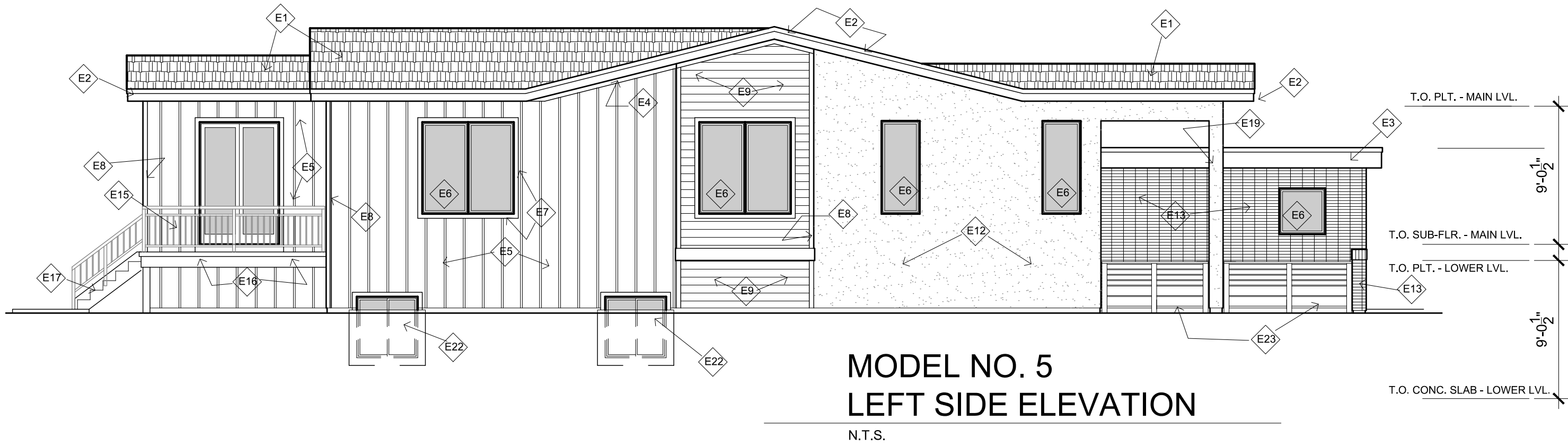
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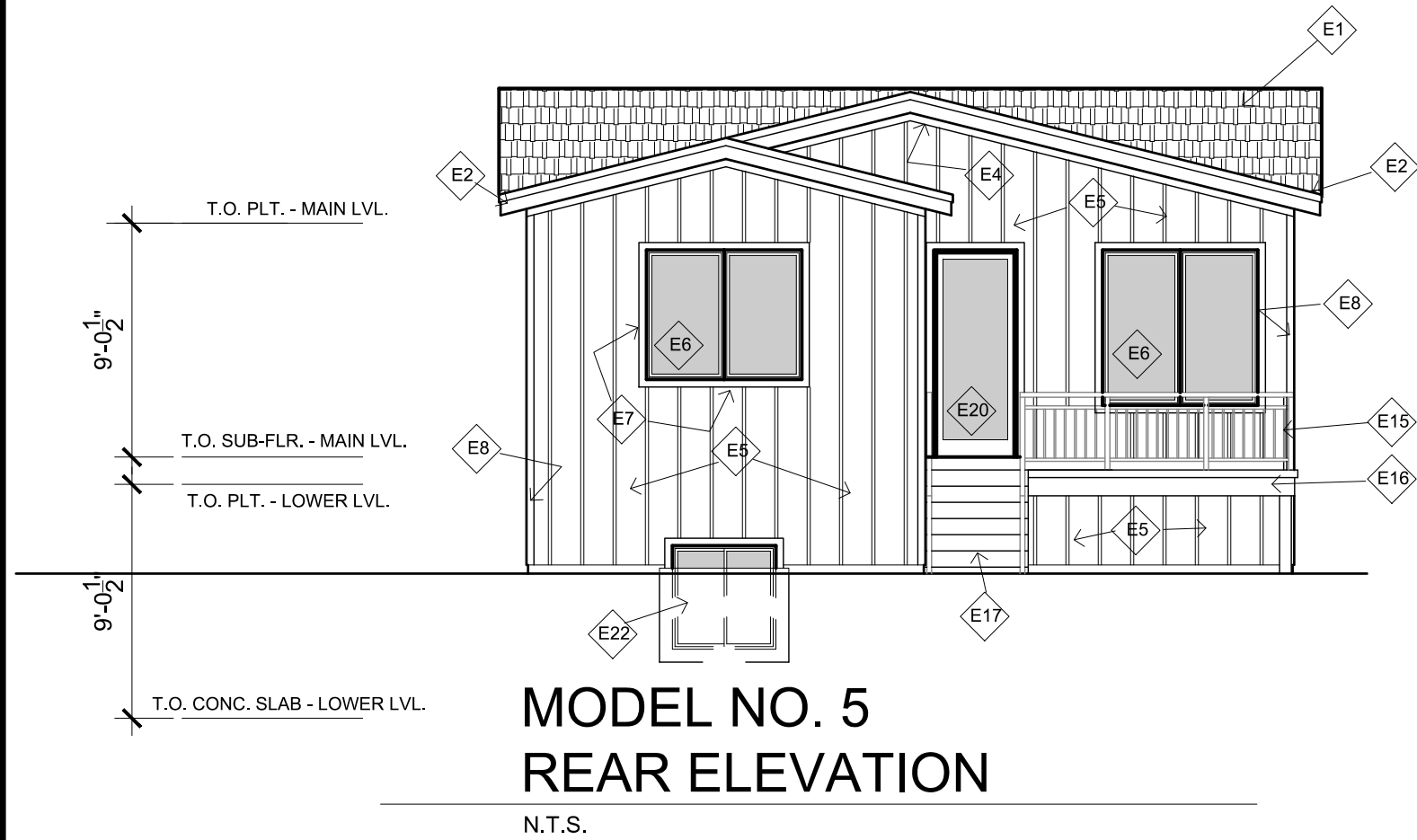
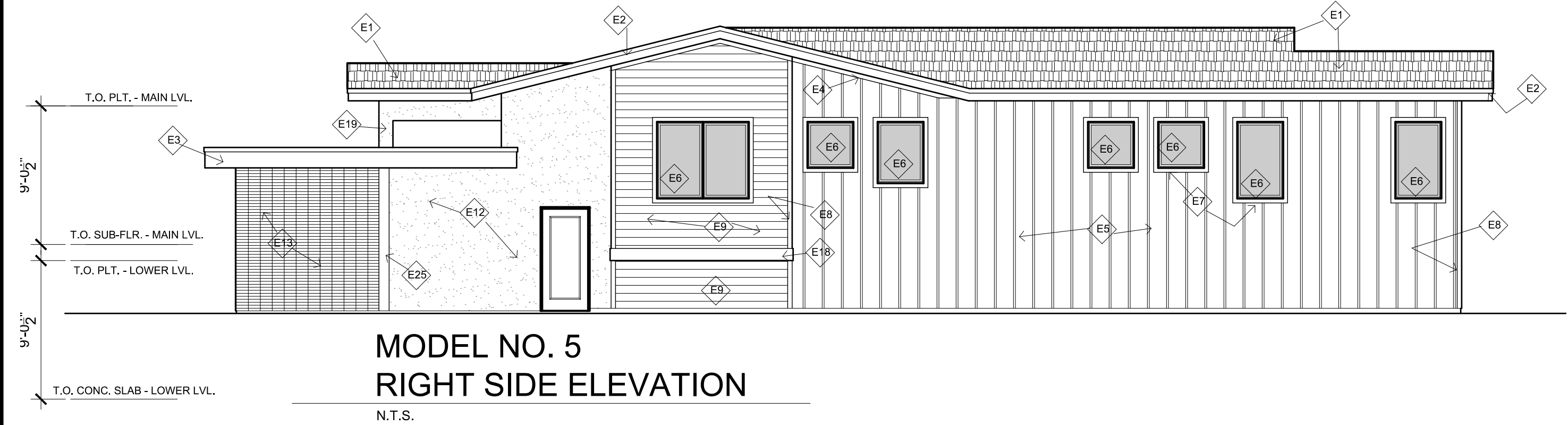


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TYPICAL HOUSE ELEVATIONS
BERKELEY MEADOWS
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BERKELEY MEADOWS

LOCATED IN THE SOUTHEAST 1/4 OF SECTION 8,
TOWNSHIP 3 SOUTH, RANGE 68 WEST OF THE 6TH PRINCIPAL MERIDIAN,
COUNTY OF ADAMS, STATE OF COLORADO

SHEET 1 OF 3

CASE NO. **PRC 2016-00005**

LEGAL DESCRIPTION AND DEDICATION STATEMENT

KNOW ALL MEN BY THESE PRESENTS THAT THE UNDERSIGNED ARE THE OWNER(S) OF THE LAND SITUATED IN THE SOUTHEAST ONE-QUARTER OF SECTION 8, TOWNSHIP 3 SOUTH, RANGE 68 WEST OF THE 6TH PRINCIPAL MERIDIAN, COUNTY OF ADAMS, STATE OF COLORADO, DESCRIBED AS FOLLOWS:

BEGINNING AT THE SOUTHEAST CORNER OF SE1/4 SECTION 8, THENCE NORTH ALONG SECTION LINE FOR 1464 FEET TO SOUTH LINE OF COLORADO AND SOUTHERN RAIL ROAD RIGHT OF WAY, THENCE IN A SOUTHWESTERLY DIRECTION ALONG SAID COLORADO AND SOUTHERN RAIL ROAD RIGHT OF WAY TO A POINT 331.75 FEET WEST OF EAST LINE OF SAID SECTION AND THENCE SOUTH 1364 FEET TO SOUTH LINE SAID SECTION THENCE EAST 331.75 FEET TO PLACE OF BEGINNING.

EXCEPT ROAD ON SOUTH SIDE AS PER DEED OF RECORD, THE PROPERTY CONVEYED BY THE PERSONAL REPRESENTATIVE'S DEED DATED MARCH 12, 2009 AND RECORDED MARCH 12, 2009 AT RECEPTION NO. 2009000017688, AND THE PROPERTY CONVEYED BY THE PERSONAL REPRESENTATIVE'S DEED DATED MARCH 12, 2009 AND RECORDED MARCH 12, 2009 AT RECEPTION NO. 2009000017689.

THE ABOVE DESCRIBED PROPERTY ALSO BEING DESCRIBED AS FOLLOWS:

BASIS OF BEARINGS: THE EAST LINE OF THE SOUTHEAST QUARTER OF SECTION 8, TOWNSHIP 3 SOUTH, RANGE 68 WEST OF THE 6TH PRINCIPAL MERIDIAN, BEING MONUMENTED BY A 3-1/4" ALUMINUM CAP MARKED "PLS 16406, 1996" AT THE SOUTHEAST CORNER AND A 3-1/4" ALUMINUM CAP MARKED "PLS 20160, 1998" AT THE EAST QUARTER CORNER, BEING ASSUMED TO BEAR S00°13'28"E A DISTANCE OF 2640.17 FEET.

COMMENCING AT THE SOUTHEAST CORNER OF SAID SECTION 8;

THENCE ON SAID EAST LINE OF THE SOUTHEAST QUARTER, N00°13'28"W 222.47 FEET, TO A POINT ON THE NORTHERLY LINE OF THAT PARCEL AS DESCRIBED AT RECEPTION NO. 2009000017688, AND THE POINT OF BEGINNING;

THENCE ON SAID NORTHERLY LINE THE FOLLOWING FOUR (4) COURSES:

- S10°00'01"W A DISTANCE OF 168.18 FEET;
- S08°59'41"W A DISTANCE OF 6.85 FEET;
- S45°32'10"W A DISTANCE OF 15.93 FEET;
- S89°12'23"W A DISTANCE OF 289.40 FEET, TO A POINT BEING 331.75 FEET WEST OF SAID EAST LINE OF THE SOUTHEAST QUARTER,

THENCE N00°13'28"W A DISTANCE OF 460.01 FEET, TO THE SOUTHEAST CORNER OF NORTHRIDGE ESTATES AT GOLD RUN SUBDIVISION AS DESCRIBED UNDER RECEPTION NUMBER C0700025;

THENCE ON THE EAST LINE OF SAID SUBDIVISION: N00°13'28"W A DISTANCE OF 869.57 FEET, TO A POINT ON THE SOUTHERLY RIGHT OF WAY LINE OF THE COLORADO AND SOUTHERN RAIL ROAD AS DESCRIBED IN BOOK 3475 AT PAGE 305;

THENCE ON SAID SOUTHERLY RIGHT OF WAY, N73°09'25"E A DISTANCE OF 227.36 FEET, TO A POINT ON THE WESTERLY LINE OF THAT PARCEL AS DESCRIBED AT RECEPTION NO. 2009000017689;

THENCE ON SAID WESTERLY LINE THE FOLLOWING TWO (2) COURSES:

- S26°51'36"E A DISTANCE OF 135.81 FEET;
- N89°46'28"E A DISTANCE OF 53.00 FEET TO A POINT ON SAID EAST LINE OF THE SOUTHEAST QUARTER OF SECTION 8;

THENCE ON SAID EAST LINE OF THE SOUTHEAST QUARTER, S00°13'28"E A DISTANCE OF 1086.95 FEET TO THE POINT OF BEGINNING.

SAID PARCEL CONTAINS AN OVERALL CALCULATED AREA OF 441,825 SQUARE FEET OR 10.143 ACRES.

HAVE BY THESE PRESENTS LAID OUT, PLATTED AND SUBDIVIDED THE SAME INTO LOTS AS SHOWN ON THIS PLAT UNDER THE NAME AND STYLE OF "BERKELEY MEADOWS", AND DO HEREBY DEDICATE TO THE COUNTY OF ADAMS, STATE OF COLORADO, FOR PUBLIC USE, ALL STREETS, AND OTHER PUBLIC WAYS AND LANDS AS SHOWN ON THIS PLAT, FOREVER, AND ALSO RESERVE THOSE PORTIONS OF REAL PROPERTY WHICH ARE LABELED AS UTILITY EASEMENTS AND/OR UTILITY AND DRAINAGE EASEMENTS ON THIS PLAT, FOR THE INSTALLATION AND MAINTENANCE OF UTILITIES AND DRAINAGE FACILITIES, INCLUDING BUT NOT LIMITED TO ELECTRIC LINES, GAS LINES, TELEPHONE LINES, WATER LINES, SEWER LINES; TOGETHER WITH THE RIGHT TO TRIM INTERFERING TREES AND BRUSH, TOGETHER WITH A PERPETUAL RIGHT OF INGRESS AND EGRESS FOR INSTALLATION, MAINTENANCE, AND REPLACEMENT OF SUCH LINES; SAID EASEMENTS AND RIGHTS TO BE UTILIZED IN A RESPONSIBLE AND PRUDENT MANNER.

EXECUTED THIS ____ DAY OF _____, 20____.

OWNER

DELWEST DEVELOPMENT CORPORATION

BY: _____
(SIGNATURE)

(NAME) AS _____
(TITLE)

ACKNOWLEDGEMENT

STATE OF _____
COUNTY OF _____)SS

THE FOREGOING PLAT AND DEDICATION WAS ACKNOWLEDGED BEFORE ME THIS ____ DAY OF _____.

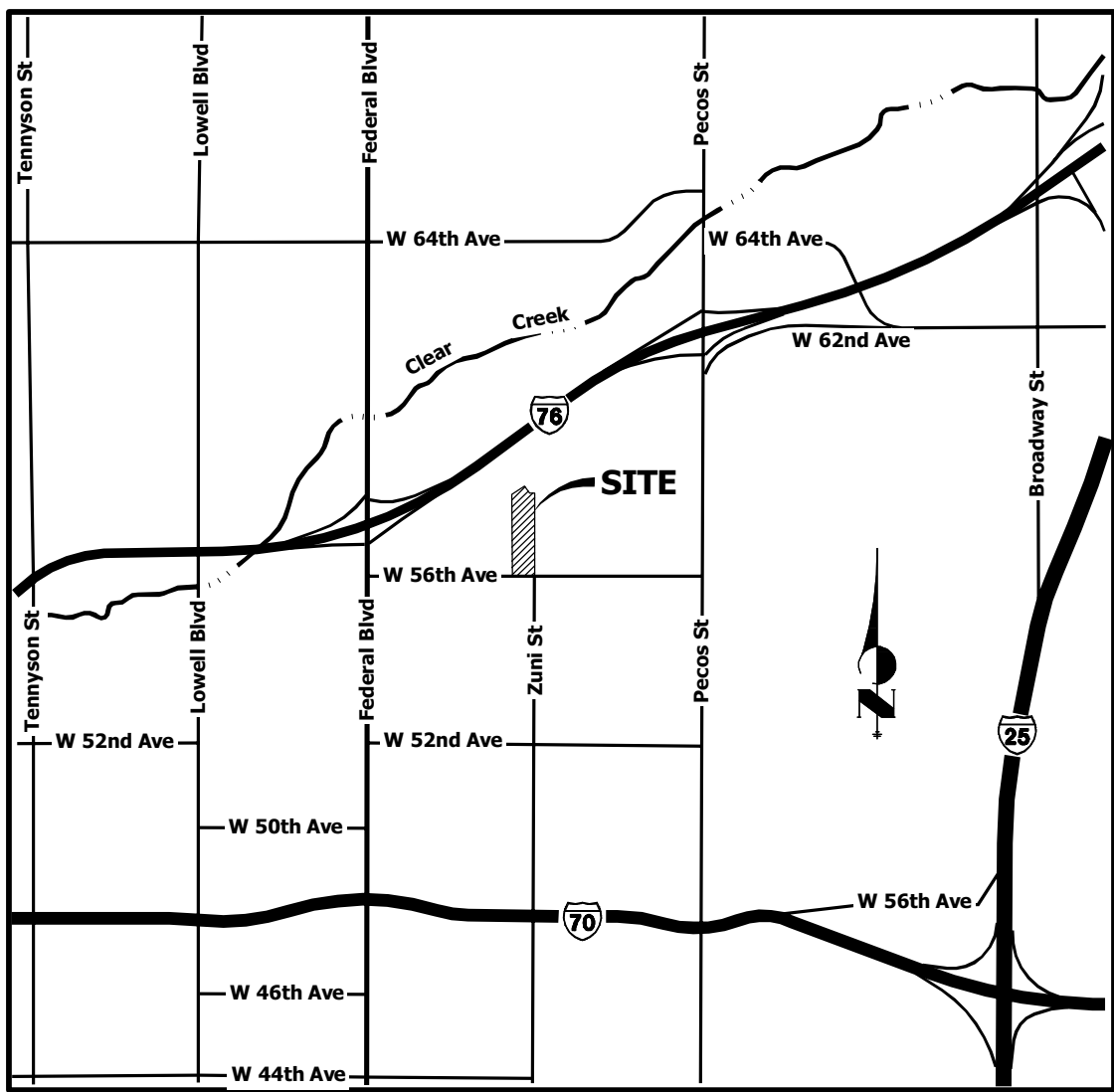
A.D. 20____, BY _____ AS _____ OF DELWEST DEVELOPMENT CORPORATION

WITNESS MY HAND AND SEAL

BY: _____
NOTARY PUBLIC

MY COMMISSION EXPIRES

MY ADDRESS IS: _____



VICINITY MAP

SCALE 1"=3000'

BOARD OF COUNTY COMMISSIONERS APPROVAL

APPROVED BY THE ADAMS COUNTY BOARD OF COMMISSIONERS THIS ____ DAY OF _____, 20____.

CHAIR

PLANNING COMMISSION APPROVAL

APPROVED BY THE ADAMS COUNTY PLANNING COMMISSION THIS ____ DAY OF _____, 20____.

CHAIR

FINAL PLAT
BERKELEY MEADOWS
JOB NO. 15565.00
DATE: AUGUST 24, 2018



J-R ENGINEERING

A Westrian Company

7200 S. Alton Way, Suite C400 • Centennial, CO 80112
303-740-9393 • Fax: 303-721-9019 • www.jrengineering.com

SURVEYOR'S STATEMENT

I, JARROD ADAMS, A LICENSED LAND SURVEYOR, IN THE STATE OF COLORADO, ON THE BASIS OF MY KNOWLEDGE, INFORMATION AND BELIEF, DO HEREBY STATE THAT, AS A RESULT OF A LAND SURVEY MADE UNDER MY RESPONSIBLE CHARGE, TO NORMAL STANDARDS OF CARE OF A PROFESSIONAL LAND SURVEYOR PRACTICING IN THE STATE OF COLORADO, THIS PLAT WAS MADE. DIMENSIONS AND BEARINGS SHOWN HEREON ACCURATELY REPRESENT SAID LAND SURVEY. THIS LAND SURVEY DOES NOT CONSTITUTE A TITLE SEARCH BY JR ENGINEERING TO: DETERMINE OWNERSHIP OF THIS TRACT, VERIFY THE DESCRIPTION SHOWN, VERIFY THE COMPATIBILITY OF THIS DESCRIPTION WITH THAT OF ADJACENT TRACTS, OR VERIFY EASEMENTS OF RECORD.



JARROD ADAMS, PROFESSIONAL LAND SURVEYOR
COLORADO NO. 38252
FOR AND ON BEHALF OF JR ENGINEERING, LLC

NOTICE:

PER C.R.S. 13-80-105, YOU MUST COMMENCE ANY LEGAL ACTION BASED UPON ANY DEFECT IN THIS SURVEY WITHIN THREE YEARS AFTER YOU FIRST DISCOVER SUCH DEFECT. IN NO EVENT MAY ANY ACTION BASED UPON ANY DEFECT IN THIS SURVEY BE COMMENCED MORE THAN TEN YEARS FROM THE DATE OF THE CERTIFICATION SHOWN HEREON.

GENERAL NOTES:

- ADAMS COUNTY IS NOT RESPONSIBLE FOR THE ENFORCEMENT OF PRIVATE COVENANTS, CONDITIONS, AND RESTRICTIONS.
- BASIS OF BEARINGS: THE EAST LINE OF THE SOUTHEAST QUARTER OF SECTION 8, TOWNSHIP 3 SOUTH, RANGE 68 WEST OF THE 6TH PRINCIPAL MERIDIAN, BEING MONUMENTED BY A 3-1/4" ALUMINUM CAP MARKED "PLS 16406, 1996" AT THE SOUTHEAST CORNER AND A 3-1/4" ALUMINUM CAP MARKED "PLS 20160, 1998" AT THE EAST QUARTER CORNER, BEING ASSUMED TO BEAR S00°13'28"E A DISTANCE OF 2640.17 FEET.
- PER C.R.S. 18-04-508, ANY PERSON WHO KNOWINGLY REMOVES, ALTERS OR DEFACES ANY PUBLIC LAND SURVEY MONUMENT OR LAND MONUMENT OR ACCESSORY, COMMITS A CLASS TWO (2) MISDEMEANOR.
- THE LOCAL GOVERNMENT JURISDICTION HAS THE RIGHT TO ENTER TRACT A IN ORDER TO CONDUCT PERIODIC INSPECTIONS ON THE DRAINAGE FACILITIES.
- MAIL BOX KIOSK EASEMENTS SHALL BE DEDICATED TO THE BERKELEY MEADOWS HOME OWNERS ASSOCIATION.
- TRACT B IS FOR LANDSCAPING AND UTILITY USE, THIS TRACT SHALL BE OWNED AND MAINTAINED BY THE BERKELEY MEADOWS HOME OWNERS ASSOCIATION. A NON-EXCLUSIVE UTILITY EASEMENT RECORDED UNDER RECEPTION NO. 2017000045137 COVERS ALL OF TRACT B.
- TRACT A IS FOR LANDSCAPING AND DRAINAGE USE, THIS TRACT SHALL BE OWNED AND MAINTAINED BY THE BERKELEY MEADOWS HOME OWNERS ASSOCIATION.
- ALL FENCING ALONG THE RIGHT-OF-WAY OF ZUNI STREET SHALL BE MAINTAINED BY THE INDIVIDUAL PROPERTY OWNERS.
- THE POLICY OF THE COUNTY REQUIRES THAT MAINTENANCE ACCESS BE PROVIDED TO ALL STORM DRAINAGE FACILITIES TO ASSURE CONTINUOUS OPERATIONAL CAPABILITY OF THE SYSTEM. THE PROPERTY OWNERS SHALL BE RESPONSIBLE FOR MAINTENANCE OF ALL DRAINAGE FACILITIES INCLUDING INLETS, PIPES, CULVERTS, CHANNELS, DITCHES, HYDRAULIC STRUCTURES, AND DETENTION BASINS LOCATED ON THEIR LAND UNLESS MODIFIED BY THE SUBDIVISION DEVELOPMENT AGREEMENT. SHOULD THE OWNER FAIL TO MAINTAIN SAID FACILITIES, THE COUNTY SHALL HAVE THE RIGHT TO ENTER SAID LAND FOR THE SOLE PURPOSE OF OPERATIONS AND MAINTENANCE. ALL SUCH MAINTENANCE COSTS WILL BE ASSESSED TO THE PROPERTY OWNERS.
- ALL REFERENCES HEREON TO BOOKS, PAGES, MAPS AND RECEPTION NUMBERS ARE PUBLIC DOCUMENTS FILED IN THE RECORDS OF THE ADAMS COUNTY CLERK AND RECORDER, COLORADO.
- PER C.R.S. 38-51-106, "ALL LINEAL UNITS DEPICTED ON THIS LAND SURVEY PLAT ARE U.S. SURVEY FEET. ONE METER EQUALS 39.37/12 U.S. SURVEY FEET, EXACTLY ACCORDING TO THE NATIONAL INSTITUTE OF STANDARDS AND TECHNOLOGY."
- THIS LAND SURVEY DOES NOT CONSTITUTE A TITLE SEARCH BY JR ENGINEERING, LLC. OR THE SURVEYOR OF RECORD TO DETERMINE OWNERSHIP OR EASEMENTS OF RECORD. FOR ALL INFORMATION REGARDING EASEMENTS, RIGHT-OF-WAY OR TITLE OF RECORD, JR ENGINEERING, LLC. AND THE SURVEYOR OF RECORD RELIED UPON TITLE COMMITMENT ORDER NO. ABC70569240-2, AMENDMENT NO. 1, PREPARED BY CHICAGO TITLE INSURANCE COMPANY, DATED MARCH 20, 2018.
- THIS PLAN HAS BEEN APPROVED BY ADAMS COUNTY AND CREATES A VESTED PROPERTY RIGHT PURSUANT TO CRS #24-678-101, ET. SEQ., AS AMENDED, AND THE ADAMS COUNTY DEVELOPMENT STANDARDS AND REGULATIONS.
- ALL PRIVATE STORM SEWER AND AREA DRAIN SYSTEMS THAT ORIGINATE WITHIN A PRIVATE LOT OR PRIVATELY OWNED TRACT AND OUTFALL TO A PUBLIC STORM SEWER LOCATED WITHIN THE PUBLIC RIGHT-OF-WAY, ARE TO BE OWNED AND MAINTAINED BY DELWEST DEVELOPMENT CORPORATION, THEIR SUCCESSORS OR ASSIGNS. THE OWNERSHIP AND MAINTENANCE RESPONSIBILITIES FOR THESE PRIVATE STORM SEWERS SHALL BE UP TO AND INCLUDING THE CONNECTION POINT TO THE PUBLIC STORM SEWER WITHIN THE PUBLIC RIGHT-OF-WAY. DELWEST DEVELOPMENT CORPORATION, THEIR SUCCESSORS OR ASSIGNS SHALL SECURE APPLICABLE PERMITS FOR WORK WITHIN THE ADAMS COUNTY RIGHT-OF-WAY WHENEVER MAINTENANCE IS WITHIN THE PUBLIC RIGHT-OF-WAY.

CLERK AND RECORDER

THIS FINAL PLAT WAS FILED FOR RECORD IN THE OFFICE OF THE ADAMS COUNTY CLERK AND RECORDER IN THE STATE OF COLORADO AT ____M ON THIS ____ DAY OF _____, 20____.

COUNTY CLERK AND RECORDER

BY DEPUTY: _____

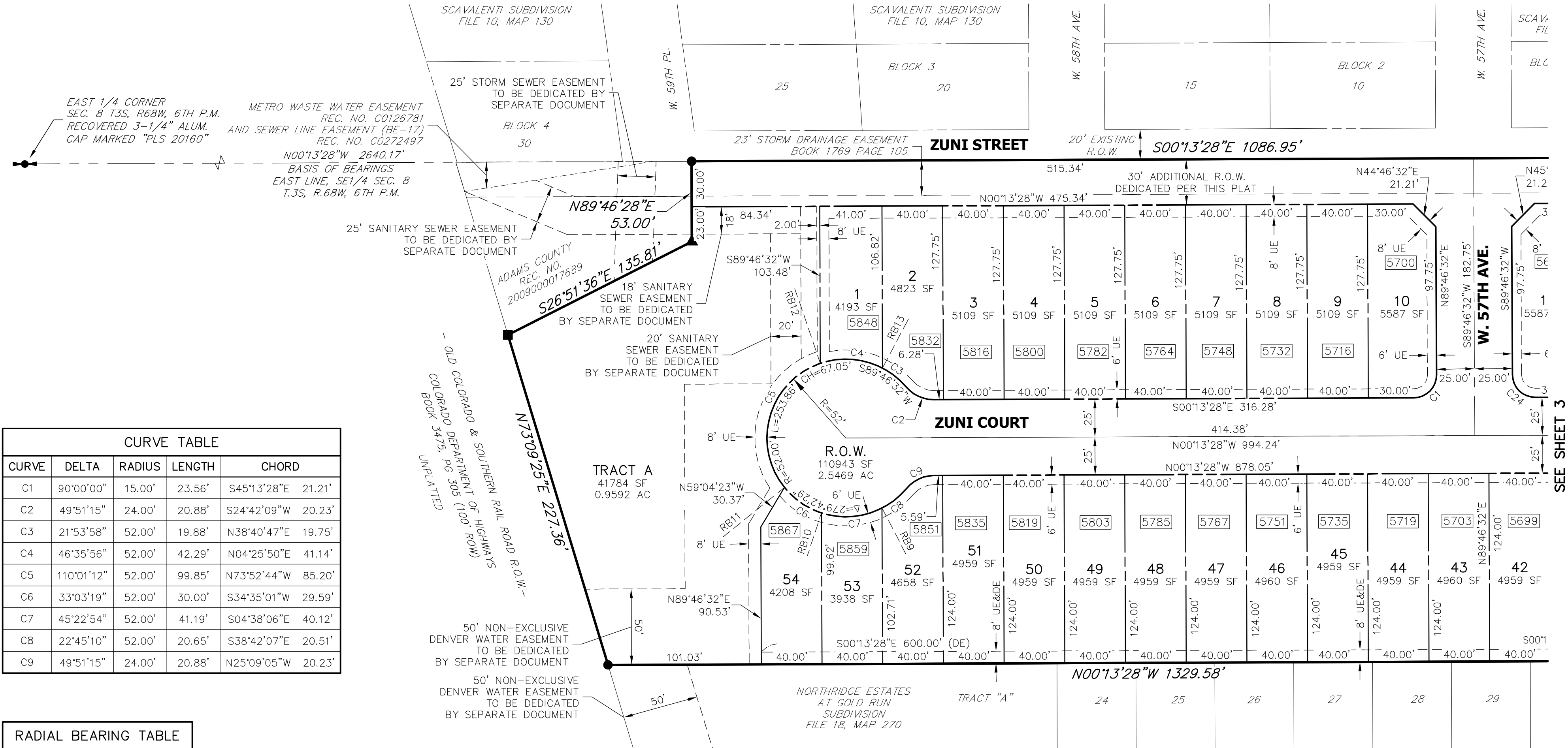
RECEPTION NO. _____

BERKELEY MEADOWS

LOCATED IN THE SOUTHEAST 1/4 OF SECTION 8,
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COUNTY OF ADAMS, STATE OF COLORADO

SHEET 2 OF 3

CASE NO. **PRC 2016-00005**

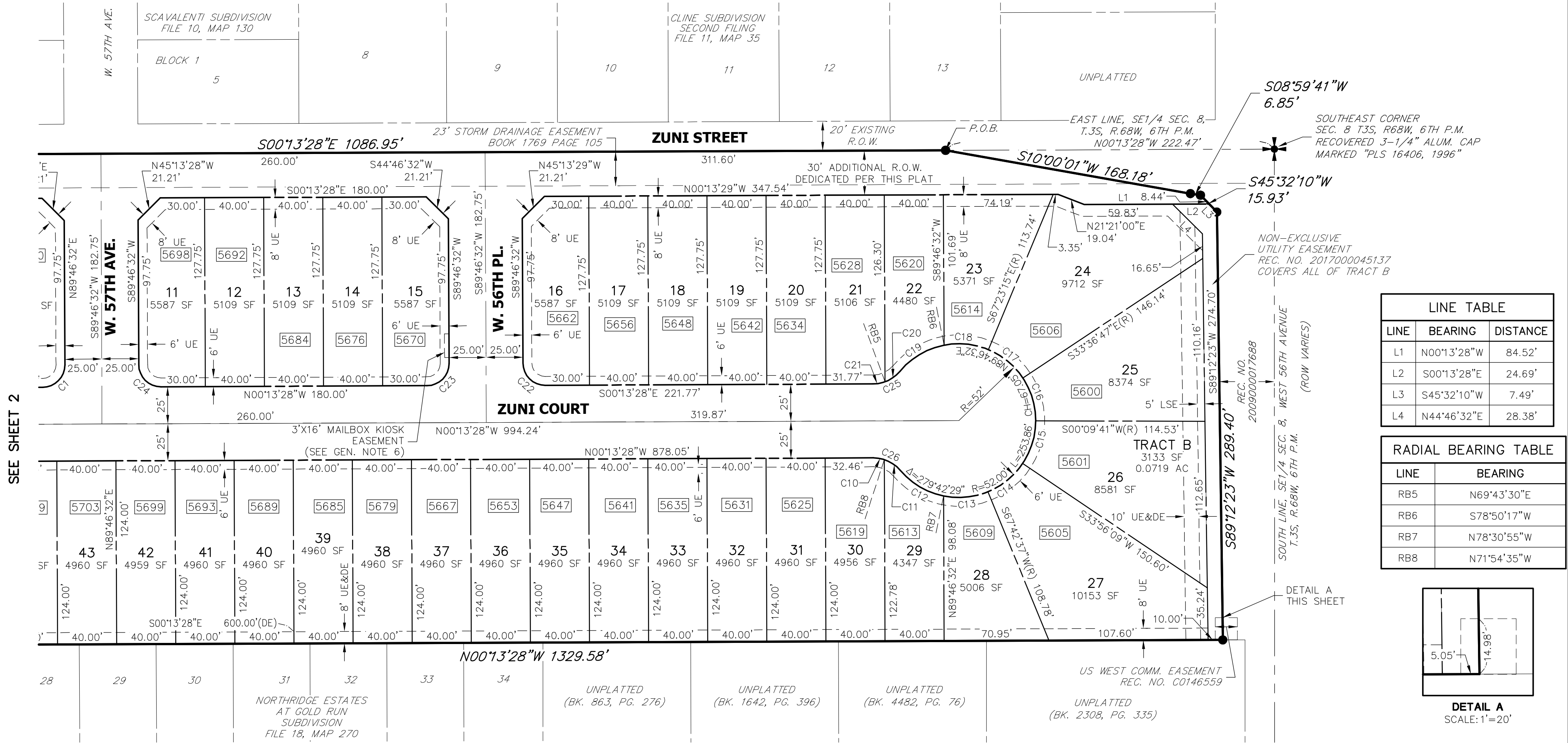


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SHEET 3 OF 3

CASE NO. **PRC 2016-00005**

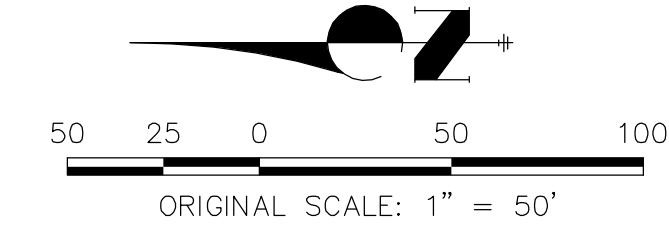


CURVE TABLE				
CURVE	DELTA	RADIUS	LENGTH	CHORD
C1	90°00'00"	15.00'	23.56'	S45°13'28"E 21.21'
C10	18°18'53"	24.00'	7.67'	N08°55'58"E 7.64'
C11	31°32'22"	24.00'	13.21'	N33°51'36"E 13.05'
C12	38°08'42"	52.00'	34.62'	S30°33'26"W 33.98'
C13	33°46'28"	52.00'	30.65'	S05°24'09"E 30.21'
C14	33°46'28"	52.00'	30.65'	S39°10'37"E 30.21'
C15	33°46'28"	52.00'	30.65'	S72°57'05"E 30.21'
C16	33°46'28"	52.00'	30.65'	N73°16'27"E 30.21'
C17	33°46'28"	52.00'	30.65'	N39°29'59"E 30.21'

CURVE TABLE				
CURVE	DELTA	RADIUS	LENGTH	CHORD
C18	33°46'28"	52.00'	30.65'	N05°43'31"E 30.21'
C19	38°55'00"	52.00'	35.32'	N30°37'13"W 34.64'
C20	29°48'13"	24.00'	12.48'	S35°10'36"E 12.34'
C21	20°03'02"	24.00'	8.40'	S10°14'59"E 8.36'
C22	90°00'00"	15.00'	23.56'	S44°46'32"W 21.21'
C23	90°00'00"	15.00'	23.56'	S45°13'28"E 21.21'
C24	90°00'00"	15.00'	23.56'	S44°46'32"W 21.21'
C25	49°51'15"	24.00'	20.88'	S25°09'05"E 20.23'
C26	49°51'15"	24.00'	20.88'	N24°42'09"E 20.23'

LEGEND

- RECOVERED REBAR AND 1-1/4" YELLOW PLASTIC CAP MARKED "PLS 38029"
- RECOVERED 2 REFERENCE MONUMENTS (ONE IS 1' SOUTH AND ONE IS 1' EAST) BOTH ARE NAILS & 1" DISKS MARKED "PLS 30829" SET IN CONC. FOOTER AT FENCE POST
- RECOVERED 2 REFERENCE MONUMENTS (ONE IS 1' WEST AND ONE IS 1' SE) BOTH ARE 1" DISKS MARKED "PLS 30829" WIRED TO FENCE POSTS
- UE UTILITY EASEMENT
- LSE LANDSCAPE AND SIGNAGE EASEMENT
- DE DRAINAGE EASEMENT
- 5810 ADDRESS



FINAL PLAT
BERKELEY MEADOWS
JOB NO. 15565.00
DATE: AUGUST 24, 2018



7200 S. Alton Way, Suite C400 • Centennial, CO 80112
303-740-9393 • Fax 303-721-9019 • www.jrengineering.com

SUBDIVISION IMPROVEMENTS AGREEMENT

THIS AGREEMENT is made and entered into by and between the County of Adams, State of Colorado, hereinafter called "County," and Delwest Development Corporation, hereinafter called "Developer."

WITNESSETH:

WHEREAS, Developer is the owner of real property in the County of Adams, State of Colorado, as described in Exhibit "A" attached hereto, and by this reference made a part hereof.

WHEREAS, it is provided by resolution of the Board of County Commissioners, County of Adams, that where designated the Developer shall have entered into a written agreement with the County to install public and/or private improvements, and to deed land for public purposes or right-of-way.

NOW, THEREFORE, in consideration of the foregoing, the parties hereto promise, covenant, and agree as follows:

1. **Engineering Services.** Developer shall furnish, at its own expense, all engineering and other services in connection with the design and construction of the improvements described and detailed on Exhibit "B" attached hereto, and by this reference made a part hereof.
2. **Drawings and Estimates.** The Developer shall furnish drawings and cost estimates for all improvements described and detailed on Exhibit "B-1 and B-2" for approval by the County. Upon request, the Developer shall furnish one set of reproducible "as built" drawings and a final statement of construction costs to the County.
3. **Construction.** Developer shall furnish and construct, at its own expense and in accordance with drawings and materials approved by the County, the improvements described and detailed on Exhibit "B".
4. **Time for Completion.** Improvements shall be completed according to the terms of this agreement within "construction completion dates" appearing in Exhibits "B-1 and B-2". The Director of Community and Economic Development Department may for good cause grant extension of time for completion of any part or all of improvements appearing on said Exhibit "B". Any extension greater than 180 days is within the sole discretion of the Board of County Commissioners. All extensions of time must be in written form only.
5. **Guarantee of Compliance.** Developer shall furnish to the County a cash escrow deposit or other acceptable collateral, releasable only by the County, to guarantee compliance with this agreement. Said collateral shall be in the amount of \$832,842.99, including twenty percent (20%) to cover administration and five percent (5%) per year for the term of the Agreement to cover inflation. Upon approval of the final plat, completion of said improvements constructed according to the terms of this agreement, and preliminary acceptance by the Director of Public Works of all improvements described in Exhibit "B-1" and Exhibit "B-2" in accordance with section 5-02-05-01 of the County's Development Standards and Regulations, the collateral shall be released. Completion of said improvements shall be determined solely by the County, and a reasonable part of said collateral, up to 20%, may be retained to guarantee maintenance of public improvements for a period of one year from the date of completion.

No building permits shall be issued until said collateral is furnished in the amount required and in a form acceptable to the Board of County Commissioners, and until the final plat has been approved and the improvements described in Exhibit "B-1" have been preliminarily accepted by the Department of Public Works. Phase "B-2" (final 2 inch lift of asphalt) shall be completed prior to issuance of any certificate of occupancies in the subdivision.

6. **Acceptance and Maintenance of Public Improvements.** All improvements designated "public" on Exhibit "B-1" and Exhibit "B-2" shall be public facilities and become the property of the County or other public agencies upon acceptance. During the period of one year from and after the acceptance of public improvements, the Developer shall, at its own

expense, make all needed repairs or replacement due to defective materials or workmanship which, in the opinion of the County, becomes necessary. If, within ten days of written notice to the Developer from the County requesting such repairs or replacements, the Developer has not undertaken with due diligence to make the same, the County may make such repairs or replacements at the Developer's expense. In the case of an emergency such written notice may be waived.

7. **Successors and Assigns.** This agreement shall be binding upon the heirs, executors, personal representatives, successors, and assigns of the Developer, and shall be deemed a covenant running with the real property as described in Exhibit "A" attached hereto.
8. **Improvements and Dedication.** The undersigned Developer hereby agrees to provide the following improvements, and to dedicate described property.

A. **Improvements.** Designate separately each public and private improvement.

Public Improvements:

Grading, roadways and storm drainage improvements per construction plans. See Exhibit "B-1" and Exhibit "B-2" for description, estimated quantities and estimated construction costs.

The improvements shall be constructed in accordance with all County requirements and specifications in accordance with the approved plans and time schedule as indicated in Exhibit "B-1" and Exhibit "B-2".

- B. **Public dedication of land for right-of-way purposes or other public purpose.** Upon approval of this agreement by the Board of County Commissioners, the Developer hereby agrees to convey by subdivision plat to the County of Adams the following described land for right-of-way or other public purposes:

(Zuni Street, Zuni Court, 56th Place and 57th Avenue).

Delwest Development Corporation

By: _____
Name, Title

By: _____
Name, Title

The foregoing instrument was acknowledged before me this ____ day of _____, 2018__, by _____.

My commission expires: _____

Address: _____

Notary Public

APPROVED BY resolution at the meeting of _____, 2018__.

Collateral to guarantee compliance with this agreement and construction of public improvements shall be required in the amount of \$832,842.99. No building permits shall be issued until said collateral is furnished in the amount required and in a form acceptable to the Board of County Commissioners.

\

ATTEST:

BOARD OF COUNTY COMMISSIONERS
ADAMS COUNTY, COLORADO

Clerk of the Board

Chair

EXHIBIT B-1
PUBLIC IMPROVEMENTS COSTS
BERKELEY MEADOWS
ADAMS COUNTY
August 17, 2018
PHASE B-1

Work Category	Improvement Item	Unit	Quantity/ Length	Unit Cost	Total Cost
Grading	Topsoil Grading	CY	8,631	\$ 3.00	\$ 25,893.00
	Rough Grading Including Detention Pond	CY	13,645	\$ 3.00	\$ 40,935.00
				SUBTOTAL	\$ 66,828.00
Public Circulation					
	Zuni Street				
	Hot Bituminous Pavement 5.5" Depth - Zuni	TON	1,241	\$ 80.00	\$ 99,280.00
	Adjust Manholes	EA	9	\$ 896.00	\$ 8,064.00
	Median Curb and Gutter	LF	1,141	\$ 21.00	\$ 23,961.00
	Vertical Combination Curb, Gutter, and 10' Sidewalk	LF	1,123	\$ 40.00	\$ 44,920.00
	R3-8 Modified	EA	1	\$ 300.00	\$ 300.00
	R1-1 Stop Sign	EA	1	\$ 350.00	\$ 350.00
	R7-1 Modified	EA	3	\$ 285.00	\$ 855.00
	8" Solid White Striping	LF	65	\$ 6.00	\$ 390.00
	4" Double Yellow Solid Striping	LF	65	\$ 4.00	\$ 260.00
				SUBTOTAL	\$ 178,380.00
	Zuni Court				
	Hot Bituminous Pavement 4" Depth - Interior	TON	1,047	\$ 80.00	\$ 83,760.00
	Adjust Manholes	EA	4	\$ 896.00	\$ 3,584.00
	Adjust Water Valves	EA	7	\$ 495.00	\$ 3,465.00
	Combination Curb, Gutter, and 4'-11" Sidewalk	LF	2,170	\$ 30.00	\$ 65,100.00
	Handicap Ramps	SY	16	\$ 133.00	\$ 2,128.00
				SUBTOTAL	\$ 158,037.00
	56th Place				
	Hot Bituminous Pavement 4" Depth - Interior	TON	113	\$ 80.00	\$ 9,040.00
	Adjust Water Valves	EA	2	\$ 495.00	\$ 990.00
	8" Concrete Pan	SY	107	\$ 40.00	\$ 4,280.00
	Combination Curb, Gutter, and 4'-11" Sidewalk	LF	242	\$ 30.00	\$ 7,260.00
	Handicap Ramps	SY	32	\$ 133.00	\$ 4,256.00
	R1-1 Stop Sign	EA	2	\$ 350.00	\$ 700.00
				SUBTOTAL	\$ 26,526.00
	57th Avenue				
	Hot Bituminous Pavement 4" Depth - Interior	TON	113	\$ 80.00	\$ 9,040.00
	Adjust Water Valves	EA	3	\$ 495.00	\$ 1,485.00
	8" Concrete Pan	SY	107	\$ 40.00	\$ 4,280.00
	Combination Curb, Gutter, and 4'-11" Sidewalk	LF	242	\$ 30.00	\$ 7,260.00
	Handicap Ramps	SY	32	\$ 133.00	\$ 4,256.00
	R1-1 Stop Sign	EA	2	\$ 350.00	\$ 700.00
				SUBTOTAL	\$ 27,021.00
Storm Drainage					
	Inlets Type R, 5'	EA	1	\$ 5,084.00	\$ 5,084.00
	Inlets Type R, 10'	EA	2	\$ 6,926.00	\$ 13,852.00
	Outlet Structure	EA	2	\$ 6,014.00	\$ 12,028.00
	Storm Sewer Manhole 5'	EA	1	\$ 5,032.00	\$ 5,032.00
	Flared End Sections RCP (36")	EA	1	\$ 2,172.00	\$ 2,172.00
	Storm Sewer RCP 18"	LF	245	\$ 75.00	\$ 18,375.00
	Storm Sewer RCP 24"	LF	68	\$ 125.00	\$ 8,500.00
	Storm Sewer RCP 30"	LF	186	\$ 150.00	\$ 27,900.00
	Storm Sewer RCP 36"	LF	48	\$ 175.00	\$ 8,400.00
	Concrete Trickle Channel (2')	SY	26	\$ 40.00	\$ 1,040.00
	Outlet Walls	CY	3.50	\$ 932.00	\$ 3,262.00
	6" Depth Forebay w/Fibermesh	LS	1.00	\$ 4,000.00	\$ 4,000.00
	Type L Riprap Berm (Depth Varies)	SY	20.50	\$ 127.00	\$ 2,603.50
	Type M Riprap (24" Depth)	CY	38	\$ 127.00	\$ 4,826.00
				SUBTOTAL	\$ 117,074.50
				SUBTOTAL	\$ 573,866.50
				20% Administrative Fees	\$ 114,773.30
				SUBTOTAL	\$ 688,639.80
				5% Interest Per Year	\$ 34,431.99
				GRAND TOTAL	\$ 723,071.79

Prepared By: JR Engineering, LLC

Date

Owner/Applicant:

Date

Approved By: Adams County

Date

EXHIBIT B-2
PUBLIC IMPROVEMENTS COSTS
BERKELEY MEADOWS
ADAMS COUNTY
August 17, 2018
PHASE B-2

Work Category	Improvement Item	Unit	Quantity/ Length	Unit Cost	Total Cost
Public Circulation					
	Zuni Street				
	Hot Bituminous Pavement 2" Top Lift - Zuni	TON	452	\$ 80.00	\$ 36,160.00
				SUBTOTAL	\$ 36,160.00
	Zuni Court				
	Hot Bituminous Pavement 2" Top Lift - Interior	TON	523	\$ 80.00	\$ 41,840.00
				SUBTOTAL	\$ 41,840.00
	56th Place				
	Hot Bituminous Pavement 2" Top Lift - Interior	TON	57	\$ 80.00	\$ 4,560.00
				SUBTOTAL	\$ 4,560.00
	57th Avenue				
	Hot Bituminous Pavement 2" Top Lift - Interior	TON	57	\$ 80.00	\$ 4,560.00
				SUBTOTAL	\$ 4,560.00
				SUBTOTAL	\$ 87,120.00
				20% Administrative Fees	\$ 17,424.00
				SUBTOTAL	\$ 104,544.00
				5% Interest Per Year	\$ 5,227.20
				GRAND TOTAL	\$ 109,771.20

Prepared By: JR Engineering, LLC _____ Date _____

Owner/Applicant: _____ Date _____

Approved By: Adams County _____ Date _____

Community & Economic
Development Department
www.adcogov.org



4430 South Adams County Parkway
1st Floor, Suite W2000
Brighton, CO 80601-8204
PHONE 720.523.6800
FAX 720.523.6998

Development Review Team Comments

Date: 4/13/2016

Project Number: PRC2016-00005

Project Name: Berkeley Meadows

Note to Applicant:

The following review comments and information from the Development Review Team is based on the information you submitted for the Conceptual Review meeting and applicable to the submitted documents only. The Development Review Team review comments may change if you provide different information during the scheduled Conceptual Review meeting date. Please contact the case manager if you have any questions:

Commenting Division: Building Review

Name of Reviewer: Justin Blair

Date: 03/17/2016

Email:

Complete

BSD1- In allowing a minimum 5' setback, language should be added to the PUD stating that any portion of the structure < 5' is required to meet the current adopted building codes for fire rated construction.

Commenting Division: Building Review

Name of Reviewer: Justin Blair

Date: 03/17/2016

Email:

Complete

BSD1- In allowing a minimum 5' setback, language should be added to the PUD stating that any portion of the structure < 5' is required to meet the current adopted building codes for fire rated construction.

Commenting Division: Engineering Review

Name of Reviewer: Greg Labrie

Date: 03/15/2016

Email:

Complete

ENG1: Flood Insurance Rate Map – FIRM Panel Flood Insurance Rate Map – FIRM Panel #08001C0592H, Federal Emergency Management Agency, March 4, 2007. According to the above references, the “Berkeley Meadows” site is NOT located within a delineated 100-year flood hazard zone; A floodplain use permit will not be required.

ENG2: The applicant shall be responsible to ensure compliance with all Federal, State, and Local water quality construction requirements. The "Berkeley Meadows" site IS within County's MS4 Stormwater Permit area; a SWQ Permit will be required. The applicant shall be responsible to prepare the SWMP plan using the Adams County ESC Template, and obtain both a County SWQ Permit and State Permit COR-030000. The SWMP must be signed and stamped by a Professional Engineer registered with the state of Colorado.

ENG3: Prior to scheduling the final plat/FDP BOCC hearing, the developer is required to submit for review and receive approval of all construction documents (construction plans and reports). Construction documents shall include, at a minimum, onsite and public improvements construction plans, drainage report, traffic impact study. All construction documents must meet the requirements of the Adams County Development Standards and Regulations. The developer has submitted these documents and the first review cycle was completed. Comments were given to applicant in November of 2015 and those comments must be addressed by the applicant before final approval of the construction drawings.

ENG4: The developer is required to construct roadway improvements on all adjacent streets; Zuni St and W. 56th Avenue are adjacent to this site and will require improvements. Roadway improvements will consist of curb, gutter and sidewalk adjacent to the site and, any roadway improvements as required by the approved traffic impact study.

ENG5: The County currently has capital improvements project planned for W 56th Avenue. The project has been awarded to a contractor and construction will begin soon. Because this is a current CIP project with the County, the Developer will be required to pay fees-in-lieu for these improvements, rather than construct them.

ENG6: There is a paragraph in the Subdivision Improvement Agreement (SIA) where the applicant is requesting a waiver from the traffic impact fees because of the public improvements that they are required to construct. Adams County Management staff must approve this request from the applicant before it can be added to the SIA.

ENG7: No building permits will be issued until all public improvements have been constructed, inspected and preliminarily accepted by the County's Transportation Dept.

ENG8: The developer is responsible for the repair or replacement of any broken or damaged section of curb gutter and sidewalk.

Commenting Division: Environmental Analyst Review

Name of Reviewer: Jen Rutter

Date: 03/17/2016

Email:

No Comment

Commenting Division: Parks Review

Name of Reviewer: Aaron Clark

Date: 03/25/2016

Email:

No Comment

Commenting Division: Parks Review

Name of Reviewer: Aaron Clark

Date: 04/04/2016

Email:

Complete

Commenting Division: Planner Review

Name of Reviewer: Greg Barnes

Date: 04/08/2016

Email:

Complete

PLN 01: Final Plat is consistent with Preliminary approval.

PLN 02: Evidence has been provided of sufficient water supply.

PLN 03: Evidence has been provided of adequate sewage disposal.

PLN04: Final approval of the plat will be contingent upon approval of the Subdivision Improvement Agreement, and receipt of all collateral.

PLN 05: Payment in the amount of \$105, 872.25 has been received for all required Public Land Dedication Fees.

PLN 06: The proposed final plat appears to comply with the Development Standards and Regulations (DSR).

PLN 07: During the Planning Commission hearing for the preliminary plat, staff was given the directive that a new fence design be considered. This was made a condition of approval. It does not appear that this condition has been met by the current design. Please revise.

PLN 08: The proposal for a Final development plan is in general conformity with the Adams County Comprehensive Plan.

PLN 09: The Final development plan conforms to PUD Standards

PLN 10: The Final development plan is consistent with the approved Preliminary development plan.

Commenting Division: ROW Review

Name of Reviewer: Greg Barnes

Date: 04/08/2016

Email:

Complete

ROW 01: See attached redline drawings

ADAMS COUNTY SIA COMMENTS

FINANCE

FIN 01: Attached is my worksheet of the calculations.

FIN 02: The total of guarantees is actually \$651,369.21 not \$639,584.08. The reason for the difference is that the 5% needs to be calculated from the total of the cost estimate and the 20% admin. For the second year the 5% is calculated from the final total of the year 1 and the third year is calculated from the total of year 1 plus the 5% of year 2.

In my spreadsheet you can see all the calculations. This is how any SIA guarantees should be calculated.

BUILDING SERVICES

BSD1- In allowing a minimum 5' setback, language should be added to the PUD stating that any portion of the structure < 5' is required to meet the current adopted building codes for fire rated construction.

PARKS

No Comments

ATTORNEY

See attachment



Development Review Team Comments

Date: 5/9/2016

Project Number: PRC2016-00005

Project Name: Berkeley Meadows

Note to Applicant:

The following review comments and information from the Development Review Team is based on the information you submitted for the Final Plat and Final Development Plan for Berkeley Meadows. The Development Review Team review comments may change if you provide different information during the scheduled Conceptual Review meeting date. Please contact the case manager if you have any questions:

Commenting Division: Building Review

Name of Reviewer: Justin Blair

Date: 04/29/2016

Email:

Complete: No further comments

Commenting Division: Building Review

Name of Reviewer: Justin Blair

Date: 04/29/2016

Email:

Complete

Commenting Division: Engineering Review

Name of Reviewer: Matthew Emmens

Date: 05/06/2016

Email:

Complete

ENG1: Flood Insurance Rate Map – FIRM Panel Flood Insurance Rate Map – FIRM Panel #08001C0592H, Federal Emergency Management Agency, March 4, 2007. According to the above references, the “Berkeley Meadows” site is NOT located within a delineated 100-year flood hazard zone; A floodplain use permit will not be required.

ENG2: The applicant shall be responsible to ensure compliance with all Federal, State, and Local water quality construction requirements. The "Berkeley Meadows" site IS within County's MS4 Stormwater Permit area; a SWQ Permit will be required. The applicant shall be responsible to prepare the SWMP plan using the Adams County ESC Template, and obtain both a County SWQ Permit and State Permit COR-030000. The SWMP must be signed and stamped by a Professional Engineer registered with the state of Colorado.

ENG3: Prior to scheduling the final plat/FDP BOCC hearing, the developer is required to submit for review and receive approval of all construction documents (construction plans and reports). Construction documents shall include, at a minimum, onsite and public improvements construction plans, drainage report, traffic impact study. All construction documents must meet the requirements of the Adams County Development Standards and Regulations. The developer has submitted these documents and the construction documents are close to approval; a few minor comments do remain unresolved.

ENG4: The developer is required to construct roadway improvements on all adjacent streets; Zuni St and W. 56th Avenue are adjacent to this site and will require improvements. Roadway improvements will consist of curb, gutter and sidewalk adjacent to the site and, any roadway improvements as required by the approved traffic impact study.

ENG5: The County currently has capital improvements project (CIP) planned for W 56th Avenue. The project has been awarded to a contractor and construction will begin soon. Because this is a current CIP project with the County, the Developer will be required to pay fees-in-lieu for these improvements, rather than construct them.

ENG6: There is a paragraph in the Subdivision Improvement Agreement (SIA) where the applicant is requesting a waiver from the traffic impact fees because of the public improvements that they are required to construct. Adams County Management staff must approve this request from the applicant before it can be added to the SIA.

ENG7: No building permits will be issued until all public improvements have been constructed, inspected and preliminarily accepted by the County's Transportation Dept.

ENG8: The developer is responsible for the repair or replacement of any broken or damaged section of curb gutter and sidewalk.

ENG9: This development and the County's CIP project for W. 56th Ave. will most likely be in construction at the same time. The developer and their contractor should coordinate construction schedules with the County to avoid any conflict. Specifically, the developer and contractor should coordinate the final grading

and utilities at the southern boundary of the site, along the W. 56th Ave. Right-of-Way.

Commenting Division: Engineering Review

Name of Reviewer: Matthew Emmens

Date: 05/06/2016

Email:

Complete

ENG1: Paragraph 1, "Acceptance of Risk", should be removed from the SIA. This language is specific to pre-plat SIA's that allow for the construction of improvements to a subdivision plat that has not yet been approved/accepted by the Board of County Commissioners (BoCC). As it appears that the Plat and SIA will go before the BoCC at the same time, paragraph 1 is no longer needed.

ENG2: Section 5-02-04 of the County Development Standards and Regulations prohibits the phasing of subdivision improvements. Paragraph 6 will need to be deleted from the SIA and, the SIA re-written to remove all references to phasing of improvements.

ENG3: The SIA and exhibit needs to be assembled into one document so that it can be reviewed in its entirety.

ENG4: The entire SIA will need to be re-written to be in conformance with the Adams County standard SIA template. Most of the language concerning phasing, acceptance and warrantee of public improvements and, release of collateral is unacceptable to the County.

ENG6: Paragraph 15 should be removed entirely. This language is unacceptable to the County as it gives the Developer the right to decide what "damage" is and puts an unacceptable time frame on the County for completing any necessary repairs.

ENG7: Paragraph 18 should be removed entirely. A waiver to any of the County fee's or regulations must be approved by the BoCC prior to acceptance of an SIA. In addition, the County's Traffic Impact Fees are intended to provide for improvements to the surrounding infrastructure that is impacted by the development. Improvements adjacent to the development are the responsibility of the developer.

ENG8: The SIA will need to include an exhibit B cost estimate for the public improvements. An exhibit B was not included in the submitted documents.

ENG9: The cost estimate for the W. 56th Ave. fees-in-lieu should be titled Exhibit C and referenced in the SIA as such.

ENG10: Costs used in the cost estimate(s) should be based on the 2015 CDOT cost book.

Commenting Division: Environmental Analyst Review

Name of Reviewer: Jen Rutter

Date: 03/17/2016

Email:

No Comment

Commenting Division: Parks Review

Name of Reviewer: Aaron Clark

Date: 05/06/2016

Email:

No Comment

Commenting Division: Planner Review

Name of Reviewer: Greg Barnes

Date: 05/06/2016

Email:

Complete

PLN01: The perimeter fencing does not meet the direction that staff was provided by the Planning Commission. The comments from the PC stated that either no fence would be provided or a different material selected. Wrought iron fencing could achieve the uniformity needed and meet the direction of the Planning Commission on this matter.

PLN 02: Significant changes will need to be made to the SIA. These changes should follow the County's standard format. TIF fees cannot be waived.

PLN 03: Please provide side and rear elevations for the four model types. Additionally, it is recommended that specific language be added to building elevations to allow for flexibility in design for renovation. Adding "typical" elevations to the drawings can achieve this flexibility.

Commenting Division: ROW Review

Name of Reviewer: Robert Kovacs

Date: 05/06/2016

Email:

Complete

ROW1: Please contact Donna George of Xcel Energy, at donna.l.george@ecelenergy.com, to determine if it needs an aerial easement above a part of Tract B. In conjunction with the enlargement of W. 56th Ave. by Adams County, XCEL Energy poles have moved close to private property lines. This has led in some locations to an overhang of conductors on the north side of polls over private property. XCEL Energy has acquired easements from private property owners along this street.

ROW2: If XCEL Energy wishes such an easement to be granted, then there would be two possible ways to proceed.

ROW3: Alternative one: An easement could be granted by the plat. If this approach is selected than a signature block should be provided on sheet one of the plat for the appropriate official of XCEL Energy to accept said easement. The signature would be needed since this would not be a general utility easement but a very specific easement to one utility company.

ROW4: Alternative two; location of said easement could be depicted on the plat with a comment made, "Aerial easement for cable overhang to be granted XCEL Energy by separate document."

ROW5: Then, property owner and XCEL Energy should work out the details of the easement. After an easement document agreeable to both parties has been created signed and notarized it should be recorded in the office of the Adams County Clerk and Recorder.

ROW6: ROW for Zuni Street is being dedicated by the plat. It is not necessary to create a separate deed to dedicate the same property.

ROW7: The resubmitted draft Final Plat with redline comments has been saved in eDocs under No. 5355753. A PDF thereof has also been attached to this case, PRC2016-00005.

Greg Barnes

From: Aaron Clark
Sent: Friday, May 06, 2016 8:53 AM
To: Greg Barnes
Subject: RE: For Review: PRC2016-00005 Berkeley Meadows

No further comments, thanks Greg. Have yourself a lovely weekend.

From: Greg Barnes
Sent: Tuesday, April 26, 2016 5:06 PM
To: Aaron Clark
Subject: FW: For Review: PRC2016-00005 Berkeley Meadows

From: Greg Barnes
Sent: Tuesday, April 26, 2016 5:04 PM
To: Greg Barnes
Subject: For Review: PRC2016-00005 Berkeley Meadows

You have previously reviewed the Berkeley Meadows applications for Final Development Plan and Final Plat. The applicant has resubmitted the Final Plat Drawings, the Final Development Drawings, and the Subdivision Improvement Agreement documents to better address outstanding comments. If you are receiving this e-mail, it is because you issued comments during the previous review. If you have further comments regarding the revised drawings, please submit comments to me no later than **Friday, May 06, 2016**.

Donna, Jill, & Karlyn – If you have no further comment, no reply is necessary.

Thank you!



Greg Barnes
Planner II, *Community and Economic Development*
ADAMS COUNTY, COLORADO
4430 S. Adams County Parkway
1st Floor, Suite W2000A
Brighton, CO 80601-8216
o: 720-523-6853 | gjbarnes@adcogov.org
www.adcogov.org

Greg Barnes

From: Christine Francescani
Sent: Monday, May 09, 2016 3:14 PM
To: Greg Barnes
Subject: RE: For Review: Berkeley Meadows SIA (PRC2016-00005)
Attachments: SIA Agreement 4-21-16cmf.docx

From: Christine Francescani
Sent: Friday, May 06, 2016 12:20 PM
To: Greg Barnes
Subject: RE: For Review: Berkeley Meadows SIA (PRC2016-00005)

Here you go! Minor stuff that I must've missed the first time. Thanks!

From: Greg Barnes
Sent: Wednesday, April 27, 2016 9:53 AM
To: Christine Francescani
Subject: For Review: Berkeley Meadows SIA (PRC2016-00005)

Hi Friend,

This is a resubmittal. You have already reviewed this once. Please look it over and provide comments back by **Friday, May 6th**. Thanks!



Greg Barnes
Planner II, *Community and Economic Development*
ADAMS COUNTY, COLORADO
4430 S. Adams County Parkway
1st Floor, Suite W2000A
Brighton, CO 80601-8216
o: 720-523-6853 | gjbarnes@adcogov.org
www.adcogov.org

Greg Barnes

From: Laura Garcia
Sent: Wednesday, April 27, 2016 12:57 PM
To: Greg Barnes
Subject: RE: For Review: PRC2016-00005 Berkeley Meadows
Attachments: BERKELEY MEDOWS SIA PRC2016-00005.xlsx

Hi Greg,

On number 18 Waiver of fees is that only for the first year? Do they have to pay the fees for year 2 and 3?

If the fee are waived for all the years then it should be \$160,564.13.

The \$127,608.85 is only made up of the cost for year 1. Please refer to the attached spreadsheet.

Thanks and have a great day.



Laura Garcia

Accountant II, *Finance*

4430 South Adams County Parkway, 4th floor, Suite C4228

Brighton, CO 80601

720.523.6239 | Lgarcia@adcogov.org | adcogov.org

From: Greg Barnes
Sent: Tuesday, April 26, 2016 5:04 PM
To: Greg Barnes
Subject: For Review: PRC2016-00005 Berkeley Meadows

You have previously reviewed the Berkeley Meadows applications for Final Development Plan and Final Plat. The applicant has resubmitted the Final Plat Drawings, the Final Development Drawings, and the Subdivision Improvement Agreement documents to better address outstanding comments. If you are receiving this e-mail, it is because you issued comments during the previous review. If you have further comments regarding the revised drawings, please submit comments to me no later than **Friday, May 06, 2016**.

Donna, Jill, & Karlyn – If you have no further comment, no reply is necessary.

Thank you!



Greg Barnes

Planner II, *Community and Economic Development*

ADAMS COUNTY, COLORADO

4430 S. Adams County Parkway

1st Floor, Suite W2000A

Brighton, CO 80601-8216

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Development Review Team Comments

Date: 5/27/2016

Project Number: PRC2016-00005

Project Name: Berkeley Meadows

Note to Applicant:

The following review comments and information from the Development Review Team is based on the information you submitted for the land use application. The Development Review Team review comments may change if you provide different information during the scheduled Conceptual Review meeting date. Please contact the case manager if you have any questions:

Commenting Division: Engineering Review

Name of Reviewer: Matthew Emmens

Date: 05/27/2016

Email:

Response to second submittal/review.

ENG1: Comment resolved.

ENG2: Revisions to the 2nd SIA submittal have negated this comment. See comment ENG4.

ENG3: Comment has been resolved.

ENG4: Comment remains open.

- Section 8 needs to include language stating that no C/O's will be issued for any building in any stage until the sidewalk and top lift of asphalt are installed for that particular stage.
- Section 8, paragraph 1 states that written notification by the developer will trigger the start of the 1 year warranty period. This language will need to be changed. County development standards and regulations require that the warranty period begin when the improvements are preliminary accepted by the County.
- Section 8, paragraph 2: The language about the notice letter serving as preliminary acceptance and developer will coordinate applicable repairs needs to be removed. The County's construction inspector will decide when preliminary acceptance can be granted and, dictate which repairs are required.

ENG5: Does not exist.

ENG6: This comment has been resolved.

ENG7: This comment has been resolved.

ENG8: An Exhibit B has been provided with this submittal. The Exhibit B needs to be broken out per street and the detention pond area, each section subtotaled and all the sections totaled at the end of the Exhibit.

ENG9: This comment has been resolved.

ENG10: The exhibit B and D units costs should match those of the 2015 CDOT cost book (or nearest available year). If the developer wishes to use units costs that are from the CDOT cost book, a signed cost estimate from a licensed contractor should be submitted with the SIA to confirm the unit costs.

ENG11<New Comment>: Section 9 will need to be revised per earlier comments.

- The County's Development Standards and Regulations (The Standards) require that only a certain percentage of the performance bond can be released upon preliminary acceptance (80% I think).
- The time period for release of collateral will require more than 15 days as this matter will need to be brought before the BoCC for approval.
- The release of collateral cannot happen until all of the improvements are preliminarily accepted (all stages). Acceptance of the individual stages and release of portions of the collateral would constitute "phasing" of the development, which the County Standards don't allow.

ENG12 <new comment>: Exhibits A - D needs to include schematic maps showing what area or improvement is being described.

Commenting Division: Planner Review

Name of Reviewer: Greg Barnes

Date: 05/27/2016

Email:

Complete

PLN01: "Lager" model contains no masonry material on the front façade. Additionally, there is a significant reduction of window openings on four of the five models from what was previously submitted to us. This is inconsistent with what was depicted during the Preliminary phase. Staff will have difficulty supporting these building elevations at a public hearing, and strongly recommends revision of these models to include more masonry material and window openings on the front facades. Please provide new elevations or a written statement explaining how these models constitute a superior product than what regular zoning will allow. This statement should be in reference to Section 3-29-03 of the Development Standards.

PLN02: In addition to the written explanation regarding the building elevations, it is essential for a written explanation to be provided to justify the proposed fencing. The directive from the Planning Commission and Board of County Commissioners during the preliminary development plan public hearings was for a different fence design. To move forward with public hearing, staff would like a written statement to provide the Board to justify why this condition is not being met.

Commenting Division: ROW Review

Name of Reviewer: Robert Kovacs

Date: 05/27/2016

Email:

Complete

ROW1: All comments have been addressed. No further corrections needed for the plat.

SIA Comments from May 27, 2016

FINANCE

FIN 01: The release of collateral #9 should happen at FINAL acceptance. At preliminary acceptance a portion can be released but not the full amount.

ENGINEERING

ENG1: Comment resolved.

ENG2: Revisions to the 2nd SIA submittal have negated this comment. See comment ENG4.

ENG3: Comment has been resolved.

ENG4: Comment remains open.

- Section 8 needs to include language stating that no C/O's will be issued for any building in any stage until the sidewalk and top lift of asphalt are installed for that particular stage.
- Section 8, paragraph 1 states that written notification by the develop will trigger the start of the 1 year warranty period. This language will need to be changed. County development standards and regulations require that the warranty period begin when the improvements are preliminary accepted by the County.
- Section 8, paragraph 2: The language about the notice letter serving as preliminary acceptance and developer will coordinate applicable repairs needs to be removed. The County's construction inspector will decide when preliminary acceptance can be granted and, dictate which repairs are required.

ENG5: Does not exist.

ENG6: This comment has been resolved.

ENG7: This comment has been resolved.

ENG8: An Exhibit B has been provided with this submittal. The Exhibit B needs to be broken out per street and the detention pond area, each section subtotaled and all the sections totaled at the end of the Exhibit.

ENG9: This comment has been resolved.

ENG10: The exhibit B and D units costs should match those of the 2015 CDOT cost book (or nearest available year). If the developer wishes to use units costs that are from the CDOT cost book, a signed cost estimate from a licensed contractor should be submitted with the SIA to confirm the unit costs.

ENG11: Section 9 will need to be revised per earlier comments.

- The County's Development Standards and Regulations (The Standards) require that only a certain percentage of the performance bond can be released upon preliminary acceptance (80% I think).
- The time period for release of collateral will require more than 15 days as this matter will need to be brought before the BoCC for approval.
- The release of collator cannot happen until all of the improvements are preliminarily accepted (all stages). Acceptance of the individual stages and release of portions of the collateral would constitute "phasing" of the development, which the County Standards don't allow.

ENG12 : Exhibits A - D needs to include schematic maps showing what area or improvement is being described.

PLANNING

PLN01: The case number on the SIA is incorrect, and should be PRC2016-00005.

ATTORNEY

ATT 01: Please see attached redlines.

Community & Economic
Development Department
www.adcogov.org



4430 South Adams County Parkway
1st Floor, Suite W2000
Brighton, CO 80601-8204
PHONE 720.523.6800
FAX 720.523.6998

Development Review Team Comments

Date: 7/7/2016

Project Number: PRC2016-00005

Project Name: Berkeley Meadows

Note to Applicant:

The following review comments and information from the Development Review Team is based on the information you submitted for the Final Plat, Final Development Plan, and Subdivision Improvements Agreement. Please resubmit to reflect any changes. Please contact the case manager if you have any questions:

Commenting Division: Building Review of SIA

Name of Reviewer: Justin Blair

Date: 07/06/2016

Email:

Complete

No comments provided

Commenting Division: Building Review of Final plat & Final Development Plan

Name of Reviewer: Justin Blair

Date: 04/29/2016

Email:

Complete

Commenting Division: Engineering Review for Final Plat, Final Development Plan, and SIA

Name of Reviewer: Matthew Emmens

Date: 07/07/2016

Email:

Complete

ENG01 <New Comment>: In the Exhibit "B", total each street and the drainage improvements individually.

ENG02 <New Comment>: On the Exhibit "B" include the 20% admin fees and the 5% per year interest.

Commenting Division: Planner Review of Final Plat and Final Development Plan

Name of Reviewer: Greg Barnes

Date: 07/06/2016

Email:

Complete

PLN 01: As discussed previously, there are differences in the final plat and development plan from what was previously illustrated in the preliminary plat and development plan. Please be prepared to discuss these issues at the public hearing.

Commenting Division: Planner Review of SIA

Name of Reviewer: Greg Barnes

Date: 07/06/2016

Email:

Complete

No further comments.

Commenting Division: ROW Review

Name of Reviewer: Robert Kovacs

Date: 07/06/2016

Email:

Complete

ROW1: Exhibit A, the property's legal description is referred to on page 1 of the SIA but is not part of the document. It should be added to the agreement document, and we should review it.

ROW2: Item 10 only discusses improvements and not dedication. The following language regarding dedication modeled upon language in another recent approved SIA should be added to this SIA document.

"Upon approval of the final plat for the development, known as Berkeley Meadows, by the Board of County Commissioners, the developer hereby agrees to convey by said plat to the County that land described thereupon as right-of-way or as for other public purposes."

Commenter: Laura Garcia
Department: Finance

FIN01: In the subdivision improvements agreement under #6 Guarantee of Compliance the number for cost estimate from exhibit "B" of \$623,772.50 does not match the total in the Exhibit B. the total cost in exhibit B is \$608,582.50. Please provide a break down of how the total cost came about

Commenter: Laura Garcia
Department: Finance

FIN01: In the subdivision improvements agreement under #6 Guarantee of Compliance the number for cost estimate from exhibit "B" of \$623,772.50 does not match the total in the Exhibit B. the total cost in exhibit B is \$608,582.50. Please provide a break down of how the total cost came about



The following review comments and information from the Development Review Team is based on the information you submitted for the Final Plat, Final Development Plan, and Subdivision Improvements Agreement. Please resubmit to reflect any changes, and use the attached Resubmittal Form. Please contact the case manager if you have any questions:

- Jen Rutter, Senior Environmental Analyst. jrutter@adcogov.com (720) 523-6841
ENV1. This parcel is within the Adams County Brownfields Target Area for our awarded EPA Assessment Grant. A Phase I Environmental Site Assessment (ESA) has been completed for this parcel by Tetra Tech. A Field Sampling Plan is currently under review by the EPA and a Phase II ESA is planned for the near future.
- Marissa Hillje, Right-of-way Specialist. mhillje@adcogov.com (720) 523-6837
ROW1. Addresses are assigned on the plat
ROW2. Please see the attached redline document for required plat changes.
- Matt Emmens, Senior Engineer. memmens@adcogov.com (720) 523-6826
ENG1: Flood Insurance Rate Map – FIRM Panel # (08001C0592H), Federal Emergency Management Agency, March 5, 2007. According to the above reference, the project site is NOT located within a delineated 100-year flood hazard zone; A floodplain use permit will not be required.
ENG2: The applicant shall be responsible to ensure compliance with all Federal, State, and Local water quality construction requirements. The project site is within the County's MS4 Stormwater Permit area and proposes to disturbed one or more acres of ground. The applicant shall be responsible to prepare the SWMP plan using the Adams County ESC Template, and obtain both a County SWQ Permit and State Permit COR-030000.
ENG3: Prior to scheduling the final plat/FDP BOCC hearing, the developer is required to submit for review and receive approval of all construction documents (construction plans and reports). Construction documents shall include, at a minimum, onsite and public improvements construction plans, drainage report, traffic impact study. All construction documents must meet the requirements of the Adams County Development Standards and Regulations. The developer shall submit to the Adams County Development Review Engineering division the following: Engineering Review Application, Engineering Review Fee, two (2) copies of all construction documents. The development review fee for this project will be \$2,500.
ENG4: The developer is required to construct roadway improvements, on Zuni Street, adjacent to the proposed site. Roadway improvements will consist of curb, gutter and sidewalk adjacent to the site and, any roadway improvements as required by the approved traffic impact study. Due to the present condition of Zuni Street, the proposed roadway improvements are required to include the entire roadway, both sides of the street.

- ENG5:** Prior to the issuance of any construction or building permits, the developer shall enter into a Subdivision Improvements Agreement (SIA) with the County and provide a security bond for all public improvements.
- ENG6:** No building permits will be issued until all public improvements have been constructed, inspected and preliminarily accepted by the County's Transportation Dept.
- ENG7:** The developer is responsible for the repair or replacement of any broken or damaged section of curb gutter and sidewalk.
- ENG8:** All pedestrian facilities are required to be ADA compliant. The developer shall be responsible for upgrading all existing pedestrian infrastructure (i.e. sidewalks, handicap ramps, etc.) adjacent to the site, to ADA compliance.

- Greg Barnes, Planner II. gjbarnes@adcogov.com (720) 523-6853

- PLN01:** Your written explanation states that SIA revisions will be made. Please provide the revisions as soon as possible. We will need those changes made to move forward with your case.
- PLN02:** Staff will not be supportive of unlimited temporary signs on fencing and structures. This type of note is not relevant to the purpose of a PUD, and all references to temporary signage should be removed.
- PLN03:** Sheet 3 of the PUD document repeats this phrase twice *"THIS 6-FOOT HIGH PRIVACY FENCE MAY INCLUDE ENHANCEMENTS AT THE DEVELOPER'S DISCRETION, INCLUDING HORIZONTAL PICKETS AND/OR MASONRY COLUMNS AT VARIOUS INTERVALS."* Please remove the repeating phrase to avoid clutter on the plan.
- PLN04:** The Planning Commission directive regarding fencing is still not being met. If you choose to proceed with this design, be prepared to make your case, and realize that staff will not be supportive of this design.
- PLN05:** Please delete the words "or removed" in Landscape Note 3 of the PUD. Landscaping should be replaced, but not removed.
- PLN06:** Please provide building materials in the building elevations. There should also be a calculation table provided for masonry materials and window openings. Information on structure height is not legible.
- PLN07:** Will there be requirements for the architectural design of accessory buildings?
- PLN08:** On Sheet 1 of the PUD, will you please label streets on the vicinity map?
- PLN09:** There should not be signature block on the PUD for Planning Review. Please remove.
- PLN10:** There should be a signature block on the PUD for Planning Commission. Please denote the title of the signee as "Chair".
- PLN11:** Please revise the Board of County Commissioners signature block on the PUD to remove reference of "planning commission", and denote the title of the signee as "Chair".
- PLN12:** On Sheet 2 of the PUD, the last bullet item under the "Key features" section identifies 59th Avenue. Is that a typo? Should it be 56th Avenue?
- PLN13:** Please confirm that Lot #53, can reasonably meet the maximum lot coverage requirement. I have concerns that it may not. If not, please reconsider the requirements.
- PLN14:** Please revise the Development Standards on Sheet 2. It appears the minimum lot size and minimum corner lot size is not accurate.

- PLN15:** Adams County Standards defines lot width is measured at the front building setback line. Will you please check the lot width at the front setback for all 54 lots, and then make the appropriate changes to the Development standards section on Sheet 2 regarding minimum lot width?
- PLN16:** The 56th Avenue improvements are complete. Please remove the 3rd bulleted item under "Landscape Development" on Sheet 2 of the PUD.
- PLN17:** If rear gates are going to be allowed, perhaps the spacing of landscaping should be considered to provide a sensible path from each lot to the adjoining street sidewalk.
- PLN18:** Please include on the PUD document the percentage of open space and the percentage of active recreation open space. Thank you.
- PLN19:** A reimbursement will be determined for PLD fees prior to scheduling this case for public hearing. There was likely an error in calculating that amount.
- PLN20:** SIA Collateral must be provided prior to scheduling this case for public hearing.

Greg Barnes

From: Greg Barnes
Sent: Thursday, June 28, 2018 7:34 PM
To: 'Jim Fitzmorris'
Subject: Review Comments: Berkeley Meadows (PRC2016-00005)
Attachments: SIA Redlines 180626.docx; CDOT 180612.pdf; CDWR 180612.pdf; Xcel 180620.pdf

The following comments have been made based on the resubmittal information you provided for the Berkeley Meadows Final Plat, Final Development Plan, and Subdivision Improvements Agreement. If you have any questions, please contact me.

You are being expected to resubmit back to the County. All resubmittal information should include the attached resubmittal form. You will be expected to provide one paper and one digital copy of all materials. In addition, all PDF documents should be compiled into a single document.

Final Development Plan Review Comments:

- PLN01: Will there be any design requirements for accessory buildings?
- PLN02: SIA collateral must be provided prior to scheduling this case for public hearing.
- PLN03: Tract B is not being used for "active recreation" as defined by our regulations. This area cannot count toward your requirement.
- PLN04: Please amend the minimum lot width for cul-de-sac lots to 40 feet. Tenths of feet is difficult for us to enforce. (Page 2 of 14)
- PLN05: Please amend the maximum height to read "Height as allowed by Adams County R-1-C zone district standards." (Page 2 of 14)
- PLN06: Under prohibited uses (Page 2 of 14), please change the language to read "Director of Community & Economic Development"
- PLN07: Regarding the setback note (Page 2 of 14), no portion of the structure is allowed in the setback. Please explain, or remove.
- PLN08: On the Estimated Timetable for development (Page 2 of 14), three years after approval is not appropriate. New homeowners should not need to wait that long for these amenities. They should be installed prior to the first CO being issued.
- PLN09: On the Fences and Retaining Walls section (Page 3 of 14), please amend the section that states, at the developer's discretion to embellish fencing. The new language should eliminate any possibility of advertising on these fences or walls.
- PLN10: Is there no masonry material being proposed on these structures? These homes are supposed to be a higher-quality product, which allows for the right to increase density through a PUD. Please consider revision to include a minimum of 30% masonry material on the front facades.
- PLN11: A refund is being issued for overpayment of PLD fees. This is being processed, and I will follow-up with you on the status soon.

Final Plat Review Comments:

The Colorado Division of Water Resources is still requesting a water supply plan.

Subdivision Improvements Agreement (SIA) Review Comments:

- ENG01: The SIA needs several revisions. See the Word document redlines.
- ROW01: Please see the redlines made on the attached Word documents.



Greg Barnes

Planner II, *Community and Economic Development Dept.*

ADAMS COUNTY, COLORADO

4430 S. Adams County Parkway, 1st Floor, Suite W2000A

Brighton, CO 80601-8216

720.523.6853 gjbarnes@adcogov.org

adcogov.org

Greg Barnes

From: Laura Garcia
Sent: Monday, July 09, 2018 9:48 AM
To: Greg Barnes
Subject: RE: For Review: Berkeley Meadows SIA (PRC2016-00005)

Hi Greg,

Sorry I didn't get back to you on this. It all looks good. They just needed to fill out the collateral amount of \$832,842.99.

Thanks and have a great day.



Laura Garcia

Accountant II, *Finance*

4430 South Adams County Parkway, 4th floor, Suite C4228

Brighton, CO 80601

720.523.6239 | Lgarcia@adcogov.org | adcogov.org

From: Greg Barnes
Sent: Monday, June 25, 2018 3:10 PM
To: Greg Barnes; Justin Blair; Laura Garcia; Matthew Emmens; Christine Francescani; Christine Fitch; Aaron Clark; Marissa Hillje
Subject: RE: For Review: Berkeley Meadows SIA (PRC2016-00005)

My apologies. Apparently, the PDF file that I provided before was corrupt. Please use the files attached to this e-mail, instead.



Greg Barnes

Planner II, *Community and Economic Development Dept.*

ADAMS COUNTY, COLORADO

4430 S. Adams County Parkway, 1st Floor, Suite W2000A

Brighton, CO 80601-8216

720.523.6853 gjbarnes@adcogov.org

adcogov.org

From: Greg Barnes
Sent: Monday, June 25, 2018 2:47 PM
To: Justin Blair; Laura Garcia; Matthew Emmens; Christine Francescani; Christine Fitch; Aaron Clark; Marissa Hillje
Subject: For Review: Berkeley Meadows SIA (PRC2016-00005)

I've attached the resubmittal of the Berkeley Meadows SIA. Please respond to this resubmittal ASAP. Due to an error, it was not processed properly, and is already behind schedule. My apologies.



Greg Barnes

Planner II, *Community and Economic Development Dept.*

ADAMS COUNTY, COLORADO

4430 S. Adams County Parkway, 1st Floor, Suite W2000A

Brighton, CO 80601-8216

720.523.6853 gjbarnes@adcogov.org

adcogov.org

Greg Barnes

From: Greg Barnes
Sent: Friday, September 07, 2018 4:17 PM
To: 'Jim Fitzmorris'
Subject: Review Comments: Berkeley Meadows (PRC2016-00005)
Attachments: Xcel 180904.pdf

Jim,

Please see the comments listed below. These issues are still outstanding and will require a response. I have also attached a letter from Xcel Energy. Please contact me to set up a meeting regarding the collateral concerns that you have. Thanks!

PLN02: Please try to set up a meeting to discuss the collateral issues. Until resolved, the previous comment stands.

PLN07: No portion of the structures is allowed in the 5 foot setback, therefore the comment on page 2 under "setback note" should be revised or removed.

PLN10: Please differentiate stucco and masonry percentages. There are still concerns regarding the elevations. How is this compatible? Why are there so many types of materials on one structure? Are there examples of the models constructed somewhere in the Denver metro?

ENG09: The SIA needs several revisions. See the Word document "PRC2016-00005 – SIA Engineering Review Comments.PDF". The County will not issue any C/O on any building permits until all of the Exhibit B-2 items have been constructed and preliminarily accepted by the Public Works Dept.



Greg Barnes

Planner II, *Community and Economic Development Dept.*

ADAMS COUNTY, COLORADO

4430 S. Adams County Parkway, 1st Floor, Suite W2000A

Brighton, CO 80601-8216

720.523.6853 gjbarnes@adcogov.org

adcogov.org

Greg Barnes

From: Loeffler - CDOT, Steven [steven.loeffler@state.co.us]
Sent: Thursday, March 17, 2016 8:36 AM
To: Greg Barnes
Subject: PRC2016-00005, Berkeley Meadows

Greg,

I have reviewed the request for final plat and application for final development plan to create 54-lot single family homes on property located at 2405 W. 56th Avenue and have no objections. This should have minimal impact to State Highway 287.

Thank you for the opportunity to review this referral.

Steve Loeffler
Permits Unit



P 303.757.9891 | F 303.757.9886
2000 S Holly Street, Denver, CO 80222
steven.loeffler@state.co.us | www.codot.gov | www.cotrip.org



Greg Barnes

From: Loeffler - CDOT, Steven [steven.loeffler@state.co.us]
Sent: Monday, April 30, 2018 9:27 AM
To: Greg Barnes
Subject: PRC2016-00005, Berkeley Meadows

Greg,

I have reviewed the referral named above for a final plat application to create a 54-lot single-family major subdivision located at 2405 W. 56th Avenue and have the following comments:

- If any work will need to be done in CDOT Right-of-Way a permit from our office will be needed.
- If this development will impact drainage to CDOT Right-of-Way, we will want to review a drainage report to insure no negative impact.

Thank you for the opportunity to review this referral.

Steve Loeffler
Permits Unit



P 303.757.9891 | F 303.757.9886
2000 S Holly Street, Denver, CO 80222
steven.loeffler@state.co.us | www.codot.gov | www.cotrip.org

As of May11, 2018 I will be moving to a new office located at 2829 W. Howard Pl., Denver, CO 80204

Greg Barnes

From: Loeffler - CDOT, Steven [steven.loeffler@state.co.us]
Sent: Tuesday, June 12, 2018 7:50 AM
To: Greg Barnes
Subject: Re: For Review: Berkeley Meadows (PRC2016-00005)

Greg,

I have reviewed this resubmittal for Berkeley Meadows and have no additional comments.

Thank you for the opportunity to review this resubmittal.

Steve Loeffler
Permits Unit



P 303.757.9891 | F 303.757.9886
2829 W. Howard Pl. 2nd Floor, Denver, CO 80204
steven.loeffler@state.co.us | www.codot.gov | www.cotrip.org

On Mon, Jun 11, 2018 at 4:32 PM, Greg Barnes <GJBarnes@adcogov.org> wrote:

The attached documents were resubmitted to Adams County. You had provided comments on this case during the last submittal. Please provide any follow-up comments no later than **June 21, 2018**. Thanks!



Greg Barnes



COLORADO
Division of Water Resources
 Department of Natural Resources

1313 Sherman Street, Room 821
 Denver, CO 80203

April 13, 2016

Greg Barnes
 Adams County Community & Economic Development Department
 Transmitted via email:
GJBarnes@adcogov.org

RE: Berkeley Meadows Final Plat and PUD
 Case no. PRC2016-00015
 Portion of the SE ¼ Sec. 8, T3S, R68W, 6th P.M.
 Water Division 1, Water District 7

Dear Mr. Barnes,

We have reviewed your March 16, 2016 referral concerning the above referenced proposal to subdivide a 10.7 acre parcel into 54 detached single-family residential lots.

Water Supply Demand

A Water Supply Information Summary Sheet was not submitted, therefore the water supply demand for this subdivision is unknown. Waste water treatment will be provided by the Berkeley Water and Sanitation District.

Source of Water Supply

According to the information submitted, the proposed water source is the Berkeley Water and Sanitation District ("District"). Martin/Martin, Inc, acting as District Engineer for the District, sent a letter to Jim Fitzmorris of JR Engineering on June 29, 2015 stating that the subject property is within the District's service area boundary for water and sewer. The information in this office indicates that the District obtains its water supply through a distributor's "read and bill" contract with the Denver Water Department. The Denver Water Department is considered to be a reliable water source.

State Engineer's Office Opinion

Based upon the above and pursuant to Section 30-28-136(1)(h)(I) and Section 30-28-136(1)(h)(II), C.R.S., the State Engineer's Office offers the opinion that with the District as the water supplier, the proposed water supply is adequate and can be provided without causing injury to decreed water rights.



Berkeley Meadows

April 13, 2016


Page 2 of 2

Our opinion that the water supply is **adequate** is based on our determination that the amount of water required annually to serve the subdivision is physically available, based on current conditions.

Our opinion that the water supply can be **provided without causing injury** is based on our determination that the amount of water that is legally available on an annual basis for the proposed uses is greater than the annual amount of water required to supply existing water commitments and the demands of the proposed subdivision.

Should you, or the Applicant, have any questions please contact Karlyn Armstrong in this office at 303-866-3581 x8275.

Sincerely,

A handwritten signature in blue ink that reads "Joanna Williams". The signature is fluid and cursive, with the first name "Joanna" and last name "Williams" clearly distinguishable.

Joanna Williams, P.E.
Water Resource Engineer

Cc: File for subdivision no. 23729





COLORADO
Division of Water Resources
Department of Natural Resources

John W. Hickenlooper
Governor

Robert Randall
Executive Director

Kevin G. Rein, P.E.
Director/State Engineer

April 09, 2018

Greg Barnes
Adams County Community & Economic Development Department
Transmitted via email:
GJBarnes@adcogov.org

RE: Berkeley Meadows Final Plat and PUD
Case no. PRC2016-00005
Portion of the SE ¼ Sec. 8, T3S, R68W, 6th P.M.
Water Division 1, Water District 7

Dear Mr. Barnes,

We have reviewed your April 5, 2018 referral concerning the above referenced proposal to subdivide a 10.7 acre parcel into 54 detached single-family residential lots. We previously commented on this proposal by letter dated April 13, 2016. Since our prior letter it does not appear that there have been any changes to the proposed water supply plan for the subdivision. Therefore, please see our April 13, 2016 letter for our comments.

Should you, or the Applicant, have any questions please contact me in this office at 303-866-3581 x8265.

Sincerely,

Joanna Williams, P.E.
Water Resource Engineer

Cc: File for subdivision no. 23729





COLORADO
Division of Water Resources
Department of Natural Resources

1313 Sherman Street, Room 821
Denver, CO 80203

April 13, 2016

Greg Barnes
Adams County Community & Economic Development Department
Transmitted via email:
GJBarnes@adcogov.org

RE: Berkeley Meadows Final Plat and PUD
Case no. PRC2016-00015
Portion of the SE ¼ Sec. 8, T3S, R68W, 6th P.M.
Water Division 1, Water District 7

Dear Mr. Barnes,

We have reviewed your March 16, 2016 referral concerning the above referenced proposal to subdivide a 10.7 acre parcel into 54 detached single-family residential lots.

Water Supply Demand

A Water Supply Information Summary Sheet was not submitted, therefore the water supply demand for this subdivision is unknown. Waste water treatment will be provided by the Berkeley Water and Sanitation District.

Source of Water Supply

According to the information submitted, the proposed water source is the Berkeley Water and Sanitation District ("District"). Martin/Martin, Inc, acting as District Engineer for the District, sent a letter to Jim Fitzmorris of JR Engineering on June 29, 2015 stating that the subject property is within the District's service area boundary for water and sewer. The information in this office indicates that the District obtains its water supply through a distributor's "read and bill" contract with the Denver Water Department. The Denver Water Department is considered to be a reliable water source.

State Engineer's Office Opinion

Based upon the above and pursuant to Section 30-28-136(1)(h)(I) and Section 30-28-136(1)(h)(II), C.R.S., the State Engineer's Office offers the opinion that with the District as the water supplier, the proposed water supply is adequate and can be provided without causing injury to decreed water rights.



Berkeley Meadows

April 13, 2016

Page 2 of 2

Our opinion that the water supply is **adequate** is based on our determination that the amount of water required annually to serve the subdivision is physically available, based on current conditions.

Our opinion that the water supply can be **provided without causing injury** is based on our determination that the amount of water that is legally available on an annual basis for the proposed uses is greater than the annual amount of water required to supply existing water commitments and the demands of the proposed subdivision.

Should you, or the Applicant, have any questions please contact Karlyn Armstrong in this office at 303-866-3581 x8275.

Sincerely,

A handwritten signature in blue ink that reads "Joanna Williams". The signature is fluid and cursive, with the first name "Joanna" and last name "Williams" clearly distinguishable.

Joanna Williams, P.E.
Water Resource Engineer

Cc: File for subdivision no. 23729





COLORADO
Division of Water Resources
Department of Natural Resources

John W. Hickenlooper
Governor

Robert Randall
Executive Director

Kevin G. Rein, P.E.
Director/State Engineer

June 12, 2018

Greg Barnes
Adams County Community & Economic Development Department
Transmitted via email:
GJBarnes@adcogov.org

RE: Berkeley Meadows Final Plat and PUD
Case no. PRC2016-00005
Portion of the SE ¼ Sec. 8, T3S, R68W, 6th P.M.
Water Division 1, Water District 7

Dear Mr. Barnes,

We have reviewed your June 11, 2018 referral concerning the above referenced proposal to subdivide a 10.7 acre parcel into 54 detached single-family residential lots. We previously commented on this proposal by letter dated April 13, 2016. Since our prior letter it does not appear that there have been any changes to the proposed water supply plan for the subdivision. Therefore, please see our April 13, 2016 letter for our comments.

In addition to those comments, the latest referral information mentioned wells being located on the subject property. No information on these wells was provided as part of the originally reviewed subdivision water supply plan. According to the May 8, 2018 email from Greg Barnes in regards to the comments on Berkely Estates Subdivision the wells will be closed and are not part of the proposed development. Since the wells will not be used, the wells must be plugged and abandoned in accordance with the Rules and Regulations for Water Well Construction, Pump Installation, Cistern Installation, and Monitoring and Observation Hole/Well Construction (2 CCR 402-2) prior to subdivision approval. If the wells will be used within the subdivision, information on those wells, including the proposed uses of the wells, must be provided to our office so that we can determine if operation of the wells will result in injury to existing water rights.

Should you, or the Applicant, have any questions please contact me in this office at 303-866-3581 x8265.



Sincerely,

Joanna Williams, P.E.
Water Resource Engineer

Cc: File for subdivision no. 23729

COLORADO GEOLOGICAL SURVEY

1801 19th Street
Golden, Colorado 80401



Karen Berry
State Geologist

April 11, 2016

Greg Barnes
Adams County
Community & Economic Development Department
4430 S. Adams County Parkway, Suite W2000A
Brighton, CO 80601-8216

Location:
SE¼ SE¼ Section 8,
T3S, R68W, 6th P.M.
39.8003, -105.0165

Subject: Berkeley Meadows – Final Development Plan (FDP) and Final Plat
Case Number PRC2016-00005; Adams County, CO; CGS Unique No. AD-16-0009 2

Dear Mr. Barnes:

Colorado Geological Survey has reviewed the Berkeley Meadows final development plan and final plat for 54 single family lots on approximately 10.2 acres located northwest of W. 56th Ave. and Zuni Street. CGS reviewed the proposed Berkeley Meadows project at preliminary development plan and preliminary plat; our comments were discussed in a letter dated November 16, 2015. With this referral, we received a Request for Comments (March 16, 2016), and a set of final plat sheets and final development plans (JR Engineering, March 2, 2016). The currently proposed density and land use appear to be generally consistent with what CGS previously reviewed, and no new geologic or geotechnical information was submitted.

Expansive and collapsible soils, and expansive claystone bedrock. A.G. Wassenaar's June 9, 2010 geotechnical report contains a valid description of surface and subsurface conditions, and makes appropriate *preliminary* geotechnical recommendations. Potential development constraints that will need to be addressed through additional, lot-specific geotechnical investigations consisting of drilling, sampling, lab testing and analysis, include perched water, shallow groundwater, potentially corrosive and moisture-sensitive (expansive and collapsible) soils, and expansive claystone bedrock (in the northern portion of the site).

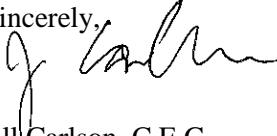
Shallow groundwater and perched water. Wassenaar observed groundwater at depths of 12 to 12.5 feet below the ground surface in all three of their 2010 borings located in the northern portion of the site. CGS agrees that utility and foundation excavations will probably require dewatering, and that individual foundation perimeter drains and foundation waterproofing will be needed to mitigate perched water. Basements may not be feasible on all proposed lots unless area grades are raised sufficiently to maintain an adequate separation distance of three feet (preferably five feet) between lowermost floor levels and anticipated maximum water levels, or an interceptor drain is constructed. This will need to be evaluated further before full-depth basements can be considered feasible on this site.

Use of sulfate attack-resistant cement in project concrete. Wassenaar's report is contradictory in its recommendations regarding sulfate conditions. Page 2 of the summary states "Foundation concrete may be designed for negligible sulfate conditions," but page 11 of the report states that testing indicates negligible to moderate water soluble sulfate concentrations of 200-300 ppm, and that "...all concrete in contact with the soils on the site should be designed for moderate sulfate exposure..." Unless Wassenaar verifies otherwise, the more conservative recommendation (for use of Type II or otherwise sulfate attack-resistant cement in all project concrete) should be adhered to.

Greg Barnes
April 11, 2016
Page 2 of 2

Thank you for the opportunity to review and comment on this project. If you have questions or require additional review, please call me at (303) 384-2643, or e-mail carlson@mines.edu.

Sincerely,

A handwritten signature in black ink, appearing to read 'Jill Carlson', written over the word 'Sincerely,'.

Jill Carlson, C.E.G.
Engineering Geologist

COLORADO GEOLOGICAL SURVEY

1801 19th Street
Golden, Colorado 80401



Karen Berry
State Geologist

April 24, 2018

Greg Barnes
Adams County
Community & Economic Development Department
4430 S. Adams County Parkway, Suite W2000A
Brighton, CO 80601

Location:
SE¼ SE¼ Section 8,
T3S, R68W, 6th P.M.
39.8003, -105.0165

**Subject: Berkeley Meadows – Final Plat and Final Development Plan (FDP) to establish a PUD
Case Number PRC2016-00005; Adams County, CO; CGS Unique No. AD-16-0009 3**

Dear Mr. Barnes:

Colorado Geological Survey has reviewed the Berkeley Meadows final plat and final development plan resubmittal for 54 single family lots on approximately 10.14 acres located northwest of W. 56th Ave. and Zuni Street. CGS reviewed the proposed Berkeley Meadows project at preliminary development plan and preliminary plat (November 16, 2015), and final development plan and final plat (April 11, 2016). With this referral, we received a Request for Comments (April 6, 2018), a resubmittal narrative, set of three Berkeley Meadows Final Plat sheets, and set of 13 Berkeley Meadows PUD-FDP Site Plans (JR Engineering, March 28, 2018). CGS previously reviewed a Geotechnical Site Development Study (A.G. Wassenaar, June 9, 2010).

The site does not contain steep slopes, is not undermined, is located within an “Area of Minimal Flood Hazard,” and does not contain, nor is it exposed to, identified geologic hazards that would preclude the proposed residential use and density. **CGS therefore has no objection to final plat approval.** The currently proposed plat is consistent with Berkeley Meadows development plans previously reviewed by CGS, and no new geologic or geotechnical information has been submitted. Our previous comments therefore remain valid:

Expansive and collapsible soils, and expansive claystone bedrock. A.G. Wassenaar’s June 9, 2010 geotechnical report contains a valid description of surface and subsurface conditions, and makes appropriate *preliminary* geotechnical recommendations. Potential development constraints that will need to be addressed through additional, lot-specific geotechnical investigations consisting of drilling, sampling, lab testing and analysis, include perched water, shallow groundwater, potentially corrosive and moisture-sensitive (expansive and collapsible) soils, and expansive claystone bedrock (in the northern portion of the site).

Shallow groundwater and perched water. Wassenaar observed groundwater at depths of 12 to 12.5 feet below the ground surface in all three of their 2010 borings located in the northern portion of the site. CGS agrees that utility and foundation excavations will probably require dewatering, and that individual foundation perimeter drains and foundation waterproofing will be needed to mitigate perched water. Basements may not be feasible on all proposed lots unless area grades are raised sufficiently to maintain an adequate separation distance of three feet (preferably five feet) between lowermost floor levels and anticipated maximum water levels, or an interceptor drain is constructed. This will need to be evaluated further before full-depth basements can be considered feasible on this site.

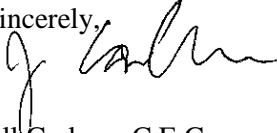
Use of sulfate attack-resistant cement in project concrete. Wassenaar’s report is contradictory in its recommendations regarding sulfate conditions. Page 2 of the summary states “Foundation concrete may be

Greg Barnes
April 24, 2018
Page 2 of 2

designed for negligible sulfate conditions,” but page 11 of the report states that testing indicates negligible to moderate water soluble sulfate concentrations of 200-300 ppm, and that “...all concrete in contact with the soils on the site should be designed for moderate sulfate exposure...” Unless Wassenaar verifies otherwise, the more conservative recommendation (for use of Type II or otherwise sulfate attack-resistant cement in all project concrete) should be adhered to.

Thank you for the opportunity to review and comment on this project. If you have questions or require additional review, please call me at (303) 384-2643, or e-mail carlson@mines.edu.

Sincerely,

A handwritten signature in black ink, appearing to read 'Jill Carlson', written over the word 'Sincerely,'.

Jill Carlson, C.E.G.
Engineering Geologist



Right of Way & Permits

1123 West 3rd Avenue
Denver, Colorado 80223
Telephone: **303.571.3306**
Facsimile: 303. 571.3284
donna.l.george@xcelenergy.com

April 7, 2016

Adams County Community and Economic Development Department
4430 South Adams County Parkway, 3rd Floor, Suite W3000
Brighton, CO 80601

Attn: Greg Barnes

Re: Berkeley Meadows, Case # PRC2016-00005

Public Service Company of Colorado's (PSCo) Right of Way & Permits Referral Desk has reviewed the final plat and development plans for **Berkeley Meadows** and acknowledges the proposed platted utility easements. For connectivity purposes, PSCo requests that Tracts A and B are dedicated as utility easements in their entirety.

Please be aware PSCo owns and operates existing electric distribution facilities within the proposed project area. The property owner/developer/contractor must contact the **Builder's Call Line at 1-800-628-2121** and complete the application process for any new gas or electric service, or modification to existing facilities. It is then the responsibility of the developer to contact the Designer assigned to the project for approval of design details. Additional easements may need to be acquired by separate document for new facilities.

As a safety precaution, PSCo would like to remind the developer to call the **Utility Notification Center at 1 800-922-1987** for utility locates prior to construction.

If you have any questions about this referral response, please contact me at (303) 571-3306.

Donna George
Contract Right-of-Way Referral Processor
Public Service Company of Colorado



Right of Way & Permits

1123 West 3rd Avenue
Denver, Colorado 80223
Telephone: **303.571.3306**
Facsimile: 303. 571.3284
donna.l.george@xcelenergy.com

May 6, 2016

Adams County Community and Economic Development Department
4430 South Adams County Parkway, 3rd Floor, Suite W3000
Brighton, CO 80601

Attn: Greg Barnes

Re: Berkeley Meadows – 2nd referral, Case # PRC2016-00005

Public Service Company of Colorado's (PSCo) Right of Way & Permits Referral Desk has reviewed the second referral final plat and development plans for **Berkeley Meadows**. For connectivity purposes, PSCo requests that Tracts A and B are dedicated as utility easements in their entirety and that a Tract Table be added to the plat.

Please be aware PSCo owns and operates existing electric distribution facilities within the proposed project area. The property owner/developer/contractor must contact the **Builder's Call Line at 1-800-628-2121 or <https://xcelenergy.force.com/FastApp> (Register so you can track your application)** and complete the application process for any new gas or electric service, or modification to existing facilities. It is then the responsibility of the developer to contact the Designer assigned to the project for approval of design details. Additional easements may need to be acquired by separate document for new facilities.

As a safety precaution, PSCo would like to remind the developer to call the **Utility Notification Center at 1 800-922-1987** for utility locates prior to construction.

If you have any questions about this referral response, please contact me at (303) 571-3306.

Donna George
Contract Right-of-Way Referral Processor
Public Service Company of Colorado



Right of Way & Permits

1123 West 3rd Avenue
Denver, Colorado 80223
Telephone: **303.571.3306**
Facsimile: 303. 571. 3284
donna.l.george@xcelenergy.com

April 26, 2018

Adams County Community and Economic Development Department
4430 South Adams County Parkway, 3rd Floor, Suite W3000
Brighton, CO 80601

Attn: Greg Barnes

Re: Berkeley Meadows - resubmittal, Case # PRC2016-00005

Public Service Company of Colorado's (PSCo) Right of Way & Permits Referral Desk has reviewed the resubmittal of the *final* PUD development plan for **Berkeley Meadows**, and has no particular concerns provided that the previously agreed upon easements are not changed.

PSCo advises the property owner/developer/contractor continue working with the Designer previously assigned to the project for approval of design details. Additional easements may need to be acquired by separate document for new facilities.

As a safety precaution, PSCo would like to remind the developer to call the **Utility Notification Center** at 1-800-922-1987 to have all utilities located prior to any construction.

Should you have any questions with this referral response, please contact me at 303-571-3306.

Donna George
Right of Way and Permits
Public Service Company of Colorado

Greg Barnes

From: George, Donna L [Donna.L.George@xcelenergy.com]
Sent: Wednesday, June 20, 2018 9:20 AM
To: Greg Barnes
Subject: RE: For Review: Berkeley Meadows (PRC2016-00005)

Hi Greg,

Please use my comments from April 26, 2018. Nothing has changed.

Thank you,

Donna George
Xcel Energy | Responsible By Nature
Right of Way and Permits
1123 West 3rd Avenue, Denver, CO 80223
P: 303-571-3306 | F: 303-571-3660
donna.l.george@xcelenergy.com

XCELENERGY.COM

Please consider the environment before printing this email.

From: Greg Barnes [<mailto:GJBarnes@adcogov.org>]
Sent: Monday, June 11, 2018 4:33 PM
To: Greg Barnes
Subject: For Review: Berkeley Meadows (PRC2016-00005)

The attached documents were resubmitted to Adams County. You had provided comments on this case during the last submittal. Please provide any follow-up comments no later than **June 21, 2018**. Thanks!



Greg Barnes

Planner II, *Community and Economic Development Dept.*
ADAMS COUNTY, COLORADO
4430 S. Adams County Parkway, 1st Floor, Suite W2000A
Brighton, CO 80601-8216
720.523.6853 gjbarnes@adcogov.org
adcogov.org

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Right of Way & Permits
1123 West 3rd Avenue
Denver, Colorado 80223
Telephone: **303.571.3306**
Facsimile: 303. 571.3284
donna.l.george@xcelenergy.com

September 4, 2018

Adams County Community and Economic Development Department
4430 South Adams County Parkway, 3rd Floor, Suite W3000
Brighton, CO 80601

Attn: Greg Barnes

**Re: Berkeley Meadows - resubmittal 3rd referral [fka Berkeley Estates]
Case # PRC2016-00005**

Public Service Company of Colorado's (PSCo) Right of Way & Permits Referral Desk has reviewed the documentation for the above captioned project and has **no apparent conflict**.

Please be aware PSCo owns and operates existing electric distribution facilities within the subject property. The property owner/developer/contractor must complete the **application process** for any new natural gas or electric service, or modification to existing facilities via FastApp-Fax-Email-USPS (go to: https://www.xcelenergy.com/start_stop_transfer/new_construction_service_activation_for_builders). It is then the responsibility of the developer to contact the Designer assigned to the project for approval of design details. Additional easements may need to be acquired by separate document for new facilities.

As a safety precaution, PSCo would like to remind the developer to call the **Utility Notification Center** at 1-800-922-1987 to have all utilities located prior to any construction.

Please contact me at donna.l.george@xcelenergy.com or 303-571-3306 if there are any questions with this referral response.

Donna George
Right of Way and Permits
Public Service Company of Colorado

Greg Barnes

From: Mike Bishop [littlee47@netzero.net]
Sent: Sunday, July 10, 2016 6:56 AM
To: Greg Barnes; Matthew Emmens; Greg Labrie
Cc: Leslie Tyson
Subject: Re: Berkeley Meadows Public Hearing

Hey Matt,

Sent an email, (3-4 weeks ago now), concerning the current status of the Berkeley Meadows proposed project. Have not had a response back. Several of us on Zuni St are trying to make plans on what the next move is going to be regarding our properties based on what is going to happen across the street.

I had also asked if access from Zuni was planned for construction, (dumps, belly-dumps, heavy equipment, material staging, etc., etc.)

Would appreciate an update on all.

Thanks,
Mike Bishop

Sent from my iPad

> On Jan 28, 2016, at 4:19 PM, Mike Bishop <littlee47@netzero.net> wrote:

>

> Hi Greg,

>

> Thank you for the conversation this morning concerning the public meeting tonight on the above project.

>

> We reside across the way at 5620 Zuni, (Leslie Tyson is the land owner of title and she will be attending the meeting tonight). As I mentioned, due to some hospitalization, I can not make it.

>

> She will be addressing concerns about the proposed access(s) from Zuni St. and the improvements that would certainly be needed if that is the case. Written suggestions & questions have been submitted by her already to your planning dept.

>

> As we discussed in our conversation, one of my main concerns is why access from Zuni St. is even being considered as the primary, when access from 56th St. would keep it on one of the main traffic arteries thru the neighborhood.

>

> Lot of traffic volume in and out across the front of a street with what, 10 or 12 homes taking the brunt of all the noise, fumes, speeding kids, etc., etc., if Zuni is used. You mentioned that Traffic Engineering may have some explanation why access from 56th is not in consideration. I am including both your folks over there, in this email.

>

> My second concern is the increase in saturation over the original proposal(s) submitted. The original under the R1-C zoning for 44 single family units, (2010). They are now requesting the more flexible PUD, with smaller lots and a little more open space, but increasing the amount of units to the proposed 54. An increase of around 8+%. At an average of 2 vehicles per home, (and I'm sure that's light) we're looking at 108+ vehicles in and out daily.

>

> We have genuine concerns over the changes this type of development would mean to the quality of life and which direction it could take the property values in our area. We are ourselves builder and engineering backgrounds, so we are of course pro-development.....but it needs to be done right.

>

> Thanks for getting my concerns out there for me, Greg. Look forward to your considerations.

>

> Best Regards,

>

> Mike Bishop

>

> Sent from my iPad

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4/24/18

Community and Economic Development
4430 South Adams County Parkway Ste W2000A
Brighton, Colorado 80601-8216

To whom it may concern:

As to the comments of building of Berkeley Estates Subdivision we would like to let you know a few of the changes that will effect our neighborhood.

The bike route proposed will bring a lot of foot traffic to an area that has enough homeless traffic and trespass as it is.

Will the homes over there be single story? Will they obstruct site lines of the mountains?

What arrangements have been made for fire service, since you sold the volunteer fire department building, what about emergency access for fire and police in such a dense neighborhood?

What about infrastructure? Sewer, Water, Trash, Schools Gas, and Electricity. What kind if impact is that going to have on existing facilities and residents?

Where will fire hydrants be located?

We, the older neighbors, have little access to 56th as it is and the little increase of widening Zuni will be negligible with 54 more homes and to 100 or more extra vehicles daily, let alone an emergency.

What about an emergency evacuation in case of a railroad incident? All kinds of hazardous material is conveyed on the Rail Road!

What kind of parking will be available in the subdivision as the parking on Zuni and the rest of Scavalanti subdivision is at a premium now?

The two way street you propose at 56th Place will interfere with the homeowners bay window directly across from that exit. Why not make it 1 way except in an emergency.

What provisions have been made for the two wells that are on that property? Have they been covered up or left open for a child or an animal to find?

We moved here because of the rural setting close to town, sidewalks, bike paths and gutters will bring downtown unnecessarily to our neighborhood.

We know you have been questioned at length on all of these questions but I don't believe enough thoughts have been given to the daily impact on the neighborhood as seen by the 75 homes added to the grid on 56th and Alcott.

Please keep in mind that the current home owners have paid taxes and up keep on this area for numerous years and should have say in how this is developed.

Sincerely,

John and Dianna Decker
2341 59th Place
Denver, Co 80221

Greg Barnes

From: Greg Barnes
Sent: Tuesday, May 08, 2018 3:50 PM
To: 'Dianna Decker'
Cc: Matthew Emmens
Subject: RE: Comments on Berkeley Estates Subdivision

Hi John & Dianna,

Thank you for your comments on the Berkeley Meadows case. I have provided a response to your concerns. I have also sent the applicant a copy of your concerns, and they may also reply.

1. The bike route proposed will bring a lot of foot traffic to an area that has enough homeless traffic and trespass as it is.
 - a. Staff is supportive of active recreation enhancement adjacent to this development. The bike path is proposed in the public right-of-way, and not on private property.
2. Will the homes over there be single story? Will they obstruct site lines of the mountains?
 - a. The houses are proposed to be two stories. The maximum height allowed in the existing zone district is 25 feet. The proposed development is in compliance with existing zone district standards.
3. What arrangements have been made for fire service, since you sold the volunteer fire department building, what about emergency access for fire and police in such a dense neighborhood?
 - a. The local fire district and Adams County Sheriff's office have been notified of this proposed development and did not object to the project
4. What about infrastructure? Sewer, Water, Trash, Schools, Gas, and Electricity. What kind of impact is that going to have on existing facilities and residents?
 - a. The ability to provide this development with water, sewer, and electric service has been verified. Berkeley Sanitation, Denver Water, The State of Colorado's Division of Water Resources, and Xcel Energy have all been notified of the project, and no objections have been noted. The Westminster School District was also notified and did not issue objection to the request. The school district also receives cash-in-lieu of public land dedication, from this developer. These fees support the additional costs the school district incurs from additional development in the area. Finally, the development will have an established HOA will be required to establish sanitation services for all 54 lots.
5. Where will fire hydrants be located?
 - a. The engineering plans submitted with this development proposal includes fire hydrants. For specific information as to where they are located, please contact our engineer on this project. His name is Matt Emmens 720-523-6826 memmens@adcogov.org
6. We, the older neighbors, have little access to 56th as it is and the little increase of widening Zuni will be negligible with 54 more homes and to 100 or more extra vehicles daily, let alone an emergency. What about an emergency evacuation in case of a railroad incident? All kinds of hazardous material is conveyed on the Rail Road!

- a. There are multiple people involved in the review of these types of projects. I would recommend that you talk to Matt Emmens for specific information regarding traffic and transportation. These items are within his purview of the project.
- 7. What kind of parking will be available in the subdivision as the parking on Zuni and the rest of Scavalanti subdivision is at a premium now?
 - a. The proposal includes a two-car driveway on each lot. All housing models also include a two-car garage. In addition, the newly constructed street serving this subdivision (known as Zuni Court) has the ability for street parking on both sides of the street.
- 8. The two way street you propose at 56th Place will interfere with the homeowners bay window directly across from that exit. Why not make it 1 way except in an emergency.
 - a. Our traffic engineers have reviewed this project and support the traffic configuration. You may direct this question to Matt Emmens and perhaps he could provide a response.
- 9. What provisions have been made for the two wells that are on that property? Have they been covered up or left open for a child or an animal to find?
 - a. The wells will be closed, and are not part of the proposed development.
- 10. We moved here because of the rural setting close to town, sidewalks, bike paths and gutters will bring downtown unnecessarily to our neighborhood. We know you have been questioned at length on all of these questions but I don't believe enough thoughts have been given to the daily impact on the neighborhood as seen by the 75 homes added to the grid on 56th and Alcott.
 - a. You will have the ability to voice these concerns at both public hearings. The process for approval is open to the public. A preliminary plat and development plan have already been approved for this project.
 - b. As a County employee, I am not a representative of the developer. My role is merely to collect public comments and provide them to the Board of County Commissioners for their decision. Please keep in mind that I am in no way advocating for this project. I am reviewing the proposal based on Adams County standards, and presenting our findings to the Board of County Commissioners.
 - c. Please keep in mind, The owner of this property is entitled to develop this property in conformance with Adams County standards. Should this project be denied, the applicant will still be able to pursue development (just in a different way) based on the County's Residential-1-C zoning standards. These regulations also allow single-family homes and require a minimum of 7,000 square feet per lot.

Please let me know if you have any further questions.



Greg Barnes

Planner II, *Community and Economic Development Dept.*

ADAMS COUNTY, COLORADO

4430 S. Adams County Parkway, 1st Floor, Suite W2000A

Brighton, CO 80601-8216

720.523.6853 gjbarnes@adcogov.org

adcogov.org

From: Dianna Decker [mailto:2341mmw@gmail.com]

Sent: Tuesday, April 24, 2018 3:41 PM

To: Greg Barnes

Subject: Comments on Berkeley Estates Subdivision

Mr Barnes,

Please find attached a list of comments and questions for this new subdivision.

Would you please notify us of any public hearings or changes to the subdivision plans.

Thank you for allowing us to comment on this .

John and Dianna Decker

Greg Barnes

From: Pat Hatfield [pat@rw-spec.com]
Sent: Tuesday, March 29, 2016 8:34 AM
To: Greg Barnes
Subject: prc2016-0005

Im am not in favor of this project .will make to much traffic and headaches Patrick hatfield

Greg Barnes

From: Stephen Loppnow [sloppnow@yrgxyz.com]
Sent: Thursday, April 13, 2017 6:21 PM
To: Greg Barnes
Cc: Erica Wernsmann
Subject: Fwd: Berkeley Meadows Comments

Greg,

I know I missed the April 7 deadline, but wanted to resubmit my comments from Nov. 2015 (below) regarding this project because for the most part they still stand across the board. My biggest concerns are:

- Increased traffic and traffic control at the 56th and Zuni intersection. Traffic on 56th is heavy and fast, and cars at the 56th and Zuni intersection regularly roll the stop sign and peel-out from the stop sign. A low cost measure that would be helpful - I would love to see speed bumps in all directions at that intersection. This may not seem specific to Berkeley Meadows but I think safety at this intersection is going to increasingly be an issue with the increased traffic associated with the development.
- I think the lack on connectivity / cohesiveness between the development and 56th, because houses don't front 56th but instead face away and are separated by a fence, further emphasizes 56th as a throughway instead of a neighborhood street. The 56th and Zuni intersection is unsafe in it's current configuration.
- I know this may not be feasible, but I strongly feel that the houses on the south side of the development should face 56th, and be accessed from behind, instead of being fenced off from 56th and face away from 56th.
- I still think it would be nice to see a larger park on the north side of the development.
- I hope that dust control, watering, etc. will be strongly enforced during horizontal and vertical development.
- We appreciate the additional sidewalk work the county has been doing very much. THANK YOU. It's been a great improvement. Looking forward to more to come.
- Finally, getting some of the power poles underground would be a huge improvement to the intersection, Berkeley Meadows and the whole corridor, so I hope to see that happen and continue.

Thank you very much for the opportunity to chime in.

best regards,

Steve Loppnow, 2350 W. 56th Ave. 80221

Stephen Loppnow Sustainability Manager
 LEED AP BD+C, O+M, Homes
YR&G
 sustainability consulting, education, and analysis
 1644 Platte St. #343 Denver CO 80202
 T 303.803.6542
yrgxyz.com | [facebook](https://www.facebook.com/yrgxyz) | [twitter](https://twitter.com/yrgxyz)

Begin forwarded message:

From: Stephen Loppnow <sloppnow@yrgxyz.com>
Subject: Berkeley Meadows Comments
Date: November 14, 2015 at 9:49:42 AM MST

To: GJBarnes@adcogov.org

Mr. Barnes,

Thank you for the opportunity to provide comments regarding the Berkeley Meadows development. I live at 2350 W. 56th, at the SE corner of the Zuni / 56th Ave. intersection. Sorry this is late, I wasn't able to respond yesterday at work.

My comments:

- The 56th and Zuni intersection could use a traffic light. Vehicles regularly roll through the existing stop signs and speed on that section of 56th Ave. Speed bumps or other speed mitigation would be welcomed. I'm guessing this will become more necessary with the increased traffic on 56th Ave. associated with this new development.
- The site plans look very good, but I'm a little concerned about the lots and future homes on the south side of the development not facing 56th Ave. I'm concerned that it will further define 56th Ave. as a throughway rather than a residential street fronted by houses.
- I'm happy to see the park area on the north side of the development. However, I'd like to see a larger park. It looks like the majority of that area is actually dedicated to stormwater detention and will likely not be usable open space. So, more usable park space would be ideal.
- I'm really concerned about the sidewalk details. The existing hybrid sidewalk curb and gutter system that is in place throughout this neighborhood and south of here in Chaffee Park is not user friendly at all. Sidewalks aren't wide enough for two people to walk side by side and are barely wide enough for a baby stroller. I regularly end up walking in the gutter to walk with my wife and child, which ultimately puts me in the street. Wider sidewalks and having a set-back between the street and sidewalk is much better. I hope the new sidewalk plans are a significant departure from the existing type of hybrid sidewalk in this area. The type of combination system noted on sheet 3 of 9 for the Zuni Court Cul-de-sac is really awful. I hope the county will push for a departure from that type of system in the new development, and moving forward.
- Are there architectural requirements for the development? It'd be nice to see the new houses with some architectural detail and variation. I think this could be done without imposing major cost impacts on the developer (like Stapleton or Midtown).

Thanks for the opportunity to chime in. I hope this email will still be considered despite being a day late.

Stephen Loppnow Sustainability Manager
LEED AP BD+C, O+M, Homes

YR&G

sustainability consulting, education, and analysis

1821 Blake Street 3A Denver CO 80202

T 303.803.6542

yrgxyz.com | [facebook](https://www.facebook.com/yrgxyz) | [twitter](https://twitter.com/yrgxyz)

Greg Barnes

From: marenmatt@aol.com
Sent: Sunday, March 26, 2017 1:18 PM
To: Greg Barnes
Subject: Berkley meadows

Hello, This is Maren Matthias owner of 5660 Zuni St. I recieved the "request for comments" form. I do not see any changes? I am still worried about the road being in line with my front window and causing headlights to blind us at night. I am also worried about losing my mountain view.

Thank you
Maren Matthias

Greg Barnes

From: marenmatt@aol.com
Sent: Thursday, November 29, 2018 10:53 AM
To: Greg Barnes
Subject: Re: Berkley meadows

Trees do not grow on my front yard.

Sent from my iPhone

On Nov 29, 2018, at 10:31 AM, Greg Barnes <GJBarnes@adcogov.org> wrote:

Unfortunately, BoCC meetings are always at 9:30 am. I'm sorry. I will be sharing all of your comments in the staff report.

Staff evaluated the traffic study, spacing from existing intersections, and lot spacing. We believe that the current configuration of roadways is the best possible design. I do understand that this configuration is not your preferred design, however we believe that this design serves the overall community in the best way.

Ultimate build-out (if approved) may not occur for another 2-3 years, so there may be some time to establish evergreen shrubs that may help alleviate some of your concerns.

<image002.jpg>**Greg Barnes**

Planner II, *Community and Economic Development Dept.*

ADAMS COUNTY, COLORADO

4430 S. Adams County Parkway, 1st Floor, Suite W2000A

Brighton, CO 80601-8216

720.523.6853 gjbarnes@adcogov.org

adcogov.org

From: marenmatt@aol.com [<mailto:marenmatt@aol.com>]

Sent: Wednesday, November 28, 2018 11:26 AM

To: Greg Barnes

Subject: Re: Berkley meadows

I am upset about the time of the hearing. Most of us work during that time. I am still really unhappy with the road being right into my front window. I will have headlights shining into my home. I have lived there for 10years and enjoyed the quiet of my road. I am ok with the building, but I do not understand why it cannot be facing the garage on the right of me. No one lives there!!

Sent from my iPhone

On Nov 13, 2018, at 11:06 AM, Greg Barnes <GJBarnes@adcogov.org> wrote:

Was it the public hearing notice that I mailed? Or something else?

<image003.jpg>**Greg Barnes**

Planner II, *Community and Economic Development Dept.*

ADAMS COUNTY, COLORADO

4430 S. Adams County Parkway, 1st Floor, Suite W2000A
Brighton, CO 80601-8216
720.523.6853 gjbarnes@adcogov.org
adcogov.org

From: marenmatt@aol.com [<mailto:marenmatt@aol.com>]
Sent: Tuesday, November 13, 2018 11:02 AM
To: Greg Barnes
Subject: Re: Berkley meadows

There was something mailed to us as a final request. On the map it looked different because the road is longer and I thought it was facing another way. Nothing is labeled and so it's confusing.

Sent from my iPhone

On Nov 13, 2018, at 10:59 AM, Greg Barnes <GJBarnes@adcogov.org> wrote:

I'm curious as to where you thought you saw differing information on road design.

<image003.jpg>**Greg Barnes**
Planner II, *Community and Economic Development Dept.*
ADAMS COUNTY, COLORADO
4430 S. Adams County Parkway, 1st Floor, Suite W2000A
Brighton, CO 80601-8216
720.523.6853 gjbarnes@adcogov.org
adcogov.org

From: marenmatt@aol.com [<mailto:marenmatt@aol.com>]
Sent: Tuesday, November 13, 2018 10:59 AM
To: Greg Barnes
Subject: Re: Berkley meadows

Darn! Ok, well then I still have the same concerns. My main one being a road going right into my living room window.

Sent from my iPhone

On Nov 13, 2018, at 8:33 AM, Greg Barnes
<GJBarnes@adcogov.org> wrote:

Hi Maren,

No, the street configuration has not changed.

<image003.jpg>**Greg Barnes**
Planner II, *Community and Economic Development Dept.*
ADAMS COUNTY, COLORADO
4430 S. Adams County Parkway, 1st Floor, Suite W2000A
Brighton, CO 80601-8216
720.523.6853 gjbarnes@adcogov.org
adcogov.org

From: marenmatt@aol.com
[<mailto:marenmatt@aol.com>]
Sent: Monday, November 12, 2018 9:50 AM
To: Greg Barnes
Subject: Re: Berkley meadows

Hello, I saw the new plans. Does this mean the streets to Berkeley meadows are now going out to 56th instead of Zuni? Thx

Sent from my iPhone

On Mar 27, 2017, at 8:52 AM, Greg Barnes
<GJBarnes@adcogov.org> wrote:

Hi Maren,

There have not been any substantial changes to the plan. We wanted to re-send it out for comments, because of the length of time it has taken for the case to go to public hearing. I'll pass your concerns on to the Planning Commission and Board of County Commissioners when this case finally makes it on their agenda.

<image003.jpg>Greg Barnes
Planner II, *Community and Economic Development*
ADAMS COUNTY, COLORADO
4430 S. Adams County Parkway
1st Floor, Suite W2000A
Brighton, CO 80601-8216
o: 720-523-6853 | gjbarnes@adcogov.org
www.adcogov.org

From: marenmatt@aol.com
[<mailto:marenmatt@aol.com>]
Sent: Sunday, March 26, 2017 1:18 PM
To: Greg Barnes
Subject: Berkley meadows

Hello, This is Maren Matthias owner of 5660 Zuni St. I recieved the "request for comments" form. I do not see any changes? I am still worried about the road being in line with my front window and causing headlights to blind us at

night. I am also worried about losing my mountain view.

Thank you
Maren Matthias

<PHN.pdf>

Greg Barnes

From: jerrysmith36@comcast.net
Sent: Wednesday, March 22, 2017 8:58 PM
To: Greg Barnes
Subject: Re: Berkeley Meadows Contact PRC 2016=00005

Please consider this to be a request for public hearing on the final plat application unless my concerns can be addressed prior to the matter coming before the County Commissioners. I am willing to meet with the applicant to discuss changes in the proposed final plat which can satisfy the concerns I expressed to the planning commission which were included in the planning commission's recommendations to the county commissioners and were included in the county commissioners' approval to proceed with the project.

At the planning commission hearing, I expressed concern and objection to the applicant proposing a 6 foot privacy fence along West 56th Avenue and Zuni Street
 s due to the desire not to have the new homes facing those streets. This would result in existing homes across those streets having a view of lengthy privacy fences running the lengths of both of these streets. New developments being designed within existing residential neighborhoods should be compatible with, and not detrimental to those neighborhoods. Put simply, the developer wants to front homes to the interior streets rather than 56th Avenue and Zuni Street. This present the nicer view to the homes to be sold and the more negative view to existing property owners or residents.

I understand some plantings along the roadways in question will shield a portion of the privacy fences, but the privacy fence along 56th Avenue will be a continuous 6' high wooden fence of approximately 300 feet in length unbroken by any intervening changes in nature. This is totally incompatible with the character of the neighborhood. This issue can be resolved in several ways. The fence can be lowered to what would be permitted in a front yard. The linear sameness of the lengthy fence could be broken with interior masonry attractive posts with height of the posts being different than the fence height. Rather than having a constant consistent height of fence, the height could vary post by post putting a more attractive curving wavelike look to the fence to break up the sameness of a stockade..

Fence design can help inclusive neighborhoods to grow or it can create a keep away look to developments within a neighborhood. 56th Avenue runs from Pecos to Federal. On the north side of the avenue there are many large lots which will develop as a result of light rail coming to the area. Single family, multifamily, and limited commercial development will occur there. It is important that this new development complement and not detract from what already exists.

Put simply would you like for a 300 foot 6 foot tall wooden fence to be built across the street from your front yard, front porch, and living room window? If your answer, spoken or thought, is no. You should not visit this on others. Attractive fences are far less likely to be degraded with graffiti and other offensive behavior.

I have reviewed several fence companies around the metro area web sites and have noted numerous options which would provide for privacy with negatively effecting existing across street family homes. I offered at the Planning Commission meeting several months ago to meet with the applicant to discuss compatible options. Little interest was shown then through this date.

I believe my testimony to the planning commission was viewed by them as reasonable, non confrontational and fair both to the developer and to those already living in the neighborhood. Had it not been viewed this way they would not have included it in the conditions recommended for approval of the development. The commissioners initial approval accepted the recommendation. There were alternatives available which could have had all homes in Berkeley Meadows facing streets with back yard abutting back yards. It may have cost more for streets, reduced the number of building sites, and perhaps modified development pricing/profit levels. A balance can be achieved with all owning property between 52nd Avenue and Clear Creek and Pecos and Federal. If the existing fence proposal is approved the interests of existing property owners will suffer and the developer interests will benefit.

A final thought, my greatest fear would be the development of other vacant land along 56th Avenue with 6 foot wooden privacy fences running most of the way between Pecos and Federal. Walls separate people. The existence of lengthy walls or sections of walls dominating an area separate communities and people. We don't care much about things we can not see. Fences which block views needlessly separate neighbors.

Feel free to forward this to all appropriate parties, I noted in your e mail that Jim Fitzmorris is the case manager. You can forward this to him or send me his e mail and I will do so. I will contact him as well. Again, I am requesting that approval not be granted without a public hearing. I would like this e mail be included verbatim as my response in this matter. Please confirm receipt.

From: "Greg Barnes"
To: "jerrysmith36@comcast.net"
Sent: Wednesday, March 22, 2017 3:49:03 PM
Subject: Berkeley Meadows Contact

Jerry,

The case manager on this project is Jim Fitzmorris. His number is 303-267-6185.



Greg Barnes
Planner II, *Community and Economic Development*
ADAMS COUNTY, COLORADO
4430 S. Adams County Parkway
1st Floor, Suite W2000A
Brighton, CO 80601-8216
O: 720-523-6853 | gjbarnes@adcogov.org
www.adcogov.org

Community & Economic
Development Department
Development Services Division
www.adcogov.org



4430 South Adams County Parkway
1st Floor, Suite W2000B
Brighton, CO 80601-8218
PHONE 720.523.6800
FAX 720.523.6967

Request for Comments

Case Name: Berkeley Meadows
Project Number: PRC2016-00005

March 17, 2017

Adams County Planning Commission is requesting comments on the following request:

1.) Application for final plat application to create a 54-lot single-family subdivision; 2) Application for final development plan to establish a Planned Unit Development of 54 single-family homes.

This request is located at 2405 W 56th Avenue. The Assessor's Parcel Number is 0182508400054.

Applicant Information: DAVID FREYRE
4301 JASON ST
DENVER, CO 80211

Please forward any written comments on this application to the Department of Community and Economic Development at 4430 South Adams County Parkway, Suite W2000A Brighton, CO 80601-8216; or call (720) 523-6800 by 04/07/2017 in order that your comments may be taken into consideration in the review of this case. If you would like your comments included verbatim please send your response by way of e-mail to GJBarnes@adcogov.org. Once comments have been received and the staff report written, the staff report and notice of public hearing dates will be forwarded to you for your information.

The full text of the proposed request and additional colored maps can be obtained by contacting this office or by accessing the Adams County web site at www.adcogov.org/planning/currentcases. Thank you for your review of this case.

Greg Barnes
Case Manager

BOARD OF COUNTY COMMISSIONERS

Eva J. Henry
DISTRICT 1

Charles "Chaz" Tedesco
DISTRICT 2

Erik Hansen
DISTRICT 3

Steve O'Dorisio
DISTRICT 4

Mary Hodge
DISTRICT 5



Request for Comments

Case Name: Berkeley Meadows
Project Number: PRC2016-00005

April 6, 2018

The Adams County Planning Commission is requesting comments on the following requests:

- 1. Final plat application to create a 54-lot single-family major subdivision;**
- 2) Final development plan to establish a Planned Unit Development.**

This request is located at 2405 W 56th Avenue. The Assessor's Parcel Number is 0182508400054.

Applicant Information: Berkeley Estates, LLC Und 50% Int
Sonrisa Holding LLC Und 50% Int
4321 Broadway, Ste 1
Denver, CO 80216-3574

Please forward any written comments on this application to the Community and Economic Development at 4430 South Adams County Parkway, Suite W2000A Brighton, CO 80601-8216, or call (720) 523-6800 by 04/27/2016 in order that your comments may be taken into consideration in the review of this case. If you would like your comments included verbatim please send your response by way of e-mail to GJBarnes@adcogov.org.

Once comments have been received and the staff report written, the staff report and notice of public hearing dates may be forwarded to you upon request.

The full text of the proposed request and additional colored maps can be obtained by contacting this office or by accessing the Adams County web site at www.adcogov.org/planning/currentcases.

Thank you for your review of this case.

Greg Barnes
Case Manager

Community & Economic
Development Department
Development Services Division

www.adcogov.org



4430 South Adams County Parkway
1st Floor, Suite W2000B
Brighton, CO 80601-8218

PHONE 720.523.6800
FAX 720.523.6967

Public Hearing Notification

Case Name: Berkeley Meadows
Case Number: PRC2016-00005
Board of County Commissioners Hearing Date: December 11, 2018 at 9:30 a.m.

October 30, 2018

A public hearing has been set by the Adams County Board of County Commissioners to consider the following requests:

- 1. Final plat application to create a 54-lot single-family major subdivision;**
- 2. Final development plan application to establish a Planned Unit Development**

This request is located at 2405 W 56th Avenue. The Assessor's Parcel Number is 0182508400054.

Applicant Information: DELWEST DEVELOPMENT CORP.
155 SOUTH MADISON STREET, SUITE 326
DENVER, CO 80209

The hearing will be held in the Adams County Hearing Room located at 4430 South Adams County Parkway, Brighton CO 80601-8216. This will be a public hearing and any interested parties may attend and be heard. The Applicant and Representative's presence at these hearings is requested. If you require any special accommodations (e.g., wheelchair accessibility, an interpreter for the hearing impaired, etc.) please contact the Adams County Community and Economic Development Department at (720) 523-6800 (or if this is a long distance call, please use the County's toll free telephone number at 1-800-824-7842) prior to the meeting date.

For further information regarding this case, please contact the Community and Economic Development Department, 4430 S Adams County Parkway, Brighton, CO 80601, 720-523-6800. This is also the location where maps and/or text certified by the Board of County Commissioners may be viewed.

The full text of the proposed request and additional colored maps can be obtained by contacting this office or by accessing the Adams County web site at www.adcogov.org/planning/currentcases.

Greg Barnes
Case Manager

BOARD OF COUNTY COMMISSIONERS

Eva J. Henry
DISTRICT 1

Charles "Chaz" Tedesco
DISTRICT 2

Erik Hansen
DISTRICT 3

Steve O'Dorisio
DISTRICT 4

Mary Hodge
DISTRICT 5

PUBLICATION REQUEST

Berkeley Meadows

Case Number: PRC2016-00005
Board of County Commissioners Hearing Date: 12/11/2018 at 9:30 a.m.

Requests: 1. Final plat application to create a 54-lot single-family major subdivision; 2) Application for final development plan to establish a Planned Unit Development.

Location: 2405 W. 56th Avenue
Parcel Number: 0182508400054

Case Manager: Greg Barnes

Applicant: DELWEST DEVELOPMENT CORP.
155 SOUTH MADISON STREET, SUITE 326
DENVER, CO 80209

Owner: DELWEST DEVELOPMENT CORP.
155 SOUTH MADISON STREET, SUITE 326
DENVER, CO 80209

Legal Description: A PARCEL OF LAND BEING A PORTION OF THE SOUTHEAST QUARTER OF SECTION 8, TOWNSHIP 3 SOUTH, RANGE 68 WEST OF THE 6TH PRINCIPAL MERIDIAN, ADAMS COUNTY, COLORADO BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS: BEGINNING AT THE SOUTHEAST CORNER OF SE 1/4 SECTION 8, THENCE NORTH ALONG SECTION LINE FOR 1464 FEET TO SOUTH LINE OF COLORADO AND SOUTHERN RAIL ROAD RIGHT OF WAY, THENCE IN A SOUTHWESTERLY DIRECTION ALONG SAID COLORADO AND SOUTHERN RAIL ROAD RIGHT OF WAY TO A POINT 331.75 FEET WEST OF EAST LINE OF SAID SECTION AND THENCE SOUTH 1364 FEET TO SOUTH LINE SAID SECTION THENCE EAST 331.75 FEET TO PLACE OF BEGINNING. EXCEPT ROAD ON SOUTH SIDE AS PER DEED OF RECORD, THE PROPERTY CONVEYED BY THE PERSONAL REPRESENTATIVE'S DEED DATED MARCH 12, 2009 AND RECORDED MARCH 12, 2009 AT RECEPTION NO. 2009000017688, AND THE PROPERTY CONVEYED BY THE PERSONAL REPRESENTATIVE'S DEED DATED MARCH 12, 2009 AND RECORDED MARCH 12, 2009 AT RECEPTION NO. 2009000017689. THE ABOVE DESCRIBED PROPERTY ALSO BEING DESCRIBED AS FOLLOWS: BASIS OF BEARINGS: THE EAST LINE OF THE SOUTHEAST QUARTER OF SECTION 8, TOWNSHIP 3 SOUTH, RANGE 68 WEST OF THE 6TH PRINCIPAL MERIDIAN, BEING MONUMENTED BY A 3-1/4" ALUMINUM CAP MARKED "PLS 16406, 1996" AT THE SOUTHEAST CORNER AND A 3-1/4" ALUMINUM CAP MARKED "PLS 20160, 1998" AT THE EAST QUARTER CORNER, BEING ASSUMED TO BEAR S00°13'28"E A DISTANCE OF 2640.17 FEET. COMMENCING AT THE SOUTHEAST CORNER OF SAID SECTION 8; THENCE ON SAID EAST LINE OF THE SOUTHEAST QUARTER, N00°13'28"W 222.47 FEET, TO A POINT ON THE NORTHERLY LINE OF THAT PARCEL AS DESCRIBED AT RECEPTION NO. 2009000017688, AND THE POINT OF BEGINNING; THENCE ON SAID NORTHERLY LINE THE FOLLOWING FOUR (4) COURSES: 1. S10°00'01"W A DISTANCE OF 168.18 FEET; 2. S08°59'41"W A DISTANCE OF 6.85 FEET; 3. S45°32'10"W A DISTANCE OF 15.93 FEET; 4. S89°12'23"W A DISTANCE OF 289.40 FEET, TO A POINT BEING 331.75 FEET WEST OF SAID EAST LINE OF THE SOUTHEAST QUARTER, THENCE N00°13'28"W A DISTANCE OF 460.01 FEET, TO THE SOUTHEAST CORNER OF NORTHRIDGE ESTATES AT GOLD RUN SUBDIVISION AS DESCRIBED UNDER RECEPTION NUMBER C0700025; THENCE ON THE EAST LINE OF SAID SUBDIVISION, N00°13'28"W A DISTANCE OF 869.57 FEET, TO A POINT ON THE SOUTHERLY RIGHT OF WAY LINE OF THE COLORADO AND SOUTHERN RAIL ROAD AS DESCRIBED IN BOOK 3475 AT PAGE 305; THENCE ON SAID SOUTHERLY RIGHT OF WAY, N73°09'25"E A DISTANCE OF 227.36 FEET, TO A POINT ON THE WESTERLY LINE OF THAT PARCEL AS DESCRIBED AT RECEPTION NO. 2009000017689; THENCE ON SAID WESTERLY LINE THE FOLLOWING TWO (2) COURSES: 1. S26°51'36"E A DISTANCE OF 135.81 FEET; 2. N89°46'28"E A DISTANCE OF 53.00 FEET TO A POINT ON SAID EAST LINE OF THE SOUTHEAST QUARTER OF SECTION 8; THENCE ON SAID EAST LINE OF THE SOUTHEAST QUARTER, S00°13'28"E A DISTANCE OF 1086.95 FEET TO THE POINT OF BEGINNING. SAID PARCEL CONTAINS AN OVERALL CALCULATED AREA OF 441,825 SQUARE FEET OR 10.143 ACRES.



Referral Listing
Case Number PRC2016-00005
Berkeley Meadows

Agency	Contact Information
Adams County	Planning Addressing PLN 720.523.6800
Adams County Construction Inspection	PWCI . PWCI 720-523-6878
Adams County Development Services - Building	Justin Blair JBlair@adcogov.org 720.523.6825 JBlair@adcogov.org
Adams County Fire Protection District	Marshall Fire 8055 N. WASHINGTON ST. DENVER CO 80229 (303) 289-4683 gpreston@acfpd.org
Adams County Treasurer: Send email	Adams County Treasurer bgrimm@adcogov.org 720.523.6376
BERKELEY WATER & SAN DISTRICT	SHARON WHITEHAIR 4455 W 58TH AVE UNIT A ARVADA CO 80002 (303) 477-1914 berkeleywater@gmail.com
Century Link	Brandyn Wiedreich 5325 Zuni St, Rm 728 Denver CO 80221 720.578.3724 720.245.0029 brandyn.wiedrich@centurylink.com
Code Compliance Supervisor	Eric Guenther eguenther@adcogov.org 720-523-6856 eguenther@adcogov.org
COLO DIV OF MINING RECLAMATION AND SAFETY	ANTHONY J. WALDRON - SENIOR ENV DEPT. OF NATURAL RESOURCES 1313 SHERMAN ST, #215 DENVER CO 80203 303-866-4926 tony.waldron@state.co.us

Agency	Contact Information
COLO DIV OF WATER RESOURCES	Joanna Williams OFFICE OF STATE ENGINEER 1313 SHERMAN ST., ROOM 818 DENVER CO 80203 303-866-3581 joanna.williams@state.co.us
COLO DIV OF WATER RESOURCES	Joanna Williams OFFICE OF STATE ENGINEER 1313 SHERMAN ST., ROOM 818 DENVER CO 80203 303-866-3581 joanna.williams@state.co.us
COLORADO DEPT OF TRANSPORTATION	BRADLEY SHEEHAN, P.E. 2000 SOUTH HOLLY ST. REGION 6 DENVER CO 80222 303-512-4271 bradley.sheehan@dot.state.co.us
COLORADO DIVISION OF WILDLIFE	Eliza Hunholz Northeast Regional Engineer 6060 BROADWAY DENVER CO 80216-1000 303-291-7454 eliza.hunholz@state.co.us
COLORADO DIVISION OF WILDLIFE	JOSEPH PADIA 6060 BROADWAY DENVER CO 80216 303-291-7132 joe.padia@state.co.us
COLORADO GEOLOGICAL SURVEY	Jill Carlson 1500 Illinois Street Golden CO 80401 303-384-2643 CGS_LUR@mines.edu
Colorado Geological Survey: CGS_LUR@mines.edu	Jill Carlson Mail CHECK to Jill Carlson 303-384-2643 CGS_LUR@mines.edu
COMCAST	JOE LOWE 8490 N UMITILLA ST FEDERAL HEIGHTS CO 80260 303-603-5039 thomas_lowe@cable.comcast.com
COUNTY ATTORNEY- Email	Christine Francescani CFrancescani@adcogov.org 6884
Engineering Department - ROW	Transportation Department PWE - ROW 303.453.8787

Agency	Contact Information
Engineering Division	Transportation Department PWE 6875
FISHER DITCH COMPANY	RUTH & GENE BRIENZA 2030 E. 68TH AVENUE DENVER CO 80229 (303) 289-1734 gb173@outdrs.net
HYLAND HILLS PARK & REC DISTRICT	TERRY BARNHART - PLANNER 8801 North Pecos Street DENVER CO 80260 (303) 650-7507 (303) 650-7507 tbarnhart@hylandhills.org
METRO WASTEWATER RECLAMATION	CRAIG SIMMONDS 6450 YORK ST. DENVER CO 80229 303-286-3338 CSIMMONDS@MWRD.DST.CO.US
North Pecos Water & Sanitation District	Russell Traska 6900 Pecos St Denver CO 80221 303-429-5770 manager@northpecoswater.org
NORTHRIDGE ESTATES AT GOLD RUN HOA	SHANE LUSSIER 14901 E Hampden Ave Suite 320 AURORA CO 80014 303-693-2118 shane@cchoapros.com
NS - Code Compliance	Andy San Nicolas asannicolas@adcogov.org 720.523.6831 asannicolas@adcogov.org
Parks and Open Space Department	Nathan Mosley mpedrucci@adcogov.org aclark@adcogov.org (303) 637-8000 nmosley@adcogov.org
REGIONAL TRANSPORTATION DIST.	CHRIS QUINN 1560 BROADWAY SUITE 700 DENVER CO 80202 303-299-2439 chris.quinn@rtd-denver.com
SHERIFF'S OFFICE: SO-HQ	MICHAEL McINTOSH nblair@adcogov.org; aoverton@adcogov.org; mkaiser@adcogov.org snielson@adcogov.org (303) 654-1850 aoverton@adcogov.org; mkaiser@adcogov.org; snielson@adcogov.org

Agency	Contact Information
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Xcel Energy	Donna George 1123 W 3rd Ave DENVER CO 80223 303-571-3306 Donna.L.George@xcelenergy.com
Xcel Energy	Donna George 1123 W 3rd Ave DENVER CO 80223 303-571-3306 Donna.L.George@xcelenergy.com

2221 W 55TH AVENUE LLC
PO BOX 2723
LOVELAND CO 80539-2723

ALBERT SHERRILL J AND
ALBERT ERICA R
2232 W 55TH AVE
DENVER CO 80221-1441

5770 BRYANT STREET LLC
14333 MEAD ST
LONGMONT CO 80504-9649

ANDASOLA LORETTA E
2290 W 57TH PL
DENVER CO 80221-6611

60TH AVENUE LLC
PO BOX 211283
DENVER CO 80221

ANDREWS JUSTIN AND
MARTINEZ ROSIO
5685 BRYANT ST
DENVER CO 80221-1871

AABAK ED
5781 CLAY STREET
DENVER CO 80221

APODACA FAMILY REALTY TRUST THE
2241 W 59TH PLACE
DENVER CO 80221

ACIERNO GEORGE R/HELEN V
BONGIOVANNI KAREN M
1090 SADDLEBACK DR
EVERGREEN CO 80439-4909

APODACA GIL S
2241 W 59TH PL
DENVER CO 80221-6614

ADAMS COUNTY
4430 SOUTH ADAMS COUNTY PKWY
BRIGHTON CO 80601-8204

ARAGON ALBERT A AND
ARAGON DIANE C
5600 CLAY ST
DENVER CO 80221-1840

ADLER VIRGINIA A
3271 ARBUTUS ST
GOLDEN CO 80401-1682

ARCHULETA EVELYN M
5515 ZUNI ST
DENVER CO 80221-1403

ADUAN MUHAMMAD A AND
ADUAN AMANDA S
2272 W 55TH AVE
DENVER CO 80221

ARIAS JERRY A AND
ARIAS RITA L
2330 W 56TH AVE
DENVER CO 80221

AGUILAR ALEJANDRO J AND
AGUILAR AUDREY J
5560 VALLEJO ST
DENVER CO 80221-1448

ARMIJO ELAINE MARIE
5460 ALCOTT ST
DENVER CO 80221-1622

AGUIRRE ROSE
5610 BRYANT ST
DENVER CO 80221-1851

ARROYOS MELISSA AND
ARROYOS EDUARDO
2661 W 58TH AVE
DENVER CO 80221-1854

AYALA BALTAZAR AND
GARCIA TERESA
2223 W 58TH PL
DENVER CO 80221

BERZOZA YOLANDA L
2241 W 55TH AVE
DENVER CO 80221-1440

AYALA BALTAZAR M
2225 W 58TH PLACE
DENVER CO 80221

BLEA AUGUSTINE
2301 W 57TH AVE
DENVER CO 80221-1869

AYALA BALTAZAR M
2225 W 58TH PL
DENVER CO 80221-6612

BLEA DELLA E AND BLEA DOMITILIO S
5635 BRYANT STREET
DENVER CO 80221

AYALA LEONARDO AND
AYALA ANIBAL
2345 W 56TH AVE
DENVER CO 80221

BLUME KYLE A
2201 W 55TH AVE
DENVER CO 80221-1440

BAIER KELLY D
2381 W 58TH AVE
DENVER CO 80221-1827

BOCARDI ZAMITIZ DAVID ENRIQUE
5665 BRYANT ST
DENVER CO 80221-1871

BARELA JOSEPH MARTIN
5655 BRYANT STREET
DENVER CO 80221

BROOKS VALERIE K
4727 W 37TH AVE
DENVER CO 80212-2085

BARRERA ARTURO
2391 W 59TH PL
DENVER CO 80221-1834

BRUSHABER JAMES E AND
BRUSHABER KRISTE C
2451 W 55TH AVE
DENVER CO 80221-1610

BEAUTIFUL LAND LLC
10659 OURAY CT
COMMERCE CITY CO 80022-0567

BURNETT MARGARET J
32220 PINE VIEW DR
KIOWA CO 80117-8910

BERKELEY ESTATES LLC UND 50% INT AND
SONRISA HOLDING LLC UND 50% INT
4321 BROADWAY STE 1
DENVER CO 80216-3574

BURSON PAUL J AND
BURSON ROSA MARIA
5560 ALCOTT ST
DENVER CO 80221-1624

BERNAL NELLY
2681 W 58TH AVE
DENVER CO 80221

BUTLER DEBORAH L
2359 W MOFFAT PL
DENVER CO 80221

CALCEDO LUIS A
2221 W MOFFAT PL
DENVER CO 80221-1442

CASTANEDA JOSE M
5670 BRYANT ST
DENVER CO 80221-1851

CANO IMELDA AND
CANO DELORES
1070 ELM PL
THORNTON CO 80229-7725

CASTILLO MANUELA A AND
ARREOLA MANUEL DE JESUS ORTIZ
5751 CLAY ST
DENVER CO 80221-1852

CARDENAS CLAUDETTE JO
5711 CLAY ST
DENVER CO 80221-1852

CASTILLO REFUGIO AND
CASTILLO DULEMIA
2340 W 57TH AVE
DENVER CO 80221-1870

CARDENAS NATHAN
5621 CLAY ST
DENVER CO 80221-1844

CASTILLO RITA
2216 W MOFFAT PL
DENVER CO 80221-1443

CARDOZA JOSE LIUS GUERECIA
2270 W 59TH PL
DENVER CO 80221-6615

CAVOTO CATHERINE
5730 BRYANT STREET
DENVER CO 80221

CARESS ROBERTA
5754 CLAY ST
DENVER CO 80221-1853

CHAVEZ ALEJANDRO BARRAZA
2551 W 58TH AVENUE
DENVER CO 80221

CARMONA BRANDY LYNN AND
MACIAS HELEN
5750 BRYANT ST
DENVER CO 80221-1856

CHAVEZ OSCAR JURADO
1924 W 76TH AVE APT 305
DENVER CO 80221-3329

CARRASCO MARIA P
2380 W 58TH AVE
DENVER CO 80221

CHIARAMONTI VICTORIA
2551 W 55TH AVE
DENVER CO 80221-1611

CARRASCO MARIA P
2360 W 58TH AVE
DENVER CO 80221

CHONG CHOR YING AND
HUI HOI M
5634 CLAY STREET
DENVER CO 80221

CARRASCO MARIA PIEDAD
2360 W 58TH AVE
DENVER CO 80221-1828

CHOW AMY Y
300 W 45TH TER UNIT 202
KANSAS CITY MO 64111-3310

CIPRI PHIL REVOCABLE TRUST THE
2550 W 56TH AVE
DENVER CO 80221-1812

CURWEN EMMA A
2335 W 56TH AVE
DENVER CO 80221-1807

CLARK CHARLENE P
5551 UMATILLA ST
DENVER CO 80221-1475

CUTFORTH WILLIAM A AND
CUTFORTH JEANIE C
5075 BRYANT ST
DENVER CO 80221-1213

CLARK JAMES ROBERT FAMILY TRUST THE
2300 W 59TH PL
DENVER CO 80221-1835

DAMIAN MATTHEW AND
DAMIAN MARINA
5728 ALCOTT STREET
DENVER CO 80221

CLAYPOOL DAVID
2201 W 56TH PL
DENVER CO 80221-6606

DAO TUNG AND HUYNH PHUONG Q
15527 E PROGRESS DR
CENTENNIAL CO 80015-4257

CONTRERAS SERGIO ANTONIO
5774 CLAY STREET
DENVER CO 80221

DAVIE REBECCA L
2015 S OLATHE
AURORA CO 80013

COUNTY OF ADAMS THE
4430 SOUTH ADAMS COUNTY PKWY
BRIGHTON CO 80601-8204

DAVIS ZACKARY
5637 WYANDOT ST
DENVER CO 80221-1857

COURTNEY JESSIC A TARA AND
COURTNEY RICHARD HARDING
2212 W 55TH AVE
DENVER CO 80221-1441

DE CRESCENTIS ANTHONY J
2885 W 56TH AVE
DENVER CO 80221

COWAN DAVID E
2291 W 59TH PL
DENVER CO 80221-6614

DE HERRERA LINDA AND
JIMENEZ PATRICIA
2320 W 56TH AVE
DENVER CO 80221-1808

COX CLIFF AND
HERNANDEZ SYBENIE
5654 CLAY STREET
DENVER CO 80221

DE LOS SANTOS JAVIER AND
DE LA ROSA NICOLASA
5734 CLAY ST
DENVER CO 80221-1853

CSWM PROPERTIES LLC
2489 GROSS DAM RD
GOLDEN CO 80403-9799

DECKER JOHN L AND
DECKER DIANNA L
2341 W 59TH PL
DENVER CO 80221-1834

DELISA RONNIE R
2251 W 54TH PL
DENVER CO 80221-1467

DURAN ANTHONY A AND
DURAN JOANN A
5545 ZUNI ST
DENVER CO 80221-1403

DESHON MATTHEW C
5482 ZUNI ST
DENVER CO 80221-1479

DURAN JULIAN J AND
DURAN LOUISE B
5481 BEACH COURT
DENVER CO 80221-1625

DIETZ ERIC
2230 W 59TH PL
DENVER CO 80221-6613

EBERL DORIS I
2315 W MOFFAT PL
DENVER CO 80221

DISNER PATRICK HENRY AND
DISNER KATHLEEN I
250 CARRICO ST
PAGOSA SPRINGS CO 81147

EISWORTH CLINTON
2220 W MOFFAT PL
DENVER CO 80221-1443

DISTLER CHRISTOPHER
2260 W 57TH PL
DENVER CO 80221-6611

ESCALERA GUSTAVO
2701 W 55TH AVE
DENVER CO 80221-1615

DIXON ROBERT F JR
5660 BRYANT ST
DENVER CO 80221-1851

ESCOBAR JULIAN AND ESCOBAR LUZ MARIA AND
ESCOBAR OGA
2551 W 56TH AVE
DENVER CO 80221-1811

DOWHAN LISA MARIE/JOHNNY
JAMES/BRITO JEFFREY L
4545 YULLE RD
BENNETT CO 80102-8915

ESCOBEDO MARCO A AND
ESCOBEDO VERONICA
5681 CLAY STREET
DENVER CO 80221

DOYLE FRANCIS
2331 W 54TH PL
DENVER CO 80221-1483

ESPINOZA MARK AND
SAAVEDRA MARIA O
5700 BRYANT ST
DENVER CO 80221-1856

DUENAS SAMUEL
5738 ALCOTT ST
DENVER CO 80221-1855

EYTH JEFF S
2610 W 56TH AVE
DENVER CO 80221-1800

DUMEYER BEVERLEY J
5518 CLAY STREET
DENVER CO 80221

FALLER DEBRA JEAN
2201 W 57TH PL
DENVER CO 80221-6610

FARMER KELLY B AND
KORTE JENNIFER MARIA
5630 ALCOTT ST
DENVER CO 80221-1837

GARCIA FARRAH R AND
RESSLER CHRIS J
5675 BRYANT ST
DENVER CO 80221-1871

FED58 LLC
3535 LARIMER ST
DENVER CO 80205-2421

GARCIA GINA V
2360 W MOFFAT PL
DENVER CO 80221-1482

FENG GUANG NING AND
FENG XUE ZHENG
5755 BRYANT ST
DENVER CO 80221-1843

GARCIA LUCAS R
5768 ALCOTT ST
DENVER CO 80221-1855

FERGUSON DALONE
5480 ALCOTT ST
DENVER CO 80221-1622

GARCIA NOHEMI
2301 W 56TH AVE
DENVER CO 80221-1807

FISHER WILLIAM L AND
DAILEY-FISHER DEBRA A
2222 W 58TH PL
DENVER CO 80221-6613

GARRETT DWAYNE D TRUST UA THE
2600 W 56TH AVE
DENVER CO 80221-1800

FOSTER WILLIAM ROBERT AND
FOSTER TIMOTHY E AND FOSTER ELLEN P
2544 W 55TH AVE
DENVER CO 80221-1644

GETTE JAMES W AND
GETTE KATHRYN R
5580 CLAY ST
DENVER CO 80221-1635

FOX ANGELA
7717 S GRAPE CT
CENTENNIAL CO 80122-3810

GIBSON MARY JANE
2552 W 56TH AVE
DENVER CO 80221-1812

FRIAS GAMEZ IVAN ORLANDO
4100 ALBION ST UNIT 315
DENVER CO 80216-4442

GLIM CRYSTAL NICOLE
2360 W 57TH AVE
DENVER CO 80221-1870

FUENTES JERRY L
5560 CLEAR CREEK DR
DENVER CO 80212-2832

GONZALEZ CLAUDIA
5771 CLAY STREET
DENVER CO 80221

GALVAN B RAUL
5787 ALCOTT STREET
DENVER CO 80221

GONZALEZ ROGELIO T AND
GONZALEZ ANA MARIA
7625 HOOKER ST
WESTMINSTER CO 80030-4527

GRISWOLD MATTHEW B
5555 ZUNI ST
DENVER CO 80221-1403

HERNANDEZ JURADO ELIEL AND
DEHERNANDEZ ABIGAIL
5533 ALCOTT ST
DENVER CO 80221-1623

GUTIERREZ HIPOLITO
2391 W 54TH PL
DENVER CO 80221-1483

HERNANDEZ MERCEDES
5520 VALLEJO ST
DENVER CO 80221-1448

GUTIERREZ TERESA
4510 W 63RD
ARVADA CO 80003

HERRERA ALBERTO E AND
HERRERA ESTHER A
2323 W MOFFAT PL
DENVER CO 80221-1442

GUZMAN ALEXANDRA VILLAGOMEZ AND
VILLAGOMEZ ISMAEL
5731 CLAY ST
DENVER CO 80221-1852

HERRERA CONCEPCION III AND
MEDINA STEVEN E
4551 FEDERAL BLVD
DENVER CO 80211

HANNA WILLIAM M AND
HANNA BETH A
5704 CLAY STREET
DENVER CO 80221

HERRERA JUAN AND
NUNEZ NELYDA
5717 ALCOTT STREET
DENVER CO 80221

HARRISON MARY A
5581 ZUNI ST
DENVER CO 80221-1454

HINKLE GERTRUDE I REVOCABLE LIVING TRUST
2205 W MOFFAT PL
DENVER CO 80221-1442

HARROD TERREY
2220 W 56TH AVE
DENVER CO 80221-6605

HOLGUIN ERASMO
2456 W 56TH AVE
DENVER CO 80221

HAUER DANIE AND
CHAU CHRISTINA
2410 W 56TH AVE
DENVER CO 80221-1810

HOMRA DAVID G AND
HOMRA REGINNA G
2220 W 56TH PL
DENVER CO 80221-6607

HAWK BEVERLY M
2341 W 57TH AVE
DENVER CO 80221-1869

HOPPMANN STEVEN LEE
5677 ALCOTT STREET
DENVER CO 80221

HERNANDEZ JOHN A AND
HERNANDEZ GERALDINE
4655 LOWELL BLVD
DENVER CO 80211-1169

HUERENA VERA M
2200 W MOFFAT PL
DENVER CO 80221-1443

HUYNH SONNY AND
NGUYEN THU THI AND HUYNH KIM NGAN
5710 BRYANT STREET
DENVER CO 80221

JONES MARK C AND
JONES REBECCA J
2471 W 55TH AVE
DENVER CO 80221-1610

IBARRA ANA E AND
IBARRA-DUARTE POLICARPIO
2351 E 116TH WAY
THORNTON CO 80233-2340

JUAREZ SOCORRO AND
CERVANTES ANDREA LOYA
2321 W 57TH AVE
DENVER CO 80221-1869

INGALLS STANLEY W AND
INGALLS CARMEN C
5646 WYANDOT STREET
DENVER CO 80221

JUAREZ-VERA BERNARDA
2665 W 55TH AVE
DENVER CO 80221-1613

INGALLS STANLEY W AND
INGALLS CARMEN C
2291 W 56TH AVE
DENVER CO 80221-6604

JUAREZ-VERA CARLOS
5506 CLAY STREET
DENVER CO 80221

JACKSON LARRY T
2735 W 56TH AVENUE
DENVER CO 80221

JUETT LEONARD C AND
JUETT HELEN L
2391 W 56TH AVE
DENVER CO 80221-1807

JARA VICTOR AND
FARIAS LAURA
5688 ALCOTT ST
DENVER CO 80221-1837

KASPER JOSEPH H AND
KASPER ROWENA
5701 CLAY STREET
DENVER CO 80221

JIMENEZ EDUARDO AND JULIA
2213 W 57TH PL
DENVER CO 80221-6610

KASSEL FAMILY TRUST THE
KASSEL DAVID J/HELENA A TRUSTEES
PO BOX 6891
NAPA CA 94581-1891

JIMENEZ PRISCILLA
2320 W 57TH AVE
DENVER CO 80221-1870

KNOLL DAVID E AND
KNOLL JENNIE S
5631 CLAY STREET
DENVER CO 80221

JOHNSON MATTHEW P AND
JOHNSON KATHLEEN A
2692 S NELSON COURT
LAKEWOOD CO 80227

LAW SHEENA AND
MARTINEZ NICHOLAS L
5471 ZUNI ST
DENVER CO 80221-1456

JONES CLARENCE M JR
5650 BRYANT STREET
DENVER CO 80221

LEE MICHELE AND
BACA JAMES
2201 W MOFFAT PL
DENVER CO 80221-1442

LEE SUSAN L AND
LEE DINO
5748 ALCOTT ST
DENVER CO 80221-1855

LUJAN DENISE V AND
LUJAN PAUL A
5667 ALCOTT ST
DENVER CO 80221-1836

LEQUIRE CHRISTIANNA DORIS
8340 W 17TH AVE
LAKEWOOD CO 80214-5914

LUJAN ELEANOR M AND
LUJAN ELOY
6730 IRVING ST
DENVER CO 80221-2642

LEVY GEOFFREY
316 DERBY LN
HENDERSONVILLE NC 28739-9724

MACHMULLER DREW D
5550 ALCOTT ST
DENVER CO 80221-1624

LEVY TINA
5640 ZUNI ST
DENVER CO 80221-1864

MADRID ALEX I
2291 W 56TH PLACE
DENVER CO 80221

LIGHTCAP JOHN C AND
HANSON RENAE C
5778 ALCOTT ST
DENVER CO 80221-1855

MAESTAS DEBBIE C AND
DIXON RYAN M
2301 W 58TH AVE
DENVER CO 80221-1827

LITTLETON BRIAN J
2221 W 57TH PL
DENVER CO 80221-6610

MAJALCA CIPRIANO
4930 UMATILLA STREET
DENVER CO 80221

LITTRELL STANLEY A AND
LITTRELL JUDY L
2361 W 55TH AVE
DENVER CO 80221-1481

MALLORY SEAN
2250 W 59TH PL
DENVER CO 80221-6615

LONNSBURRY BONI
5510 VALLEJO ST
DENVER CO 80221-1448

MANCHA ANA LILIA
5551 TEJON ST
DENVER CO 80221

LOPEZ GILBERTA AND
WORTHAM KAREN J
5620 BRYANT STREET
DENVER CO 80221

MANCHA BLANCA E AND GALINDO MARTIN
2227 W 37TH AVE
DENVER CO 80211-2919

LOTT CARA LYNN
2300 W 56TH AVE
DENVER CO 80221-1808

MANN PROPERTIES LTD
5115 RACE CT
DENVER CO 80216-2134

MARCHESE ANTHONY AND
MARCHESE KARRIE
7562 LUPINE CT
ARVADA CO 80007-7899

MARTINEZ REYNALDO E
4921 VALLEJO ST
DENVER CO 80221

MARCHESE ANTHONY J AND
MARCHESE KARRIE L
7562 LUPINE COURT
ARVADA CO 80007

MATOS ALDO M AND
MATOS MARIA R
2291 W 54TH PL
DENVER CO 80221-1467

MARIN LAUREL A AND
MARIN NORMAN E
5767 ALCOTT ST
DENVER CO 80221-1839

MATOS MARIA R AND
MATOS ALDO M
2291 W 54TH PLACE
DENVER CO 80221

MARTINEZ ALBERT V JR
2271 W 59TH PL
DENVER CO 80221-6614

MATTHEWS STEVEN C AND
SILANO KRISTA R
2350 W MOFFAT PL
DENVER CO 80221-1482

MARTINEZ DAVID R
5461 ZUNI ST
DENVER CO 80221-1456

MATTHIAS MAREN
5660 ZUNI ST
DENVER CO 80221-1864

MARTINEZ EDGAR R AND
CANO JACQUELINE
5650 ZUNI ST
DENVER CO 80221-1864

MC BAIN HELEN J
2220 W 57TH PL
DENVER CO 80221-6611

MARTINEZ FRANCISCO
2372 W 55TH AVE
DENVER CO 80221-1480

MEANS DONNA
5661 ALCOTT STREET
DENVER CO 80221

MARTINEZ FRANCISCO R
2372 W 55TH AVE
DENVER CO 80221-1480

MEDINA RAYMOND A
2321 W 55TH AVE
DENVER CO 80221

MARTINEZ JAMES DANIEL
2292 W 55TH AVE
DENVER CO 80221-1441

MERCURI BENJAMIN R AND
MERCURI KARLEEN H
5580 VALLEJO ST
DENVER CO 80221-1448

MARTINEZ LORETTA A
5758 ALCOTT ST
DENVER CO 80221-1855

MILLER VIVIAN L
2313 W MOFFAT PL
DENVER CO 80221-1442

MILLISOR AARON AND
MILLISOR LAUREN
4030 TEJON ST APT 102
DENVER CO 80211-2245

NORTHRIDGE ESTATES AT GOLD RUN
HOMEOWNERS ASSOCIATION
2305 CANYON BLVD SUITE 200
BOULDER CO 80302

MONDRAGON AUGUSTINE ROBERT AND
MONDRAGON DORIS F
2531 W 58TH AVE
DENVER CO 80221

ORNELAS RODOLFO AND
ORNELAS EDELMIRA
5490 BRYANT ST
DENVER CO 80221-1628

MONTOYA DELFINO AND MONTOYA HELEN L AND
MONTOYA SCOTT M
3321 ALCOTT ST
DENVER CO 80211

ORTEGA MICHAH AND
ORTEGA PATRICIA
5684 CLAY STREET
DENVER CO 80201

MORA CINDY A
7726 DURANGO ST
DENVER CO 80221-4147

ORTIZ ERASMO AND ORTIZ MARIA
2200 W 56TH PLACE
DENVER CO 80221

MORENO MOISES AND
RUIZ LILIANA T
2361 W 58TH AVE
DENVER CO 80221

ORTIZ JESSICA
5655 ALCOTT ST
DENVER CO 80221-1836

MULLOY ERYN AND
KOSLOW VIRGINIA
5480 BRYANT ST
DENVER CO 80221-1628

OSTRY FAMILY LIVING TRUST THE
18293 E EUCLID PL
AURORA CO 80016-1143

NAKAOKI JIRO AND
NAKAOKI REIKO JEAN
5470 BRYANT ST
DENVER CO 80221-1628

PADILLA DOLORES
5651 WYANDOT ST
DENVER CO 80221-1857

NEVAREZ MARCELO GUTIERREZ
2201 W 56TH AVE
DENVER CO 80221-6604

PADILLA JUAN M JR AND
PADILLA JUAN M SR
5777 ALCOTT ST
DENVER CO 80221-1839

NGUYEN TRONG AND
NGUYEN NGOC BICH
5740 BRYANT STREET
DENVER CO 80221

PALACIOS JFRANCISCO
2561 W 56TH AVE
DENVER CO 80221-1811

NOMASPO LLC
851 S HIGH ST
DENVER CO 80209-4548

PARKER MICHAEL C
2252 W 55TH AVE
DENVER CO 80221-1441

PARRIOTT JOEL L AND
SCHNEIDER JILL T
5718 ALCOTT STREET
DENVER CO 80221

PIERSON GERALDINE
2520 W 56TH AVE
DENVER CO 80221-1812

PATINO-CARDENAS ABRAHAM
5660 ALCOTT ST
DENVER CO 80221

POOVEY ANGELA
5727 ALCOTT ST
DENVER CO 80221-1839

PATRICK DEWEY R AND
PATRICK RHONDA A
9520 S FIELD WAY
LITTLETON CO 80127

POPP EDITH ANN AND
FISHER DEBRA A
2321 W 58TH AVE
DENVER CO 80221-1827

PAYAN FERNANDO AND PAYAN ANA B
2501 W 56TH AVE
DENVER CO 80221-1809

PORTILLOS ESTHER M
2500 W 56TH AVE
DENVER CO 80221-1812

PAYAN ROSA MARIA AND
PAYAN ALBERTO L
2332 W 55TH AVE
DENVER CO 80221

POWELL KELLIE A
2224 W 58TH PL
DENVER CO 80221-6613

PERALES RAFAEL
2352 W 55TH AVENUE
DENVER CO 80221

QUINTANA MIGUEL R AND
QUINTANA YVETTE H
5735 BRYANT STREET
DENVER CO 80221

PEREIRA RITA
5674 CLAY ST
DENVER CO 80221-1840

RADE MAHLON V
2525 W 55TH AVE
DENVER CO 80221-1611

PEREZ ALEX J AND
PEREZ JACQUELYNE S
2392 W 55TH AVE
DENVER CO 80221-1480

RAMIREZ ANACLETA
C/O JDI INVESTMENTS, LLC
2698 S FEDERAL BLVD
DENVER CO 80219-6032

PEREZ ALFREDO
5661 CLAY STREET
DENVER CO 80221

RAMIREZ BENJAMIN AND
RAMIREZ ELIZABETH
5737 ALCOTT STREET
DENVER CO 80221

PERRY ROBERT AND
PERRY THUY
5590 CLAY ST
DENVER CO 80221-1635

RAMIREZ LUDIVINA M AKA
RAMIREZ LUDIVINA MAJALCA
2371 W 54TH PL
DENVER CO 80221-1483

RAMIREZ TERESA J AND
GABALDON JULIE A
2309 W MOFFAT PL
DENVER CO 80221

SANDOVAL BEN G
5543 ALCOTT ST
DENVER CO 80221-1623

RIVERA JUAN J
5659 ALCOTT ST
DENVER CO 80221-1836

SANDOVAL PAUL R AND JUDY A FAMILY TRUST
5545 ALCOTT ST
DENVER CO 80221-1623

ROBINSON DANIEL J AND
ROBINSON DANIELLE C
5550 VALLEJO ST
DENVER CO 80221-1448

SAYLOR HARRY M AND
SAYLOR JOYCE M
5460 BEACH CT
DENVER CO 80221-1626

ROCKY MOUNTAIN PRESTRESS LLC
5801 PECOS ST
DENVER CO 80221-6644

SCHULTZ KELLY
5671 CLAY STREET
DENVER CO 80221

ROGERS SUNDAY LOUISE
2330 W MOFFAT PL
DENVER CO 80221-1482

SEGURA MICHELLE
5555 ALCOTT ST
DENVER CO 80221-1623

RUSSELL ALEXANDRIA
2240 W 56TH PL
DENVER CO 80221-6607

SERDY KEVIN
2300 W 58TH AVE
DENVER CO 80221-1828

RUSSELL JOSH L AND
RUSSELL PAULETTE J
5720 BRYANT STREET
DENVER CO 80221

SHERMAN AARON
5510 CLAY ST
DENVER CO 80221-1635

RUTTER DAVID A AND
RUTTER LAURETTE S
2200 W 56TH AVE
DENVER CO 80221-6605

SIERRA TIRZO AND
SIERRA CELIA/ALICIA
5690 BRYANT STREET
DENVER CO 80221

SALAZAR PETE AND
SALAZAR STELLA C
2211 W 58TH PL
DENVER CO 80221-6612

SILVER HOLDINGS LLC
2150 W 60TH AVE APT S
DENVER CO 80221-6623

SANCHEZ MICHELLE LYDIA
5615 BRYANT ST
DENVER CO 80221-1871

SIMPKINS LAURA AND
SIMPKINS DAVID
5472 ZUNI ST
DENVER CO 80221-1479

SKOOG BILLY L AND
SKOOG ROBIN K
2462 W 56TH AVE
DENVER CO 80221-1810

STARK NICOLE MARIE AND
SKORKA KRZYSZTOF J
2196 W 56TH AVENUE
DENVER CO 80221

SLATER TRACESEA H
2220 W 58TH PL
DENVER CO 80221-6613

STEFANICH DAVID
6300 W 49TH DR
WHEAT RIDGE CO 80033-3679

SMEJKAL BARI W
5552 ALCOTT ST
DENVER CO 80221-1624

STOLL AMELIA L AND
GOSNELL THOMAS C
2340 W MOFFAT PL
DENVER CO 80221-1482

SMITH ANDREW L AND
DUBNER ANNETTE C
5678 ALCOTT STREET
DENVER CO 80221

SUAZO BOBBY
2210 W 58TH PL
DENVER CO 80221-6613

SMITH JERRY AND
SMITH ERIK P
PO BOX 72
KITTREDGE CO 80457-0072

SUFI IMRAN
2591 W 58TH AVE
DENVER CO 80221-1854

SMITH KEVIN
2300 W MOFFAT PL
DENVER CO 80221-1482

SZWANKOWSKI JAMES B
5714 CLAY ST
DENVER CO 80221-1853

SMITH LINDA CHRISTINE
5495 BRYANT ST
DENVER CO 80221-1627

TANNER PAMELA K
2601 W 55TH AVE
DENVER CO 80221-1613

SORENSEN STACEY ALLEN AND
SORENSEN NANCY JANE
2570 W 56TH AVE
DENVER CO 80221-1812

THOMPSON DONALD L SR
THOMPSON DONALD L JR/DONNA N
2590 W 56TH AVE
DENVER CO 80221-1812

SPERO MICHAEL J
5530 VALLEJO ST
DENVER CO 80221-1448

TINOCO MARIO AND
TINOCO GUADALUPE A
5745 BRYANT ST
DENVER CO 80221-1843

SPR SUB LLC
1717 MAIN ST STE 2000
DALLAS TX 75201-4657

TOTO JAMES A
2186 W 56TH AVE
DENVER CO 80221-6603

TRAN TRUNG Q AND
TRAN THY N
2621 W 58TH AVE
DENVER CO 80221

VASQUEZ RON
8433 ZINNIA CT
ARVADA CO 80005-1100

TRUJILLO RUSSELL A AND
TRUJILLO TAMMY L
5715 BRYANT ST
DENVER CO 80221-1843

VAUGHAN JOHN AND JULIENE LIVING TRUST
1916 UTE CREEK DR
LONGMONT CO 80504-3767

TYSON LESLIE ANN
5620 ZUNI STREET
DENVER CO 80221

VAZQUEZ JOSE LUIS AND
VAZQUEZ MARIA R
2571 W 58TH AVE
DENVER CO 80221-1854

UNION PACIFIC RAILROAD
PROPERTY TAX DEPARTMENT
1400 DOUGLAS STOP 1640
OMAHA NE 68179-1640

VERA RAFAEL MARTINEZ AND
URIBE MARIA E MARTINEZ
5565 FEDERAL BLVD LOT 34
DENVER CO 80221-8802

VALDEZ JUAN FRANK
2261 W 56TH PL
DENVER CO 80221-6606

VERTICAL VALUE ASSETS II LLC
ATTN SCOTT MC CORMICK
7750 W 94TH PL
BROOMFIELD CO 80021-8656

VALDEZ RICHARD T AND
VALDEZ BARBARA G
2341 W 58TH AVE
DENVER CO 80221-1827

VETTER RON AND
VETTER BARBARA
2461 W 55TH AVE
DENVER CO 80221-1610

VALDEZ WILLIAM M AND
LECHUGA CHALANE E
2317 W MOFFAT PL
DENVER CO 80221-1442

VIALPANDO IRENE J
5640 BRYANT STREET
DENVER CO 80221

VALDIVIA RODOLFO DAVID AND
VALDIVIA MIQUELEEN
2225 W 57TH PL
DENVER CO 80221-6610

VIALPANDO JOHNNY R AND
VIALPANDO NIKKI
5651 CLAY STREET
DENVER CO 80221

VARGAS JAVIER
6125 E 123RD WAY
BRIGHTON CO 80602-4607

VIALPANDO SHARON L
5707 ALCOTT STREET
DENVER CO 80221

VASQUEZ JOLEEN LYNETTE
5705 BRYANT STREET
DENVER CO 80221

VIGIL JUAN E II
2301 W 59TH PL
DENVER CO 80221-1834

VILLA FRANCISCO
2500 W 55TH AVE
DENVER CO 80221-1644

WIESE WILLIAM GLEN
2660 W 56TH AVE
DENVER CO 80221-1800

VILLA FRANCISCO
2550 W 55TH AVE
DENVER CO 80221

WILLIAMS KRISTY D
2320 W 58TH AVE
DENVER CO 80221-1828

VILLA FRANCISCO AND
VILLA MARICELA P
2565 W 55TH AVE
DENVER CO 80221-1611

WILLIAMS MARK D AND
THOMPSON RACHEL L
2571 W 55TH AVE
DENVER CO 80221-1611

VILLANUEVA IGNACIO AND
VILLANUEVA DAMARIS
5689 WYANDOT ST
DENVER CO 80221-1857

WISEMAN ZACHARY ROBERT AND
ADAM CALISSE MARIE
2241 W 56TH PL
DENVER CO 80221-6606

VOILES GERALDINE PIERSON
2520 W 56TH AVE
DENVER CO 80221-1812

WOOD KEITH AND WOOD CARRIE
5799 CRESTBROOK CIR
MORRISON CO 80465-2201

VU TIEN AND
NGUYEN DAO
5697 ALCOTT STREET
DENVER CO 80221

WOOLERY MICHAEL R AND
WOOLERY LACEY E
5757 ALCOTT ST
DENVER CO 80221-1839

WENCEL JOLANTA
14502 COLUMBINE ST
THORNTON CO 80602-7313

WORLEY DAROLD
5550 CLAY ST
DENVER CO 80221-1635

WERNSMANN ERICA AND
LOPPNOW STEPHEN
2350 W 56TH AVENUE
DENVER CO 80221-1808

YARISH BRUCE AND
YARISH SHANNON
2340 W 58TH AVE
DENVER CO 80221

WEST SPANISH CONGREGATION OF JEHOVAH S
WITNESSES/ C/O MANUEL MENDEZ
2675 W 56TH AVE
DENVER CO 80221-1811

YOUNG JAMES FRANK AND
YOUNG STEVEN DAVID
2290 W 59TH PL
DENVER CO 80221-6615

WHITAKER EMILY
5760 BRYANT STREET
DENVER CO 80221

YOUNT ROLAND G TRUST FBO
YOUNT SAMANTHA A
6059 S QUEBEC ST STE 202
ENGLEWOOD CO 80111-4523

ZAPATA MARIA E AND
LORAN RICHARD
5482 ALCOTT STREET
DENVER CO 80221

ZHANG ZONGCHUN
20 CORAL PL
GREENWOOD VILLAGE CO 80111-3463

CURRENT RESIDENT
5515 ZUNI ST
DENVER CO 80221-1403

CURRENT RESIDENT
2252 W 55TH AVE
DENVER CO 80221-1441

CURRENT RESIDENT
5545 ZUNI ST
DENVER CO 80221-1403

CURRENT RESIDENT
2272 W 55TH AVE
DENVER CO 80221-1441

CURRENT RESIDENT
5555 ZUNI ST
DENVER CO 80221-1403

CURRENT RESIDENT
2292 W 55TH AVE
DENVER CO 80221-1441

CURRENT RESIDENT
2323 1/2 W MOFFAT PL
DENVER CO 80221-1409

CURRENT RESIDENT
2201 W MOFFAT PL
DENVER CO 80221-1442

CURRENT RESIDENT
2201 W 55TH AVE
DENVER CO 80221-1440

CURRENT RESIDENT
2205 W MOFFAT PL
DENVER CO 80221-1442

CURRENT RESIDENT
2221 W 55TH AVE
DENVER CO 80221-1440

CURRENT RESIDENT
2221 W MOFFAT PL
DENVER CO 80221-1442

CURRENT RESIDENT
2241 W 55TH AVE
DENVER CO 80221-1440

CURRENT RESIDENT
2309 W MOFFAT PL
DENVER CO 80221-1442

CURRENT RESIDENT
2285 W 55TH AVE
DENVER CO 80221-1440

CURRENT RESIDENT
2313 W MOFFAT PL
DENVER CO 80221-1442

CURRENT RESIDENT
2212 W 55TH AVE
DENVER CO 80221-1441

CURRENT RESIDENT
2315 W MOFFAT PL
DENVER CO 80221-1442

CURRENT RESIDENT
2232 W 55TH AVE
DENVER CO 80221-1441

CURRENT RESIDENT
2317 W MOFFAT PL
DENVER CO 80221-1442

CURRENT RESIDENT
2359 W MOFFAT PL
DENVER CO 80221-1442

CURRENT RESIDENT
5560 VALLEJO ST
DENVER CO 80221-1448

CURRENT RESIDENT
2200 W MOFFAT PL
DENVER CO 80221-1443

CURRENT RESIDENT
5570 VALLEJO ST
DENVER CO 80221-1448

CURRENT RESIDENT
2210 W MOFFAT PL
DENVER CO 80221-1443

CURRENT RESIDENT
5580 VALLEJO ST
DENVER CO 80221-1448

CURRENT RESIDENT
2216 W MOFFAT PL
DENVER CO 80221-1443

CURRENT RESIDENT
5451 ZUNI ST
DENVER CO 80221-1456

CURRENT RESIDENT
2220 W MOFFAT PL
DENVER CO 80221-1443

CURRENT RESIDENT
5461 ZUNI ST
DENVER CO 80221-1456

CURRENT RESIDENT
5510 VALLEJO ST
DENVER CO 80221-1448

CURRENT RESIDENT
5471 ZUNI ST
DENVER CO 80221-1456

CURRENT RESIDENT
5520 VALLEJO ST
DENVER CO 80221-1448

CURRENT RESIDENT
5481 ZUNI ST
DENVER CO 80221-1456

CURRENT RESIDENT
5530 VALLEJO ST
DENVER CO 80221-1448

CURRENT RESIDENT
2251 W 54TH PL
DENVER CO 80221-1467

CURRENT RESIDENT
5540 VALLEJO ST
DENVER CO 80221-1448

CURRENT RESIDENT
2271 W 54TH PL
DENVER CO 80221-1467

CURRENT RESIDENT
5550 VALLEJO ST
DENVER CO 80221-1448

CURRENT RESIDENT
2291 W 54TH PL
DENVER CO 80221-1467

CURRENT RESIDENT
5541 UMATILLA ST
DENVER CO 80221-1475

CURRENT RESIDENT
2321 W 55TH AVE
DENVER CO 80221-1481

CURRENT RESIDENT
5551 UMATILLA ST
DENVER CO 80221-1475

CURRENT RESIDENT
2341 W 55TH AVE
DENVER CO 80221-1481

CURRENT RESIDENT
5472 ZUNI ST
DENVER CO 80221-1479

CURRENT RESIDENT
2361 W 55TH AVE
DENVER CO 80221-1481

CURRENT RESIDENT
5482 ZUNI ST
DENVER CO 80221-1479

CURRENT RESIDENT
2381 W 55TH AVE
DENVER CO 80221-1481

CURRENT RESIDENT
2312 W 55TH AVE
DENVER CO 80221-1480

CURRENT RESIDENT
2300 W MOFFAT PL
DENVER CO 80221-1482

CURRENT RESIDENT
2332 W 55TH AVE
DENVER CO 80221-1480

CURRENT RESIDENT
2330 W MOFFAT PL
DENVER CO 80221-1482

CURRENT RESIDENT
2352 W 55TH AVE
DENVER CO 80221-1480

CURRENT RESIDENT
2340 W MOFFAT PL
DENVER CO 80221-1482

CURRENT RESIDENT
2372 W 55TH AVE
DENVER CO 80221-1480

CURRENT RESIDENT
2350 W MOFFAT PL
DENVER CO 80221-1482

CURRENT RESIDENT
2392 W 55TH AVE
DENVER CO 80221-1480

CURRENT RESIDENT
2360 W MOFFAT PL
DENVER CO 80221-1482

CURRENT RESIDENT
2301 W 55TH AVE
DENVER CO 80221-1481

CURRENT RESIDENT
2311 W 54TH PL
DENVER CO 80221-1483

CURRENT RESIDENT
2331 W 54TH PL
DENVER CO 80221-1483

CURRENT RESIDENT
2551 W 55TH AVE
DENVER CO 80221-1611

CURRENT RESIDENT
2351 W 54TH PL
DENVER CO 80221-1483

CURRENT RESIDENT
2561 W 55TH AVE
DENVER CO 80221-1611

CURRENT RESIDENT
2371 W 54TH PL
DENVER CO 80221-1483

CURRENT RESIDENT
2565 W 55TH AVE
DENVER CO 80221-1611

CURRENT RESIDENT
2391 W 54TH PL
DENVER CO 80221-1483

CURRENT RESIDENT
2571 W 55TH AVE
DENVER CO 80221-1611

CURRENT RESIDENT
2441 W 55TH AVE
DENVER CO 80221-1610

CURRENT RESIDENT
2550 W 55TH AVE
DENVER CO 80221-1612

CURRENT RESIDENT
2451 W 55TH AVE
DENVER CO 80221-1610

CURRENT RESIDENT
2601 W 55TH AVE
DENVER CO 80221-1613

CURRENT RESIDENT
2461 W 55TH AVE
DENVER CO 80221-1610

CURRENT RESIDENT
2665 W 55TH AVE
DENVER CO 80221-1613

CURRENT RESIDENT
2471 W 55TH AVE
DENVER CO 80221-1610

CURRENT RESIDENT
2450 W 55TH AVE
DENVER CO 80221-1617

CURRENT RESIDENT
2525 W 55TH AVE
DENVER CO 80221-1611

CURRENT RESIDENT
2452 W 55TH AVE
DENVER CO 80221-1617

CURRENT RESIDENT
2535 W 55TH AVE
DENVER CO 80221-1611

CURRENT RESIDENT
2480 W 55TH AVE
DENVER CO 80221-1617

CURRENT RESIDENT
5460 ALCOTT ST
DENVER CO 80221-1622

CURRENT RESIDENT
5552 ALCOTT ST
DENVER CO 80221-1624

CURRENT RESIDENT
5470 ALCOTT ST
DENVER CO 80221-1622

CURRENT RESIDENT
5560 ALCOTT ST
DENVER CO 80221-1624

CURRENT RESIDENT
5480 ALCOTT ST
DENVER CO 80221-1622

CURRENT RESIDENT
5481 BEACH CT
DENVER CO 80221-1625

CURRENT RESIDENT
5482 ALCOTT ST
DENVER CO 80221-1622

CURRENT RESIDENT
5460 BEACH CT
DENVER CO 80221-1626

CURRENT RESIDENT
5533 ALCOTT ST
DENVER CO 80221-1623

CURRENT RESIDENT
5480 BEACH CT
DENVER CO 80221-1626

CURRENT RESIDENT
5543 ALCOTT ST
DENVER CO 80221-1623

CURRENT RESIDENT
5495 BRYANT ST
DENVER CO 80221-1627

CURRENT RESIDENT
5545 ALCOTT ST
DENVER CO 80221-1623

CURRENT RESIDENT
5470 BRYANT ST
DENVER CO 80221-1628

CURRENT RESIDENT
5555 ALCOTT ST
DENVER CO 80221-1623

CURRENT RESIDENT
5480 BRYANT ST
DENVER CO 80221-1628

CURRENT RESIDENT
5530 ALCOTT ST
DENVER CO 80221-1624

CURRENT RESIDENT
5490 BRYANT ST
DENVER CO 80221-1628

CURRENT RESIDENT
5550 ALCOTT ST
DENVER CO 80221-1624

CURRENT RESIDENT
5506 CLAY ST
WESTMINSTER CO 80221-1635

CURRENT RESIDENT
5510 CLAY ST
WESTMINSTER CO 80221-1635

CURRENT RESIDENT
2610 W 56TH AVE
DENVER CO 80221-1800

CURRENT RESIDENT
5518 CLAY ST
WESTMINSTER CO 80221-1635

CURRENT RESIDENT
2660 W 56TH AVE
DENVER CO 80221-1800

CURRENT RESIDENT
5520 CLAY ST
WESTMINSTER CO 80221-1635

CURRENT RESIDENT
5800 FEDERAL BLVD
DENVER CO 80221-1806

CURRENT RESIDENT
5550 CLAY ST
WESTMINSTER CO 80221-1635

CURRENT RESIDENT
2301 W 56TH AVE
DENVER CO 80221-1807

CURRENT RESIDENT
5580 CLAY ST
WESTMINSTER CO 80221-1635

CURRENT RESIDENT
2335 W 56TH AVE
DENVER CO 80221-1807

CURRENT RESIDENT
5590 CLAY ST
WESTMINSTER CO 80221-1635

CURRENT RESIDENT
2345 W 56TH AVE
DENVER CO 80221-1807

CURRENT RESIDENT
5451 ALCOTT ST
DENVER CO 80221-1638

CURRENT RESIDENT
2391 W 56TH AVE
DENVER CO 80221-1807

CURRENT RESIDENT
2500 W 55TH AVE
DENVER CO 80221-1644

CURRENT RESIDENT
2300 W 56TH AVE
DENVER CO 80221-1808

CURRENT RESIDENT
2544 W 55TH AVE
DENVER CO 80221-1644

CURRENT RESIDENT
2320 W 56TH AVE
DENVER CO 80221-1808

CURRENT RESIDENT
2600 W 56TH AVE
DENVER CO 80221-1800

CURRENT RESIDENT
2330 W 56TH AVE
DENVER CO 80221-1808

CURRENT RESIDENT
2350 W 56TH AVE
DENVER CO 80221-1808

CURRENT RESIDENT
2685 W 56TH AVE
DENVER CO 80221-1811

CURRENT RESIDENT
2501 W 56TH AVE
DENVER CO 80221-1809

CURRENT RESIDENT
2500 W 56TH AVE
DENVER CO 80221-1812

CURRENT RESIDENT
2531 W 56TH AVE
DENVER CO 80221-1809

CURRENT RESIDENT
2520 W 56TH AVE
DENVER CO 80221-1812

CURRENT RESIDENT
2410 W 56TH AVE
DENVER CO 80221-1810

CURRENT RESIDENT
2550 W 56TH AVE
DENVER CO 80221-1812

CURRENT RESIDENT
2456 W 56TH AVE
DENVER CO 80221-1810

CURRENT RESIDENT
2552 W 56TH AVE
DENVER CO 80221-1812

CURRENT RESIDENT
2460 W 56TH AVE
DENVER CO 80221-1810

CURRENT RESIDENT
2570 W 56TH AVE
DENVER CO 80221-1812

CURRENT RESIDENT
2462 W 56TH AVE
DENVER CO 80221-1810

CURRENT RESIDENT
2580 W 56TH AVE
DENVER CO 80221-1812

CURRENT RESIDENT
2551 W 56TH AVE
DENVER CO 80221-1811

CURRENT RESIDENT
2590 W 56TH AVE
DENVER CO 80221-1812

CURRENT RESIDENT
2561 W 56TH AVE
DENVER CO 80221-1811

CURRENT RESIDENT
2735 W 56TH AVE
DENVER CO 80221-1815

CURRENT RESIDENT
2675 W 56TH AVE
DENVER CO 80221-1811

CURRENT RESIDENT
2885 W 56TH AVE
DENVER CO 80221-1815

CURRENT RESIDENT
2400 W 60TH AVE
DENVER CO 80221-1825

CURRENT RESIDENT
2380 W 58TH AVE
DENVER CO 80221-1828

CURRENT RESIDENT
2301 W 58TH AVE
DENVER CO 80221-1827

CURRENT RESIDENT
2301 W 59TH PL
DENVER CO 80221-1834

CURRENT RESIDENT
2321 W 58TH AVE
DENVER CO 80221-1827

CURRENT RESIDENT
2341 W 59TH PL
DENVER CO 80221-1834

CURRENT RESIDENT
2341 W 58TH AVE
DENVER CO 80221-1827

CURRENT RESIDENT
2381 W 59TH PL
DENVER CO 80221-1834

CURRENT RESIDENT
2361 W 58TH AVE
DENVER CO 80221-1827

CURRENT RESIDENT
2391 W 59TH PL
DENVER CO 80221-1834

CURRENT RESIDENT
2381 W 58TH AVE
DENVER CO 80221-1827

CURRENT RESIDENT
2300 W 59TH PL
DENVER CO 80221-1835

CURRENT RESIDENT
2300 W 58TH AVE
DENVER CO 80221-1828

CURRENT RESIDENT
5655 ALCOTT ST
DENVER CO 80221-1836

CURRENT RESIDENT
2320 W 58TH AVE
DENVER CO 80221-1828

CURRENT RESIDENT
5657 ALCOTT ST
DENVER CO 80221-1836

CURRENT RESIDENT
2340 W 58TH AVE
DENVER CO 80221-1828

CURRENT RESIDENT
5659 ALCOTT ST
DENVER CO 80221-1836

CURRENT RESIDENT
2360 W 58TH AVE
DENVER CO 80221-1828

CURRENT RESIDENT
5661 ALCOTT ST
DENVER CO 80221-1836

CURRENT RESIDENT
5667 ALCOTT ST
DENVER CO 80221-1836

CURRENT RESIDENT
5717 ALCOTT ST
DENVER CO 80221-1839

CURRENT RESIDENT
5677 ALCOTT ST
DENVER CO 80221-1836

CURRENT RESIDENT
5727 ALCOTT ST
DENVER CO 80221-1839

CURRENT RESIDENT
5697 ALCOTT ST
DENVER CO 80221-1836

CURRENT RESIDENT
5737 ALCOTT ST
DENVER CO 80221-1839

CURRENT RESIDENT
5630 ALCOTT ST
DENVER CO 80221-1837

CURRENT RESIDENT
5757 ALCOTT ST
DENVER CO 80221-1839

CURRENT RESIDENT
5650 ALCOTT ST
DENVER CO 80221-1837

CURRENT RESIDENT
5767 ALCOTT ST
DENVER CO 80221-1839

CURRENT RESIDENT
5660 ALCOTT ST
DENVER CO 80221-1837

CURRENT RESIDENT
5777 ALCOTT ST
DENVER CO 80221-1839

CURRENT RESIDENT
5678 ALCOTT ST
DENVER CO 80221-1837

CURRENT RESIDENT
5787 ALCOTT ST
DENVER CO 80221-1839

CURRENT RESIDENT
5688 ALCOTT ST
DENVER CO 80221-1837

CURRENT RESIDENT
5600 CLAY ST
WESTMINSTER CO 80221-1840

CURRENT RESIDENT
5698 ALCOTT ST
DENVER CO 80221-1837

CURRENT RESIDENT
5634 CLAY ST
WESTMINSTER CO 80221-1840

CURRENT RESIDENT
5707 ALCOTT ST
DENVER CO 80221-1839

CURRENT RESIDENT
5654 CLAY ST
WESTMINSTER CO 80221-1840

CURRENT RESIDENT
5664 CLAY ST
WESTMINSTER CO 80221-1840

CURRENT RESIDENT
5631 CLAY ST
WESTMINSTER CO 80221-1844

CURRENT RESIDENT
5674 CLAY ST
WESTMINSTER CO 80221-1840

CURRENT RESIDENT
5651 CLAY ST
WESTMINSTER CO 80221-1844

CURRENT RESIDENT
5684 CLAY ST
WESTMINSTER CO 80221-1840

CURRENT RESIDENT
5661 CLAY ST
WESTMINSTER CO 80221-1844

CURRENT RESIDENT
5705 BRYANT ST
DENVER CO 80221-1843

CURRENT RESIDENT
5671 CLAY ST
WESTMINSTER CO 80221-1844

CURRENT RESIDENT
5715 BRYANT ST
DENVER CO 80221-1843

CURRENT RESIDENT
5681 CLAY ST
WESTMINSTER CO 80221-1844

CURRENT RESIDENT
5735 BRYANT ST
DENVER CO 80221-1843

CURRENT RESIDENT
5610 BRYANT ST
DENVER CO 80221-1851

CURRENT RESIDENT
5745 BRYANT ST
DENVER CO 80221-1843

CURRENT RESIDENT
5620 BRYANT ST
DENVER CO 80221-1851

CURRENT RESIDENT
5755 BRYANT ST
DENVER CO 80221-1843

CURRENT RESIDENT
5640 BRYANT ST
DENVER CO 80221-1851

CURRENT RESIDENT
5775 BRYANT ST
DENVER CO 80221-1843

CURRENT RESIDENT
5650 BRYANT ST
DENVER CO 80221-1851

CURRENT RESIDENT
5621 CLAY ST
WESTMINSTER CO 80221-1844

CURRENT RESIDENT
5660 BRYANT ST
DENVER CO 80221-1851

CURRENT RESIDENT
5670 BRYANT ST
DENVER CO 80221-1851

CURRENT RESIDENT
5704 CLAY ST
WESTMINSTER CO 80221-1853

CURRENT RESIDENT
5680 BRYANT ST
DENVER CO 80221-1851

CURRENT RESIDENT
5714 CLAY ST
WESTMINSTER CO 80221-1853

CURRENT RESIDENT
5690 BRYANT ST
DENVER CO 80221-1851

CURRENT RESIDENT
5734 CLAY ST
WESTMINSTER CO 80221-1853

CURRENT RESIDENT
5701 CLAY ST
WESTMINSTER CO 80221-1852

CURRENT RESIDENT
5744 CLAY ST
WESTMINSTER CO 80221-1853

CURRENT RESIDENT
5711 CLAY ST
WESTMINSTER CO 80221-1852

CURRENT RESIDENT
5754 CLAY ST
WESTMINSTER CO 80221-1853

CURRENT RESIDENT
5731 CLAY ST
WESTMINSTER CO 80221-1852

CURRENT RESIDENT
5774 CLAY ST
WESTMINSTER CO 80221-1853

CURRENT RESIDENT
5741 CLAY ST
WESTMINSTER CO 80221-1852

CURRENT RESIDENT
2531 W 58TH AVE
DENVER CO 80221-1854

CURRENT RESIDENT
5751 CLAY ST
WESTMINSTER CO 80221-1852

CURRENT RESIDENT
2551 W 58TH AVE
DENVER CO 80221-1854

CURRENT RESIDENT
5771 CLAY ST
WESTMINSTER CO 80221-1852

CURRENT RESIDENT
2571 W 58TH AVE
DENVER CO 80221-1854

CURRENT RESIDENT
5781 CLAY ST
WESTMINSTER CO 80221-1852

CURRENT RESIDENT
2591 W 58TH AVE
DENVER CO 80221-1854

CURRENT RESIDENT
2621 W 58TH AVE
DENVER CO 80221-1854

CURRENT RESIDENT
5768 ALCOTT ST
DENVER CO 80221-1855

CURRENT RESIDENT
2641 W 58TH AVE
DENVER CO 80221-1854

CURRENT RESIDENT
5778 ALCOTT ST
DENVER CO 80221-1855

CURRENT RESIDENT
2661 W 58TH AVE
DENVER CO 80221-1854

CURRENT RESIDENT
5700 BRYANT ST
DENVER CO 80221-1856

CURRENT RESIDENT
2681 W 58TH AVE
DENVER CO 80221-1854

CURRENT RESIDENT
5710 BRYANT ST
DENVER CO 80221-1856

CURRENT RESIDENT
5708 ALCOTT ST
DENVER CO 80221-1855

CURRENT RESIDENT
5720 BRYANT ST
DENVER CO 80221-1856

CURRENT RESIDENT
5718 ALCOTT ST
DENVER CO 80221-1855

CURRENT RESIDENT
5730 BRYANT ST
DENVER CO 80221-1856

CURRENT RESIDENT
5728 ALCOTT ST
DENVER CO 80221-1855

CURRENT RESIDENT
5740 BRYANT ST
DENVER CO 80221-1856

CURRENT RESIDENT
5738 ALCOTT ST
DENVER CO 80221-1855

CURRENT RESIDENT
5750 BRYANT ST
DENVER CO 80221-1856

CURRENT RESIDENT
5748 ALCOTT ST
DENVER CO 80221-1855

CURRENT RESIDENT
5760 BRYANT ST
DENVER CO 80221-1856

CURRENT RESIDENT
5758 ALCOTT ST
DENVER CO 80221-1855

CURRENT RESIDENT
5770 BRYANT ST
DENVER CO 80221-1856

CURRENT RESIDENT
5637 WYANDOT ST
DENVER CO 80221-1857

CURRENT RESIDENT
5650 ZUNI ST
DENVER CO 80221-1864

CURRENT RESIDENT
5651 WYANDOT ST
DENVER CO 80221-1857

CURRENT RESIDENT
5660 ZUNI ST
DENVER CO 80221-1864

CURRENT RESIDENT
5657 WYANDOT ST
DENVER CO 80221-1857

CURRENT RESIDENT
2301 W 57TH AVE
DENVER CO 80221-1869

CURRENT RESIDENT
5679 WYANDOT ST
DENVER CO 80221-1857

CURRENT RESIDENT
2321 W 57TH AVE
DENVER CO 80221-1869

CURRENT RESIDENT
5689 WYANDOT ST
DENVER CO 80221-1857

CURRENT RESIDENT
2341 W 57TH AVE
DENVER CO 80221-1869

CURRENT RESIDENT
5699 WYANDOT ST
DENVER CO 80221-1857

CURRENT RESIDENT
2361 W 57TH AVE
DENVER CO 80221-1869

CURRENT RESIDENT
5646 WYANDOT ST
DENVER CO 80221-1858

CURRENT RESIDENT
2381 W 57TH AVE
DENVER CO 80221-1869

CURRENT RESIDENT
5620 ZUNI ST
DENVER CO 80221-1864

CURRENT RESIDENT
2300 W 57TH AVE
DENVER CO 80221-1870

CURRENT RESIDENT
5630 ZUNI ST
DENVER CO 80221-1864

CURRENT RESIDENT
2320 W 57TH AVE
DENVER CO 80221-1870

CURRENT RESIDENT
5640 ZUNI ST
DENVER CO 80221-1864

CURRENT RESIDENT
2340 W 57TH AVE
DENVER CO 80221-1870

CURRENT RESIDENT
2360 W 57TH AVE
DENVER CO 80221-1870

CURRENT RESIDENT
2186 W 56TH AVE
DENVER CO 80221-6603

CURRENT RESIDENT
2380 W 57TH AVE
DENVER CO 80221-1870

CURRENT RESIDENT
2196 W 56TH AVE
DENVER CO 80221-6603

CURRENT RESIDENT
5615 BRYANT ST
DENVER CO 80221-1871

CURRENT RESIDENT
2201 W 56TH AVE
DENVER CO 80221-6604

CURRENT RESIDENT
5635 BRYANT ST
DENVER CO 80221-1871

CURRENT RESIDENT
2261 W 56TH AVE
DENVER CO 80221-6604

CURRENT RESIDENT
5655 BRYANT ST
DENVER CO 80221-1871

CURRENT RESIDENT
2291 W 56TH AVE
DENVER CO 80221-6604

CURRENT RESIDENT
5665 BRYANT ST
DENVER CO 80221-1871

CURRENT RESIDENT
2200 W 56TH AVE
DENVER CO 80221-6605

CURRENT RESIDENT
5675 BRYANT ST
DENVER CO 80221-1871

CURRENT RESIDENT
2220 W 56TH AVE
DENVER CO 80221-6605

CURRENT RESIDENT
5685 BRYANT ST
DENVER CO 80221-1871

CURRENT RESIDENT
2260 W 56TH AVE
DENVER CO 80221-6605

CURRENT RESIDENT
2151 W 56TH AVE
DENVER CO 80221-6602

CURRENT RESIDENT
2201 W 56TH PL
DENVER CO 80221-6606

CURRENT RESIDENT
2160 W 56TH AVE
DENVER CO 80221-6603

CURRENT RESIDENT
2241 W 56TH PL
DENVER CO 80221-6606

CURRENT RESIDENT
2261 W 56TH PL
DENVER CO 80221-6606

CURRENT RESIDENT
2225 W 57TH PL
DENVER CO 80221-6610

CURRENT RESIDENT
2291 W 56TH PL
DENVER CO 80221-6606

CURRENT RESIDENT
2220 W 57TH PL
DENVER CO 80221-6611

CURRENT RESIDENT
2200 W 56TH PL
DENVER CO 80221-6607

CURRENT RESIDENT
2240 W 57TH PL
DENVER CO 80221-6611

CURRENT RESIDENT
2220 W 56TH PL
DENVER CO 80221-6607

CURRENT RESIDENT
2260 W 57TH PL
DENVER CO 80221-6611

CURRENT RESIDENT
2240 W 56TH PL
DENVER CO 80221-6607

CURRENT RESIDENT
2290 W 57TH PL
DENVER CO 80221-6611

CURRENT RESIDENT
2051 W 56TH AVE
DENVER CO 80221-6608

CURRENT RESIDENT
2211 W 58TH PL
DENVER CO 80221-6612

CURRENT RESIDENT
2055 W 56TH AVE
DENVER CO 80221-6608

CURRENT RESIDENT
2213 W 58TH PL
DENVER CO 80221-6612

CURRENT RESIDENT
2201 W 57TH PL
DENVER CO 80221-6610

CURRENT RESIDENT
2223 W 58TH PL
DENVER CO 80221-6612

CURRENT RESIDENT
2213 W 57TH PL
DENVER CO 80221-6610

CURRENT RESIDENT
2225 W 58TH PL
DENVER CO 80221-6612

CURRENT RESIDENT
2221 W 57TH PL
DENVER CO 80221-6610

CURRENT RESIDENT
2210 W 58TH PL
DENVER CO 80221-6613

CURRENT RESIDENT
2220 W 58TH PL
DENVER CO 80221-6613

CURRENT RESIDENT
2270 W 59TH PL
DENVER CO 80221-6615

CURRENT RESIDENT
2222 W 58TH PL
DENVER CO 80221-6613

CURRENT RESIDENT
2290 W 59TH PL
DENVER CO 80221-6615

CURRENT RESIDENT
2224 W 58TH PL
DENVER CO 80221-6613

CURRENT RESIDENT
5671 TEJON ST
DENVER CO 80221-6616

CURRENT RESIDENT
2211 W 59TH PL
DENVER CO 80221-6614

CURRENT RESIDENT
2180 W 60TH AVE
DENVER CO 80221-6623

CURRENT RESIDENT
2231 W 59TH PL
DENVER CO 80221-6614

CURRENT RESIDENT
5700 VALLEJO ST
DENVER CO 80221-6626

CURRENT RESIDENT
2241 W 59TH PL
DENVER CO 80221-6614

CURRENT RESIDENT
5929 PECOS ST
DENVER CO 80221-6646

CURRENT RESIDENT
2271 W 59TH PL
DENVER CO 80221-6614

CURRENT RESIDENT
2291 W 59TH PL
DENVER CO 80221-6614

CURRENT RESIDENT
2230 W 59TH PL
DENVER CO 80221-6615

CURRENT RESIDENT
2250 W 59TH PL
DENVER CO 80221-6615

CERTIFICATE OF POSTING



I, J. Gregory Barnes do hereby certify that I posted the property at the northwestern corner of West 56th Avenue and Zuni Street on November 26, 2018 in accordance with the requirements of the Adams County Zoning Regulations.

J. Gregory Barnes, Planner II