



**COMMUNITY AND ECONOMIC DEVELOPMENT
DEPARTMENT**

**CASE NO.: PRC2018-00018
CASE NAME: MIDTOWN AT CLEAR CREEK, FILING 11**

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COMMUNITY AND ECONOMIC
DEVELOPMENT DEPARTMENT

STAFF REPORT

Board of County Commissioners

July 1, 2019

CASE No.: PRC2018-000186	CASE NAME: Midtown at Clear Creek, Filing 11
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Owner's Name:	Midtown, LLC
Applicant's Name:	Midtown, LLC
Applicant's Address:	6465 Greenwood Plaza Blvd., Suite 700, Englewood, CO 80111
Location of Requests:	Southeastern corner of the intersection of West 68 th Avenue and Pecos Street.
Nature of Requests:	1) Final Plat for major subdivision 2) Final Development Plan 3) Subdivision Improvements Agreement
Site Size:	Approximately 5.8 acres
Zone District:	Planned Unit Development (PUD)
Future Land Use:	Urban Residential
Proposed Uses:	Residential
Existing Use:	Vacant
Hearing Date:	BoCC: July 9, 2109 / 9:30 a.m.
Hearing Location:	4430 S. Adams County Parkway, Brighton, CO 80601 / Public Hearing Room 1 st Floor
Report Date:	July 1, 2018
Case Manager:	Greg Barnes
Staff Recommendation:	APPROVAL of the Final Plat, and the Final Development Plan with 11 Findings-of-Fact, 1 Condition Precedent, and 1 Note

SUMMARY OF APPLICATIONS

Background:

Midtown, LLC, the applicant, is requesting: 1) a Final Development Plan (FDP) to allow 72 residential lots on approximately 5.8 acres in a Planned Unit Development zone district; 2) a Major Subdivision (Final Plat) to create 72 lots; and 3) a Subdivision Improvements Agreement (SIA) for Filing No. 11 of the Midtown at Clear Creek Planned Unit Development.

The site is approximately 5.8 acres and located east of Pecos Street and south of West 68th Avenue, and zoned as a Planned Unit Development (PUD). The Board of County Commissioners (BoCC) approved a Preliminary Development Plan (PDP) for the PUD in 2008. Per Section 2-02-10-04-01 of the County's Development Standards and Regulations, a Final Development Plan and Plat is required prior to development of the site. The proposed request is to adhere to requirements for obtaining a Final Development Plan and Plat.

Development Standards and Regulations:

Final Development Plan:

A Final Development Plan (FDP) is a site-specific development plan which describes and establishes the type and intensity of uses for a specific parcel of land. Per Section 2-02-10-04 of the Adams County Development Standards and Regulations, a Final Plat and Development agreements are required to be submitted with a Final Development Plan. The Final Plat and development agreement outlines public improvements required with the development.

Below is the summary of housing types, designs information, parking and open space areas proposed with the FDP:

Housing Types & Designs:

Midtown at Clear Creek, Filing No. 11 includes seventy-two (72) single-family attached townhome dwellings. Each structure consists of multiple dwellings that share one (1) or two (2) walls with an adjoining home. Dwelling sizes vary from 1,700 to 2,200 square feet. The subject FDP includes architectural and landscape design guidelines. In addition to the guidelines, all builders and homeowners are required to go through a Design Review Committee (DRC) review established by Clear Creek Metropolitan District. The Metro District was established with governing authority in the PUD. Per the FDP requirements, the County shall not approve any building permit without approval of the DRC. The maximum height of all structures shall be 45 feet. The FDP proposes three-story structures.

Parking:

Overall, the parking ratio provided in the FDP shows 3.32 spaces per dwelling unit, this includes on-street parking. This proposed parking ratio exceeds the minimum requirement of 2.5 spaces per dwelling approved in the Preliminary Development Plan. A total of 239 parking spaces are proposed for the 72 units. Sixty (60) of the overall parking spaces will be on-street and one-hundred and seventy-nine (179) will be off-street, which includes garage parking.

Furthermore, the proposed plan shows alleys will be used to access garages for forty-seven (47) of the homes. Every dwelling in the development will have at least a minimum of two off-street parking spaces. The FDP shows all proposed homes will have access to on-street parking along local streets within the development.

On-street parking is provided along Navajo Street, Osage Street, and West 67th Place (see Exhibit 3.3). These streets are public rights-of-way serving the development. In addition, nineteen (19) off-

street parking spaces are located adjacent to a Tracts B and E on the FDP. All the on-street spaces will be available for parking by all residents and visitors.

Common Areas:

Common areas in the proposed FDP include streetscape landscape areas and landscaped tracts. The landscape tracts will be maintained by the Metropolitan District (i.e. the Clear Creek Metropolitan District). All private home landscaping will be installed by homeowners or builders and maintained by each homeowner. Adams County shall not be responsible for operation and maintenance of parks and open space within the development. Responsibility and enforcement of landscape maintenance shall be the function of the Metropolitan District. A Design Review Committee will review all private open space design in the development for compatibility. Removal of snow, ice, debris, or other obstructions from sidewalks will be the responsibility of homeowners.

Major Subdivision (Final Plat):

Per Section 2-02-17-04 of the County's Development Standards and Regulations, the applicant is requesting a Major Subdivision (Final Plat) for the proposed residential development. The current parcel consists of approximately 5.8 acres (see Exhibit 3.2). The proposed Plat will create seventy-two (72) residential lots and eight (8) tracts for private alleys and drainage facilities.

Typical lot sizes within the development range from 1,210 to 3,287 square feet. All front, side, and rear setbacks will be consistent with the approved Third Amendment to the Preliminary Development Plan. Per the approved Preliminary Development Plan, front yard setbacks shall be 15 feet when adjacent to a collector street and 10 feet otherwise, the side setback shall be 5 feet for all structures, and rear yard setbacks shall be 15 feet for primary structures.

Access into the subdivision is primarily through West 67th Avenue and Osage Street. Navajo Court, Navajo Way, and Osage Court provide north-south connections and West 68th Drive, West 68th Lane, West 67th Place, West 67th Drive, and West 67th Lane provide east-west connections. All of the 72 proposed units have access to streets.

The proposed Final Plat conforms to the criteria for approval outlined in Section 2-02-17-04-05 of the County's Development Standards. The Final Plat conforms to the approved Preliminary Plat and is in conformance with the subdivision design standards. In addition, the applicant has provided a letter of intent from Crestview Water and Sanitation for providing services to the development, thus satisfying evidence of adequate water and sanitation facilities. All proposed drainage facilities have been reviewed and approved by the County's Development Services Engineering. Lastly, there is documentation showing there is adequate public infrastructure to support the development, and all plans have been reviewed by the Development Services Engineering. A Subdivision Improvement Agreement, with sufficient collateral, has also been included with this application.

Subdivision Improvement Agreement:

Per Section 5-02-05 of the Adams County Development Standards and Regulations, a Subdivision Improvement Agreement (SIA) is required with the proposed development. The

agreement is required to address the manner and timing of the completion of all subdivision improvements and responsibility for payment of the costs of improvements associated with the development.

The current application for a Final Development Plan and Final Plat includes an SIA for the development. This SIA outlines the Developer's obligation for landscape installation, landscape ownership and maintenance, and required construction and collateral for all public improvements.

There are eight tracts proposed in the FDP and Plat. These tracts are proposed to be commonly owned and maintained by the established Metropolitan District. Maintenance responsibilities and ownership areas for the tracts are outlined in the SIA. In addition, the SIA documents depict areas that will be maintained privately such as tree lawns, etc. The Metro District will own and/or maintain the remaining common areas.

Comprehensive Plan:

The Future Land Use map designates this area as Urban Residential. Per Chapter 5 of the Comprehensive Plan, Urban Residential areas are designated for single- and multi-family housing, typically at urban densities of one dwelling per acre or greater. These areas are intended to provide for development of residential neighborhoods with a variety of housing types, with adequate urban services and transportation facilities. Urban residential areas may include supporting neighborhood commercial uses designed to serve the needs of nearby residents.

The proposed Final Plat and Final Development Plan are consistent with the goals of the Comprehensive Plan to provide higher-density housing near existing urban services and transportation facilities. The entire Planned Unit Development is comprised of approximately 183 acres. The PUD site is about ¾ mile south of U.S. Highway 36, about ½ mile north of I-76, about ¾ mile east of the future RTD light rail station located at Federal Boulevard and 70th Avenue, and about ¾ mile west of I-25. Because of the proximity to planned light rail stations and transportation corridors, the PUD inevitably will benefit from the location of such transportation amenities.

Surrounding Zoning Designations and Existing Use Activity:

<u>Northwest</u> R-1-C Residential	<u>North</u> R-1-C Vacant and Residential	<u>Northeast</u> R-1-C Residential
<u>West</u> PUD Residential and Commercial	<u>Subject Property</u> PUD Vacant	<u>East</u> PUD Residential
<u>Southwest</u> PUD Residential	<u>South</u> PUD Residential	<u>Southeast</u> PUD Residential

Compatibility with the Surrounding Land Uses:

Uses surrounding the site consist of single- and multi-family residential and commercial uses. The majority of the surrounding area is located within the Midtown development. The subject request is consistent with the existing residential development surrounding the site and the Future Land Use designation of Urban Residential.

Staff Recommendations:

Based upon the application, the criteria for approval of: preliminary final plat and final development plan, as well as a recent site visit, staff recommends approval of the final plat, final development plan, and associated subdivision improvements agreement with 11 findings-of-fact, 1 condition precedent, and 1 note.

RECOMMENDED FINDINGS-OF-FACT

1. The final plat is consistent and conforms to the approved preliminary plat.
2. The final plat is in conformance with the subdivision design standards.
3. The applicant has provided evidence that a sufficient water supply has been acquired in terms of quantity, quality, and dependability for the type of subdivision proposed, as determined in accordance with the standards set forth in the water supply standards.
4. The applicant has provided evidence that a public sewage disposal system has been established and, if other methods of sewage disposal are proposed, adequate evidence indicating that the system complies with state and local laws and regulations.
5. The applicant has provided evidence to show all areas of the proposed subdivision, which may involve soil or topographical conditions presenting hazards or requiring special precautions, have been identified by the applicant and the proposed uses of these areas are compatible with such conditions.
6. The proposed or constructed drainage improvements are adequate and comply with these standards and regulations.
7. Adequate public facilities or infrastructure, or cash-in-lieu, for impacts reasonably related to the proposed subdivision have been constructed or financially guaranteed through cash-in-lieu or a subdivision improvements agreement so the proposed subdivision will not negatively impact the levels of service of the County.
8. The FDP is in general conformity with the Adams County Comprehensive Plan and any applicable area plan.
9. The FDP conforms to the P.U.D. standards.
10. The FDP is consistent with any approved PDP for the property.
11. The FDP construction plans meet the requirements of these standards and regulations and have been approved by the Director of Public Works, all infrastructure and utility providers, Tri-County Health Department, and all other referral agencies.

Recommended Condition Precedent of Approval:

1. All cash-in-lieu payments for required public land dedication for Midtown at Clear Creek, Filing 11 shall be provided to the County in full prior to the issuance of building permits.

Recommended Note to the Applicant:

1. The applicant shall comply with all building, zoning, fire, engineering, and health codes and regulations during the development of the subject site.

PUBLIC COMMENTS

Number of Notices Mailed (750 Feet)	Number of Public Comments Received by Staff
464	2

Four-hundred and sixty-four (464) notices were mailed to all property owners and residents within 750 feet of the request. As of writing this report, staff has received two letters from nearby residents regarding with the request. One letter stated their support of the request. An additional letter was received citing concerns that the area was not served by a local grocery store and that an additional seventy-two households in the area would not be the best use of the property.

COUNTY AGENCY COMMENTS

Adams County staff reviewed the subject request and determined the proposal complies with the subdivision design standards and the overall purpose and intent outlined in the Development Standards and Regulations. All proposed lot configurations conform to the approved lot dimensions in the PUD zone district. Evidence of the ability to provide adequate water and sewage facilitates has also been provided.

REFERRAL AGENCY COMMENTS

The following agencies responded to the request for comments, and provided no objections to the proposal: Colorado Department of Transportation, Colorado Geological Survey, Colorado Division of Water Resources, Tri-County Health Department, and Xcel Energy.

Responding with Concerns:

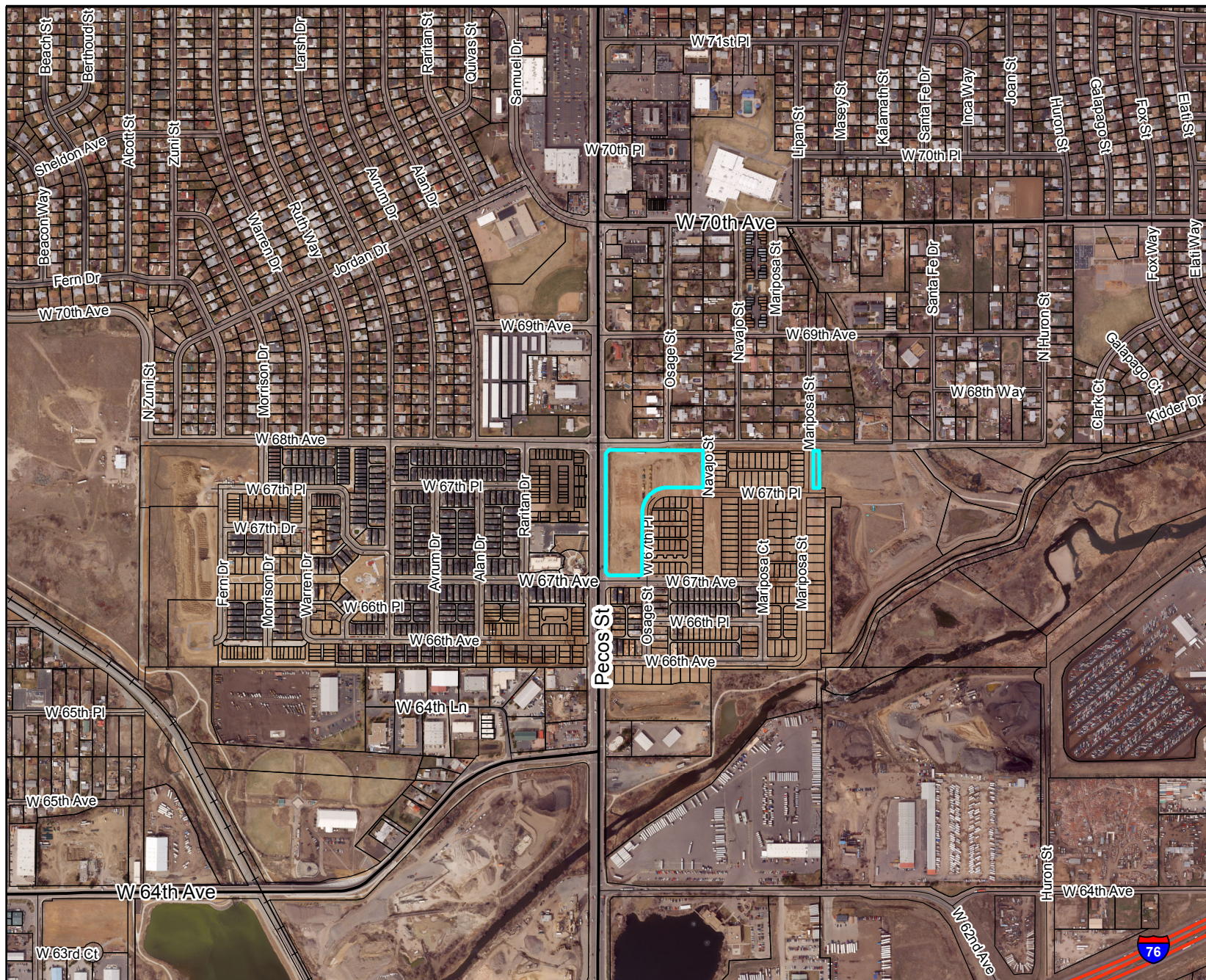
None

Responding without Concerns:





Colorado Department of Transportation
Colorado Geological Survey
Colorado Division of Water Resources
Tri-County Health Department
Xcel Energy

Notified but not Responding / Considered a Favorable Response:

Adams County Fire
Adams County Sheriff
Century Link
Crestview Water & Sanitation
Comcast
Hyland Hills Park and Recreation District
Mapleton No. 1 School District
Metro Wastewater
North Pecos Water & Sanitation District
Perl Mack Neighborhood Group
RTD
US Postal Service
Westminster School District 50



Legend

-  Railroad
-  Major Water
-  Zoning Line
-  Sections

Zoning Districts

- | | |
|--|----------|
| | A-1 |
| | A-2 |
| | A-3 |
| | R-E |
| | R-1-A |
| | R-1-C |
| | R-2 |
| | R-3 |
| | R-4 |
| | M-H |
| | C-0 |
| | C-1 |
| | C-2 |
| | C-3 |
| | C-4 |
| | C-5 |
| | I-1 |
| | I-2 |
| | I-3 |
| | CO |
| | PL |
| | AV |
| | DIA |
| | P-U-D |
| | P-U-D(P) |

PRC2018-00018

Midtown Filing 11



For display purposes only.



ADAMS COUNTY
COLORADO

This map is made possible by the Adams County GIS group, which assumes no responsibility for its accuracy

WRITTEN EXPLANATION

Midtown at Clear Creek – Filing Eleven

Midtown at Clear Creek is a 181.8 acre Master Planned Community, officially termed a Planned Unit Development (PUD) in Adams County Colorado. The site is located southeast and southwest of the intersection of Pecos Street and 68th Avenue. The Midtown community is approved for a mix of uses including single-family detached homes, townhomes, multi-family homes and mixed-use commercial-retail. The PUD was originally approved in 2008 and amended in 2012, 2014, and 2018 for 1,208 dwelling units, a 5-acre school site, a commercial /mixed use amenity area and a variety of open spaces, including an approximately 32.5-acre open space park area.

This Filing Eleven Final Development Plan is an extension of the concept submitted and approved in earlier phases. The Filing Eleven FDP area is comprised of approximately 5.584 acres, consisting of 72 single family residential homes. The intent of the Filing Eleven FDP is to entitle single-family attached residential townhomes. The open space improvements in this FDP include streetscapes and open spaces that can accommodate active and passive uses within multiple gathering spaces. Per the 3rd Amendment to the PDP, 0.4 acres of active open space is required. This 0.4 acres is provided in tracts B, G, and H. The space is activated with a seating area, nature play amenities, landscape beds, and sod.

C. Contemplated Intensity and Density of Land Use

Seventy-two (72) single family attached lots are proposed in the Filing Eleven FDP and the corresponding Final Plat. The two home types proposed include rear-loaded and front-loaded single family attached townhomes. The Filing Eleven FDP home types consists of multiple residences that share one (1) or two (2) walls with an adjoining home. Sizes of residences vary in square footage.

The proposed density and land coverage proposed within the Filing Eleven FDP is consistent with the Third Amendment to the Preliminary Development Plan for the Midtown at Clear Creek PUD. Per the approved PDP for Midtown at Clear Creek, the overall number of allowable residential units is 1,208, with a gross density of approximately 6.6 dwelling units per acre. This maximum overall residential unit count may also include the 5-acre school site (if it is not developed as school uses and reverts to residential uses).

Based on planned build-out, the Midtown community will provide open space areas consistent with this type of urban infill development and exceeds the Adams County standards for both passive and active open space requirements.

The proposal meets the Codes and Standards set forth by the PUD and Adams County to create a quality development. This conformance is as follows:

1. The FDP is in general conformity with the Adams County Comprehensive Plan and any applicable area plan.

The Filing Eleven FDP area is an extension of the established block structure, vehicular circulation and landscape treatment constructed in Phase One, Filings Two, Three, Four, Five, Six, Seven, Eight, Nine, and Ten. The Filing Eleven FDP area is located on the east side of Pecos Street, north of 67th Avenue, and generally West and north of Filing Ten. Primary access to this FDP area is on West 68th Avenue, Navajo Street, W. 67th Place, Osage Street and W. 67th Avenue.

The Midtown at Clear Creek Filing Eleven plan continues to implement the master plan developed for Midtown and remains consistent with the approved Third Amendment to the Preliminary Development Plan and Adams County development standards and regulations.

2. The FDP conforms to the P.U.D. standards.

The Midtown at Clear Creek Filing Eleven FDP conforms to PUD standards. Topics are addressed in detail in the Midtown at Clear Creek Filing Eleven FDP Narrative sections; A. Explanation of the Characteristics of the PUD; B. Potential Impact or Proposed Mitigation on the Surrounding Area, C. Contemplated intensity and Density of Land Use; D. Number, Type, and Size of Buildings or Units, E. Provision for Parking, F. Circulation and Road Patterns and G. Ownership and Maintenance of Common Areas, as well as other relevant issues.

3. The FDP is consistent with any approved PDP for the property.

The proposed Midtown at Clear Creek Filing Eleven FDP is generally consistent with the approved Third Amendment to the Preliminary Development Plan for this project which allows a maximum of 1,208 residential dwelling units.

4. The FDP construction plans meet the requirements of these standards and regulations and have been approved by the director of Public Works, all infrastructure and utility providers, Tri-County Health Department, and all other referral agencies.

The FDP construction plans are designed to meet the standards included in the approved Third Amendment to the Preliminary Development Plan, or will meet County standards where specific variables are not addressed. The PDP conditions of approval and comments from referral agencies have been considered in the design of the FDP elements. During the review and approval process for this Midtown Filing Eleven FDP, all necessary requirements will be met and approved by all County departments and other referral agencies.

MIDTOWN AT CLEAR CREEK—FILING NO. 11

CASE NO. PRC
2018—00018

A PORTION OF THE NORTHWEST 1/4 OF THE SOUTHEAST 1/4 SECTION 4,
TOWNSHIP 3 SOUTH, RANGE 68 WEST OF THE SIXTH PRINCIPAL MERIDIAN,
COUNTY OF ADAMS, STATE OF COLORADO

OWNERSHIP AND DEDICATION CERTIFICATE:

KNOW ALL MEN BY THESE PRESENTS THAT THE UNDERSIGNED WARRANT THEY ARE THE OWNERS OF A PARCEL OF LAND LYING IN THE SOUTHEAST QUARTER OF SECTION 4, TOWNSHIP 3 SOUTH, RANGE 68 WEST OF THE SIXTH PRINCIPAL MERIDIAN, COUNTY OF ADAMS, STATE OF COLORADO, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

A PARCEL OF LAND BEING A PART OF THAT SPECIAL WARRANTY DEED RECORDED AT RECEPTION NO. 2007000079792 OF THE RECORDS OF THE ADAMS COUNTY CLERK AND RECORDER'S OFFICE AND LYING IN THE NORTHWEST QUARTER OF THE SOUTHEAST QUARTER OF SECTION 4, TOWNSHIP 3 SOUTH, RANGE 68 WEST OF THE SIXTH PRINCIPAL MERIDIAN, COUNTY OF ADAMS, STATE OF COLORADO, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT THE CENTER QUARTER CORNER OF SAID SECTION 4, MONUMENTED BY A 3—1/4" ALUMINUM CAP STAMPED "PLS 28664", IN A MONUMENT BOX, WHENCE THE CENTER—SOUTH SIXTEENTH CORNER OF SAID SECTION 4, MONUMENTED BY A 3—1/4" ALUMINUM CAP STAMPED "PLS 23519", IN A MONUMENT BOX. BEARS SOUTH 00°00'15" WEST, A DISTANCE OF 1324.85 FEET FORMING THE BASIS OF BEARINGS USED IN THIS DESCRIPTION;

THENCE SOUTH 60°06'28" EAST, A DISTANCE OF 80.74 FEET TO A POINT ON THE SOUTHERLY RIGHT—OF—WAY OF WEST 68TH AVENUE AS DEDICATED ON THE PLAT OF MIDTOWN AT CLEAR CREEK—FILING NO. 7 A SUBDIVISION PLAT RECORDED AT RECEPTION NO. 2016000009355, IN SAID RECORDS AND THE **POINT OF BEGINNING**;

THENCE ALONG SAID SOUTHERLY RIGHT—OF—WAY OF WEST 68TH AVENUE, SOUTH 89°48'22" EAST, A DISTANCE OF 556.53 FEET TO THE WESTERLY RIGHT—OF—WAY OF NAVAJO STREET AS DEDICATED ON SAID PLAT OF MIDTOWN AT CLEAR CREEK—FILING NO. 7;

THENCE ALONG SAID WESTERLY RIGHT—OF—WAY OF NAVAJO STREET, SOUTH 00°16'34" WEST, A DISTANCE OF 219.54 FEET TO THE NORTHERLY RIGHT—OF—WAY OF WEST 67TH PLACE AS DEDICATED ON THE PLAT OF MIDTOWN AT CLEAR CREEK—FILING NO. 10 RECORDED AT RECEPTION NO. 2018000004010, IN SAID RECORDS;

THENCE ALONG SAID NORTHERLY RIGHT—OF—WAY OF WEST 67TH PLACE AND THE WESTERLY RIGHT—OF—WAY OF OSAGE STREET AS DEDICATED ON SAID PLAT OF MIDTOWN AT CLEAR CREEK—FILING NO. 10 THE FOLLOWING THREE (3) COURSES:

1. NORTH 89°43'26" WEST, A DISTANCE OF 209.50 FEET TO THE BEGINNING OF A TANGENT CURVE CONCAVE SOUTHEASTERLY HAVING A RADIUS OF 148.50 FEET;
2. SOUTHWESTERLY ALONG SAID CURVE THROUGH A CENTRAL ANGLE OF 90°00'00", AN ARC LENGTH OF 233.26 FEET;
3. TANGENT TO SAID CURVE, SOUTH 00°16'34" WEST, A DISTANCE OF 370.30 FEET TO THE NORTHERLY RIGHT—OF—WAY OF WEST 67TH AVENUE AS DEDICATED ON THE PLAT OF MIDTOWN AT CLEAR CREEK—FILING NO. 5 RECORDED AT RECEPTION NO. 2014000091485, IN SAID RECORDS;

THENCE ALONG SAID NORTHERLY RIGHT—OF—WAY OF WEST 67TH AVENUE THE FOLLOWING THREE (3) COURSES:

1. SOUTH 84°33'32" WEST, A DISTANCE OF 22.07 FEET;
2. NORTH 89°43'26" WEST, A DISTANCE OF 175.19 FEET;
3. NORTH 45°07'55" WEST, A DISTANCE OF 25.20 FEET TO THE EASTERLY RIGHT—OF—WAY OF PECOS STREET AS DESCRIBED IN BOOK 3658 AT PAGE 687, IN SAID RECORDS;

THENCE ALONG SAID EASTERLY RIGHT—OF—WAY OF PECOS STREET, NORTH 00°00'15" EAST, A DISTANCE OF 702.03 FEET;

THENCE CONTINUING ALONG SAID EASTERLY RIGHT—OF—WAY, NORTH 45°05'57" EAST, A DISTANCE OF 28.24 FEET TO THE **POINT OF BEGINNING**;

CONTAINING AN AREA OF 5.584 ACRES, (243,236 SQUARE FEET), MORE OR LESS.

HAS BY THESE PRESENTS LAID OUT, PLATTED AND SUBDIVIDED THE SAME INTO LOTS, TRACTS AND EASEMENTS AS SHOWN ON THIS PLAT UNDER THE NAME AND STYLE OF **MIDTOWN AT CLEAR CREEK—FILING NO. 11** AND DO HEREBY GRANT TO THE COUNTY OF ADAMS, STATE OF COLORADO, FOR THE USE OF THE PUBLIC, THE EASEMENTS AS SHOWN, FOR PUBLIC UTILITY, CABLE TV AND DETENTION POND AREAS, FLOODWAY AND FLOODPLAIN LIMITS, DRAINAGE AND OTHER PUBLIC PURPOSES AS DETERMINED BY THE COUNTY OF ADAMS.

EXECUTED THIS ____ DAY OF _____ A.D., 201____

BY: MIDTOWN LLC, A COLORADO LIMITED LIABILITY COMPANY

NAME AS TITLE

BY: MIDTOWN LLC, A COLORADO LIMITED LIABILITY COMPANY

NAME AS TITLE

ACKNOWLEDGEMENT

BY: MIDTOWN LLC, A COLORADO LIMITED LIABILITY COMPANY

STATE OF COLORADO)
COUNTY OF _____)SS

THE FOREGOING PLAT AND DEDICATION WAS ACKNOWLEDGED BEFORE ME THIS ____ DAY OF

____ A.D. 201____, BY _____ AS _____ OF
MIDTOWN, LLC, A COLORADO LIMITED LIABILITY COMPANY.

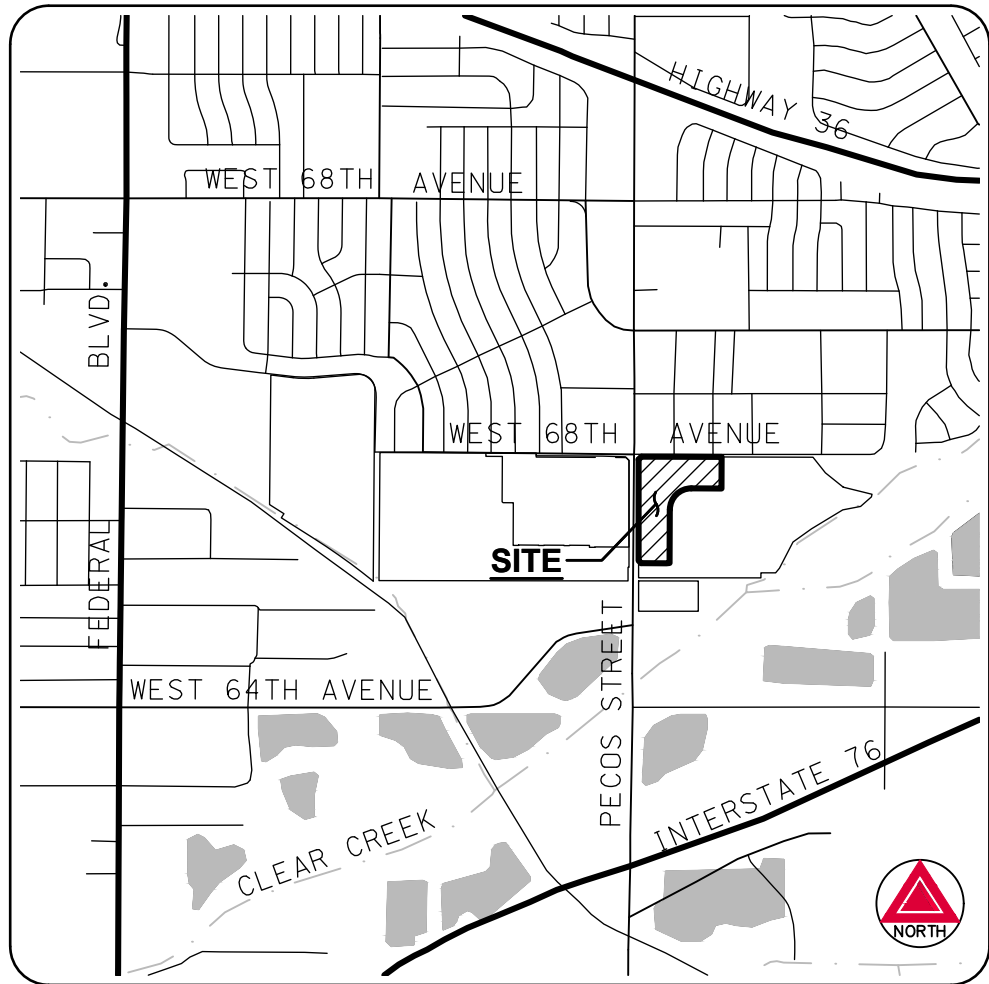
BY _____ AS _____ OF MIDTOWN, LLC, A COLORADO
LIMITED LIABILITY COMPANY.

NOTARY PUBLIC
MY COMMISSION EXPIRES: _____

MY ADDRESS IS: _____

WITNESS MY HAND AND OFFICIAL SEAL:

NOTARY PUBLIC



VICINITY MAP
NOT TO SCALE

TRACT SUMMARY TABLE				
TRACT	AREA (S.F.±)	AREA (A.C.±)	USE	OWNERSHIP & MAINTENANCE
A	423	0.010	LS/DRAINAGE/PA	CCSMD NO. 1
B	10,069	0.231	LS/DRAINAGE/PA	CCSMD NO. 1
C	866	0.020	LS/DRAINAGE/PA	CCSMD NO. 1
D	1,352	0.031	LS/DRAINAGE/PA/UTILITY	CCSMD NO. 1
E	14,309	0.328	PRIVATE DRIVE/ACCESS/UTILITY	CCSMD NO. 1
F	34,944	0.802	LANDSCAPE/ACCESS/UTILITY	CCSMD NO. 1
G	4,134	0.095	LS/DRAINAGE/PA	CCSMD NO. 1
H	2,977	0.068	LS/DRAINAGE/PA	CCSMD NO. 1
I	43,613	1.001	PRIVATE DRIVE/ACCESS/UTILITY	CCSMD NO. 1
TOTAL TRACT AREA	112,686	2.586	CCSMD NO. 1 - CLEAR CREEK STATION METROPOLITAN DISTRICT NO. 1 LS/DRAINAGE/PA = LANDSCAPE, DRAINAGE, PEDESTRIAN ACCESS LS/DRAINAGE/PA /DP= LANDSCAPE, DRAINAGE, PEDESTRIAN ACCESS, DETENTION POND	
TOTAL LOT AREA	130,550	2.998		
TOTAL AREA	243,236	5.584		

SURVEYOR'S CERTIFICATE

I, ANTHONY K. PEALL, A DULY LICENSED PROFESSIONAL LAND SURVEYOR, REGISTERED IN THE STATE OF COLORADO DO HEREBY CERTIFY THAT THERE ARE NO ROADS, PIPELINES, IRRIGATION DITCHES, OR OTHER EASEMENTS IN EVIDENCE OR KNOWN BY ME TO EXIST ON OR ACROSS THE HEREIN BEFORE DESCRIBED PROPERTY EXCEPT AS SHOWN ON THIS PLAT. I FURTHER CERTIFY THAT I HAVE PERFORMED THE SURVEY SHOWN HEREON, OR SUCH SURVEY WAS PREPARED UNDER MY DIRECT RESPONSIBILITY AND SUPERVISION, THAT THIS PLAT ACCURATELY REPRESENTS SAID SURVEY, AND THAT ALL MONUMENTS EXIST AS SHOWN HEREIN.

ANTHONY K. PEALL
COLORADO LICENSED PROFESSIONAL LAND SURVEYOR, P.L.S. 38636
FOR AND ON BEHALF OF AZTEC CONSULTANTS, INC.
300 E. MINERAL AVE., SUITE 1
LITTLETON, CO. 80122
(303) 713-1897

NOTICE: ACCORDING TO COLORADO LAW, YOU MUST COMMENCE ANY LEGAL ACTION BASED UPON ANY DEFECT IN THIS SURVEY WITHIN THREE YEARS AFTER YOU FIRST DISCOVER SUCH DEFECT. IN NO EVENT, MAY ANY ACTION BASED UPON ANY DEFECT IN THIS SURVEY BE COMMENCED MORE THAN TEN YEARS FROM THE DATE OF THE CERTIFICATION SHOWN HEREON.

NOTICE: PER THE STATE OF COLORADO BOARD OF LICENSURE FOR ARCHITECTS, PROFESSIONAL ENGINEERS, AND PROFESSIONAL LAND SURVEYORS RULE 6.2.2 THE WORD "CERTIFY" AS USED HEREON MEANS AN EXPRESSION OF PROFESSIONAL OPINION AND DOES NOT CONSTITUTE A WARRANTY OR GUARANTEE, EXPRESSED OR IMPLIED. THE SURVEY REPRESENTED HEREON HAS BEEN PERFORMED BY ME OR UNDER MY DIRECT SUPERVISION IN ACCORDANCE WITH APPLICABLE STANDARDS OF PRACTICE AND IS BASED UPON MY KNOWLEDGE, INFORMATION AND BELIEF.

ATTORNEY'S CERTIFICATE

I, _____, AN ATTORNEY AT LAW DULY LICENSED TO PRACTICE BEFORE THE COURTS OF RECORD OF COLORADO, DO HEREBY CERTIFY THAT I HAVE EXAMINED THE TITLE OF ALL LANDS HEREIN ABOVE INDICATED AND SHOWN UPON THE WITHIN PLATS PUBLIC WAYS AND EASEMENTS AND THAT TITLE TO SUCH LAND IS THE DEDICATOR'S, FREE AND CLEAR OF ALL LIENS AND ENCUMBRANCES OF RECORD.

DATED THIS ____ DAY OF, 20____.

CHAIR

BOARD OF COUNTY COMMISSIONERS APPROVAL

APPROVED BY THE ADAMS COUNTY BOARD OF COMMISSIONERS THIS ____ DAY OF _____ A.D., 20____.


CHAIR

CLERK AND RECORDER'S CERTIFICATE

THIS FINAL PLAT WAS FILED FOR RECORD IN THE OFFICE OF THE ADAMS COUNTY CLERK AND RECORDER, IN THE STATE OF COLORADO, AT _____M. ON THE ____ DAY OF _____A.D., 20____.

COUNTY CLERK AND RECORDER

BY: _____ RECEPTION NO. _____
DEPUTY

 AzTec Proj. No.: 54818-35	300 East Mineral Ave., Suite 1 Littleton, Colorado 80122 Phone: (303) 713-1898 Fax: (303) 713-1897 www.aztecconsultants.com	DATE OF PREPARATION: 2018-10-09
	Drawn By:	SCALE: N/A
	SHEET 1 OF 5	

MIDTOWN AT CLEAR CREEK—FILING NO. 11

CASE NO. PRC
2018—00018

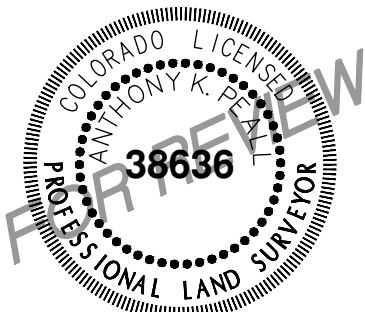
A PORTION OF THE NORTHWEST 1/4 OF THE SOUTHEAST 1/4 SECTION 4,
TOWNSHIP 3 SOUTH, RANGE 68 WEST OF THE SIXTH PRINCIPAL MERIDIAN,
COUNTY OF ADAMS, STATE OF COLORADO

NOTES

1. BEARINGS ARE BASED ON THE WEST LINE OF THE NORTHWEST QUARTER OF THE SOUTHEAST QUARTER OF SECTION 4, TOWNSHIP 3 SOUTH, RANGE 68 WEST OF THE SIXTH PRINCIPAL MERIDIAN AS MONUMENTED AT THE CENTER QUARTER CORNER OF SAID SECTION 4 BY A 3–1/4" ALUMINUM CAP IN A MONUMENT BOX, STAMPED "PLS 28664", AND AT THE CENTER–SOUTH SIXTEENTH CORNER OF SAID SECTION 4 BY A 3–1/4" ALUMINUM CAP IN A MONUMENT BOX, STAMPED "PLS 23519" SAID LINE BEARS SOUTH 00°00'15" WEST, A DISTANCE OF 1324.85 FEET.
2. THE POLICY OF THE COUNTY REQUIRES THAT MAINTENANCE ACCESS SHALL BE PROVIDED TO ALL STORM DRAINAGE FACILITIES TO ASSURE CONTINUOUS OPERATIONAL CAPABILITY OF THE SYSTEM. THE PROPERTY OWNERS SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF ALL DRAINAGE FACILITIES INCLUDING INLETS, PIPES, CULVERTS, CHANNELS, DITCHES, HYDRAULIC STRUCTURES, AND DETENTION BASINS LOCATED ON THEIR LAND OR WITHIN EASEMENTS OR AS DEFINED BY LICENSE AGREEMENTS PROVIDED FOR SAID STORM DRAINAGE FACILITIES, UNLESS MODIFIED BY THE SUBDIVISION DEVELOPMENT AGREEMENT. SHOULD THE OWNER FAIL TO MAINTAIN SAID FACILITIES, THE COUNTY SHALL HAVE THE RIGHT TO ENTER SAID LAND FOR THE SOLE PURPOSE OF OPERATIONS AND MAINTENANCE. ALL SUCH MAINTENANCE COSTS WILL BE ASSESSED TO THE PROPERTY OWNERS THEIR SUCCESSORS OR ASSIGNS.
3. ANY PERSON WHO KNOWINGLY REMOVES OR KNOWINGLY CAUSES TO BE REMOVED ANY PUBLIC LAND SURVEY MONUMENT, AS DEFINED BY SECTION 38–53–103 (18), C.R.S., OR CONTROL CORNER, AS DEFINED IN SECTION 38–53–103 (6), C.R.S., OR A RESTORATION OF ANY SUCH MONUMENT OR WHO KNOWINGLY REMOVES OR KNOWINGLY CAUSES TO BE REMOVED ANY BEARING TREE KNOWING SUCH IS A BEARING TREE OR OTHER ACCESSORY, AS DEFINED BY SECTION 38–53–103 (1), C.R.S., EVEN IF SAID PERSON HAS TITLE TO THE LAND ON WHICH SAID MONUMENT OR ACCESSORY IS LOCATED, COMMITS A CLASS 2 MISDEMEANOR UNLESS, PRIOR TO SUCH REMOVAL, SAID PERSON HAS CAUSED A COLORADO PROFESSIONAL LAND SURVEYOR TO ESTABLISH AT LEAST TWO WITNESS CORNERS OR REFERENCE MARKS FOR EACH SUCH MONUMENT OR ACCESSORY REMOVED AND HAS FILED OR CAUSED TO BE FILED A MONUMENT RECORD PURSUANT TO ARTICLE 53 OF TITLE 38, C.R.S.
4. AZTEC CONSULTANTS, INC. HAS RELIED UPON THE PROPERTY INFORMATION BINDER ORDER NUMBER ABC70596111 PREPARED BY LAND TITLE GUARANTEE COMPANY, EFFECTIVE DATE SEPTEMBER 05, 2018 AT 5:00 P.M., FOR OWNERSHIP AND FOR THE PURPOSE OF SHOWING RECORDED EASEMENTS AND RIGHTS–OF–WAY ACROSS THESE PREMISES. THIS SURVEY AND PLAT DOES NOT CONSTITUTE A TITLE SEARCH BY AZTEC CONSULTANTS, INC., TO DETERMINE OWNERSHIP OR APPLICABLE EASEMENTS AND RIGHTS–OF–WAY.
5. DISTANCES ON THIS PLAT ARE GROUND DISTANCES EXPRESSED IN U.S. SURVEY FEET AND DECIMALS THEREOF. A U.S. SURVEY FOOT IS DEFINED AS EXACTLY 1200/3937 METERS.
6. 6–FOOT WIDE UTILITY EASEMENTS AS SHOWN HERE ON, ARE DEDICATED FOR ELECTRIC, GAS, TELEVISION CABLE, AND TELECOMMUNICATIONS FACILITIES. THE HOME OWNER SHALL BE RESPONSIBLE FOR ALL MAINTENANCE WITHIN THE EASEMENT EXCEPT THAT PORTION WITHIN THE PRIVATE ALLEY TRACT WHERE APPLICABLE.
7. THE PRIVATE ALLEY TRACTS WILL BE MAINTAINED BY CLEAR CREEK STATION METROPOLITAN DISTRICT NO. 1. THESE UTILITY EASEMENTS ARE FOR THE BENEFIT OF THE APPLICABLE UTILITY PROVIDERS FOR THE INSTALLATION, MAINTENANCE, AND REPLACEMENT OF ELECTRIC, GAS, TELEVISION CABLE AND TELECOMMUNICATIONS FACILITIES (DRY UTILITIES). UTILITY EASEMENTS ARE HEREBY GRANTED WITHIN ANY ACCESS EASEMENTS AND PRIVATE STREETS AND ALLEYS IN THE SUBDIVISION. PERMANENT STRUCTURES, IMPROVEMENTS, OBJECTS, BUILDINGS, WELLS, WATER METERS AND OTHER OBJECTS THAT MAY INTERFERE WITH THE UTILITY FACILITIES OR USE THEREOF (INTERFERING OBJECTS) SHALL NOT BE PERMITTED WITHIN SAID UTILITY EASEMENTS AND THE UTILITY PROVIDERS, AS GRANTEES, MAY REMOVE INTERFERING OBJECTS AT NO COST TO GRANTEE, INCLUDING, WITHOUT LIMITATION, VEGETATION. WET UTILITIES (WATER, SANITARY SEWER, AND/OR STORM SEWER) SHALL CROSS DRY UTILITY EASEMENTS AT NEAR RIGHT ANGLES.
8. THE CLEAR CREEK STATION METROPOLITAN DISTRICT NO. 1 (‘CCSMD’) IS RESPONSIBLE FOR THE ENFORCEMENT OF LANDSCAPE MAINTENANCE REQUIREMENTS. THROUGH CCSMD, A DRC (DESIGN REVIEW COMMITTEE) WILL REVIEW PRIVATE OPEN SPACE DESIGN FOR COMPATIBILITY. PRIVATE LOT OWNERS SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF THEIR PROPERTY AS WELL AS ADJACENT TREE LAWN AREA(S). MAINTENANCE OF THE TREE LAWN ALONG PECOS ST. WILL BE MAINTAINED BY THE CCSMD. THE COUNTY, ITS SUCCESSOR OR ASSIGNS SHALL BE RESPONSIBLE FOR MAINTAINING ALL LOCAL STREETS, COLLECTOR STREETS AND ARTERIAL STREETS (PECOS STREET). HOMEOWNER OF LAND ABUTTING A CONSTRUCTED PUBLIC RIGHT–OF–WAY IS RESPONSIBLE FOR MAINTENANCE OF CURB, GUTTER, AND SIDEWALK ALONG THE RIGHT–OF–WAY ABUTTING HIS PROPERTY INCLUDING SNOW REMOVAL FOR PEDESTRIAN ACCESS.
9. BASED ON A GRAPHICAL REPRESENTATION OF FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA) FLOOD INSURANCE RATE MAPS (FIRM) MAP NO. 08001C0584H WITH AN EFFECTIVE DATE OF MARCH 5, 2007 A PORTION OF THE SUBJECT PROPERTY LIES WITHIN ZONE X, BEING DEFINED AS "OTHER AREAS ... DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOOD".
10. ALL PRIVATE STORM SEWER AND AREA DRAIN SYSTEMS THAT ORIGINATE WITHIN A PRIVATE LOT OR PRIVATELY OWNED TRACT AND OUTFALL TO A PUBLIC STORM SEWER MAIN LOCATED WITHIN THE PUBLIC RIGHT–OF–WAY, ARE TO BE OWNED AND MAINTAINED BY THE CLEAR CREEK STATION METROPOLITAN DISTRICT NO. 1. THE OWNERSHIP AND MAINTENANCE RESPONSIBILITIES FOR THESE PRIVATE STORM SEWERS SHALL BE UP TO AND INCLUDING THE CONNECTION POINT TO THE PUBLIC STORM SEWER WITHIN THE PUBLIC RIGHT–OF–WAY. THE CLEAR CREEK STATION METROPOLITAN DISTRICT NO. 1 ITS SUCCESSORS OR ASSIGNS SHALL SECURE APPLICABLE PERMITS FOR WORK WITHIN THE ADAMS COUNTY RIGHT–OF–WAY WHENEVER MAINTENANCE IS WITHIN THE PUBLIC RIGHT–OF–WAY.
11. ACCESS AND UTILITY EASEMENTS ARE HEREBY GRANTED BY THIS PLAT OVER AND ACROSS ALL OF TRACTS E AND I.
12. THE APPROVED STORMWATER OPERATIONS AND MAINTENANCE MANUAL IS ON FILE WITH THE ADAMS COUNTY CLERK AND RECORDER’S OFFICE AT RECEPTION NO. 2017000109135.
13. THE PROPERTY DESCRIBED WITHIN THIS PLAT IS SUBJECT TO A BLANKET EASEMENT AS DESCRIBED IN GROUNDWATER EASEMENT RECORDED UNDER REC. NO. 2007000079794.
14. THE PROPERTY DESCRIBED WITHIN THIS PLAT IS SUBJECT TO A BLANKET EASEMENT AS DESCRIBED IN SEEP WATER REMEDIATION SYSTEM EASEMENT RECORDED UNDER REC. NO. 2007000079795.
15. THE PROPERTY DESCRIBED WITHIN THIS PLAT IS SUBJECT TO A BLANKET ACCESS EASEMENT AS DESCRIBED IN LIMITED ACCESS AGREEMENT AND EASEMENT, RECORDED UNDER REC. NO. 2007000080311 AND 2007000080312.
16. THE PROPERTY DESCRIBED WITHIN THIS PLAT IS SUBJECT TO BLANKET EASEMENTS AS DESCRIBED IN DECLARATION OF EASEMENTS AND MASTER ARCHITECTURAL AND MAINTENANCE STANDARDS FOR MIDTOWN, RECORDED UNDER REC. NO. 2013000055284.

ADDRESS TABLE

BLOCK 1		BLOCK 1		BLOCK 1	
LOT	ADDRESS	LOT	ADDRESS	LOT	ADDRESS
1	X	25		49	
2		26		50	
3		27		51	
4		28		52	
5		29		53	
6		30		54	
7		31		55	
8		32		56	
9		33		57	
10		34		58	
11		35		59	
12		36		60	
13		37		61	
14		38		62	
15		39		63	
16		40		64	
17		41		65	
18		42		66	
19		43		67	
20		44		68	
21		45		69	
22		46		70	
23		47		71	
24		48		72	

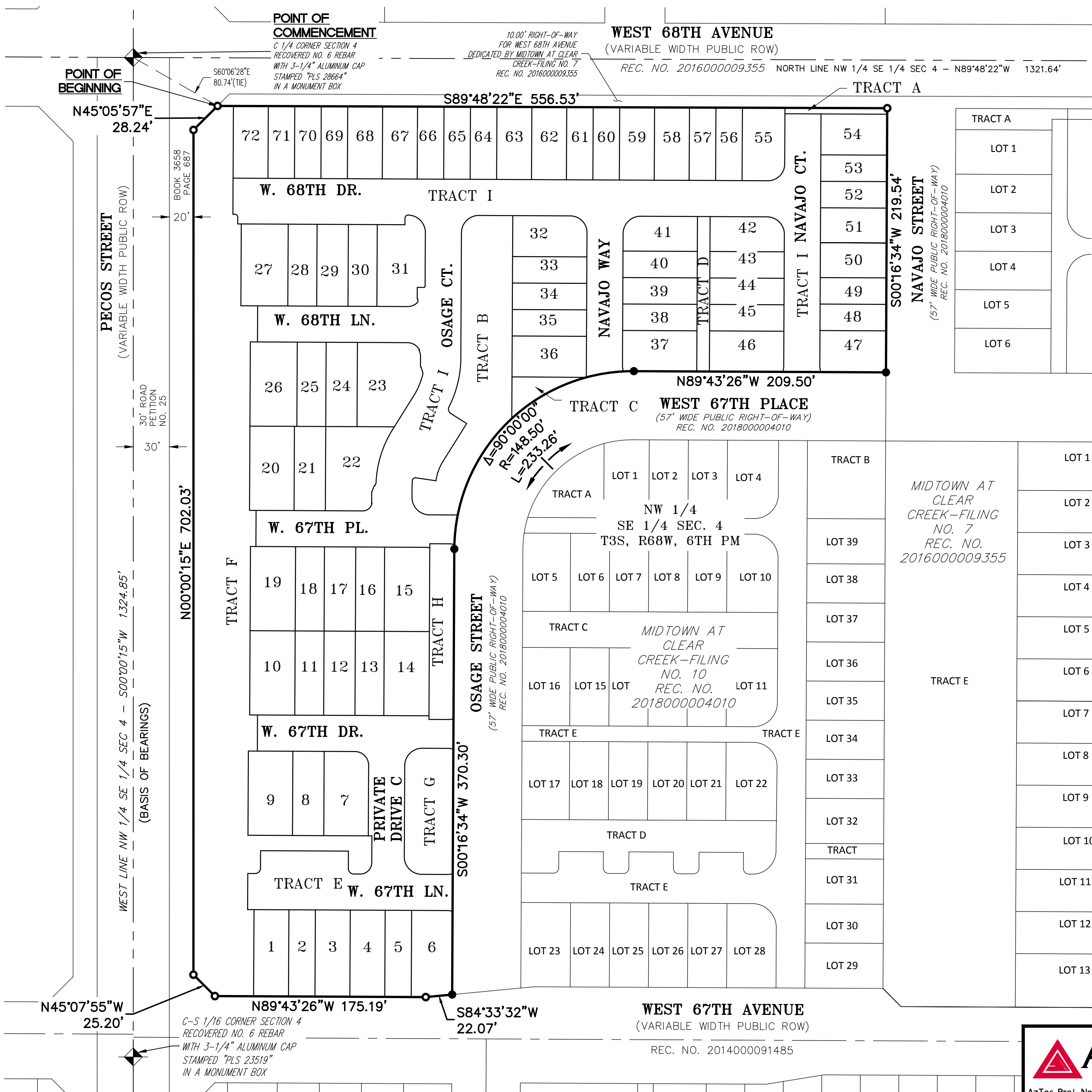


FOR AND ON BEHALF OF
AZTEC CONSULTANTS, INC

MIDTOWN AT CLEAR CREEK—FILING NO. 11

CASE NO. PRC
2018-00018

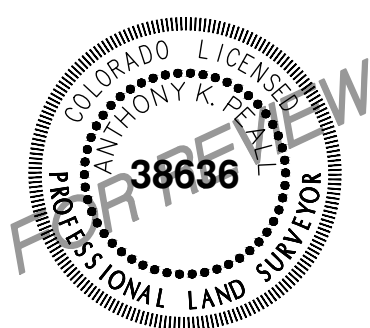
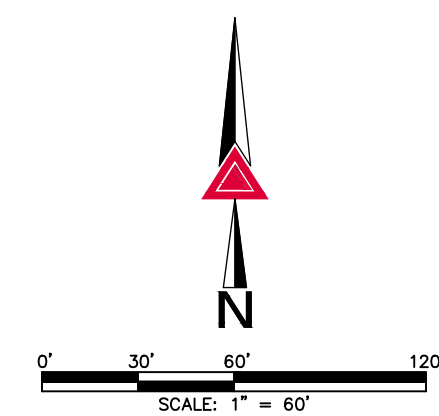
A PORTION OF THE NORTHWEST 1/4 OF THE SOUTHEAST 1/4 SECTION 4,
TOWNSHIP 3 SOUTH, RANGE 68 WEST OF THE SIXTH PRINCIPAL MERIDIAN,
COUNTY OF ADAMS, STATE OF COLORADO



C-E 1/16 CORNER SECTION 4
RECOVERED NO. 6 REBAR
WITH 3-1/4" ALUMINUM CAP
STAMPED "PLS 26970"
IN A MONUMENT BOX

LEGEND

- RECOVERED P.L.S.S. CORNER
STAMPED AS NOTED
- SET NO. 5 REBAR WITH 1-1/4"
ORANGE PLASTIC CAP STAMPED
"AZTEC PLS 38064"
- RECOVERED NO. 5 REBAR WITH
1-1/4" ORANGE PLASTIC CAP
STAMPED "AZTEC PLS 38064"
- ROW RIGHT-OF-WAY



FOR AND ON BEHALF OF
AZTEC CONSULTANTS, INC.

**Aztec**
CONSULTANTS, INC.

300 East Mineral Ave., Suite 1
Littleton, Colorado 80122
Phone: (303) 713-1898
Fax: (303) 713-1897
www.aztecconsultants.com

Aztec Proj. No.: 54818-35
Drawn By: RDR

DATE OF PREPARATION:	2018-10-09
SCALE:	1"=60'
SHEET 3 OF 5	

CASE NO. PRC
2018-00018

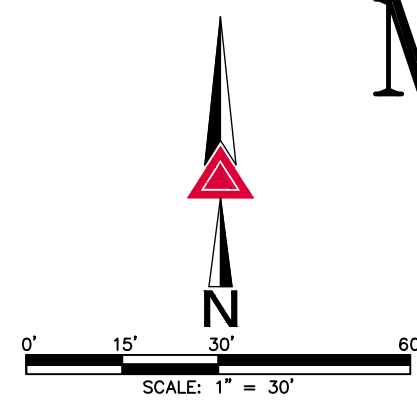
CASE NO. PRC
2018-00018



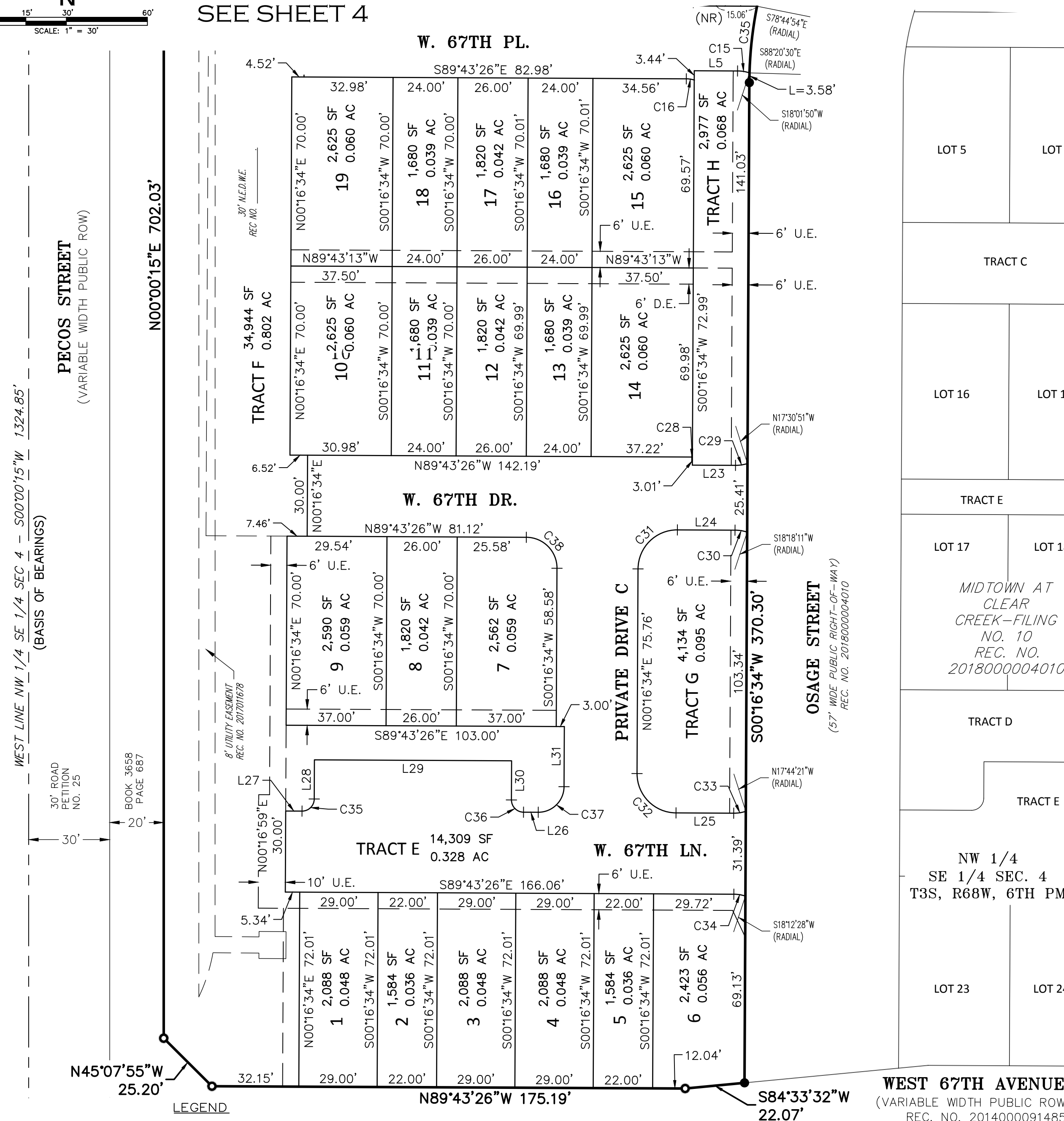
MIDTOWN AT CLEAR CREEK—FILING NO. 11

CASE NO. PRC
2018-00018

A PORTION OF THE NORTHWEST 1/4 OF THE SOUTHEAST 1/4 SECTION 4,
TOWNSHIP 3 SOUTH, RANGE 68 WEST OF THE SIXTH PRINCIPAL MERIDIAN,
COUNTY OF ADAMS, STATE OF COLORADO



SEE SHEET 4



PECOS STREET
(VARIABLE WIDTH PUBLIC ROW)

WEST LINE NW 1/4 SEC 4 - S00°00'15\"W 1324.85'
(BASIS OF BEARINGS)

30' ROAD
PETITION
NO. 25

BOOK 3658
PAGE 687

N45°07'55\"W
25.20'

LEGEND

- SET NO. 5 REBAR WITH 1-1/4\" PINK PLASTIC CAP STAMPED \"AZTEC PLS 38636\"
- RECOVERED NO. 5 REBAR WITH 1-1/4\" ORANGE PLASTIC CAP STAMPED \"AZTEC PLS 38064\"

U.E. UTILITY EASEMENT
N.E.D.W.E. 30' NON-EXCLUSIVE DENVER WATER EASEMENT

WEST 67TH AVENUE
(VARIABLE WIDTH PUBLIC ROW)
REC. NO. 2014000091485

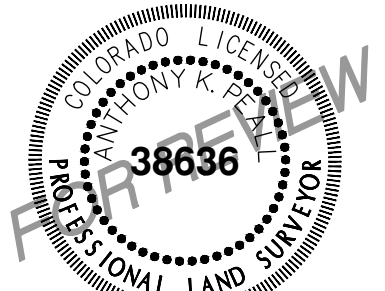
CURVE TABLE			
CURVE	DELTA	RADIUS	LENGTH
C1	90°00'00"	13.87'	21.79'
C2	20°03'19"	13.92'	4.87'
C3	18°45'37"	13.92'	4.56'
C4	90°00'00"	14.50'	22.78'
C5	90°00'00"	14.50'	22.78'
C6	20°03'56"	13.92'	4.87'
C7	90°00'00"	13.92'	21.86'
C8	90°00'00"	14.50'	22.78'
C9	26°42'48"	90.00'	41.96'
C10	84°57'42"	4.50'	6.67'
C11	24°20'01"	40.50'	17.20'
C12	92°50'32"	2.50'	4.06'
C13	4°55'52"	62.47'	5.38'
C14	90°00'00"	14.50'	22.78'
C15	17°45'16"	14.50'	4.49'
C16	17°03'44"	10.00'	2.98'
C17	82°31'48"	8.03'	11.56'
C18	11°31'55"	7.50'	1.51'
C19	29°50'08"	90.00'	46.87'
C20	19°22'13"	60.00'	20.28'

CURVE TABLE			
CURVE	DELTA	RADIUS	LENGTH
C21	28°55'50"	11.00'	5.55'
C22	62°26'14"	11.50'	12.53'
C23	47°39'41"	11.50'	9.57'
C24	90°00'00"	1.00'	1.57'
C25	90°00'00"	14.50'	22.78'
C26	90°00'00"	2.50'	3.93'
C27	90°00'00"	2.50'	3.93'
C28	3°13'45"	5.00'	0.28'
C29	17°47'25"	14.50'	4.50'
C30	18°04'36"	14.50'	4.57'
C31	90°00'00"	14.50'	22.78'
C32	90°00'00"	14.50'	22.78'
C33	18°00'55"	14.50'	4.56'
C34	17°55'54"	13.92'	4.36'
C35	9°35'36"	148.50'	24.86'
C36	90°00'04"	4.50'	7.07'
C37	90°00'00"	9.50'	14.92'
C38	90°00'00"	11.42'	17.94'
C39	36°02'26"	148.50'	93.41'

LINE TABLE		
LINE	BEARING	LENGTH
L1	N57°58'20\"W	15.37'
L2	S81°35'55\"E	16.92'
L3	N00°16'34\"E	8.61'
L4	S89°43'26\"E	23.59'
L5	S89°43'26\"E	16.02'
L6	S89°43'26\"E	0.51'
L7	S00°16'31\"W	7.60'
L8	S22°02'56\"W	6.02'
L9	N67°56'57\"W	0.50'
L10	S22°05'38\"W	2.29'
L11	S32°01'40\"W	30.44'
L12	S16°56'30\"E	5.47'
L13	N89°43'26\"W	0.50'
L14	N00°16'34\"E	8.68'
L15	N89°43'26\"W	0.57'
L16	S00°16'34\"W	2.75'
L17	N89°43'26\"E	0.50'
L18	S00°16'34\"W	9.50'
L19	N89°43'26\"W	5.50'
L20	N00°16'34\"E	5.50'

LINE TABLE		
LINE	BEARING	LENGTH
L21	S00°16'34\"W	5.50'
L22	S89°43'26\"E	1.50'
L23	N89°43'26\"W	15.97'
L24	S89°43'26\"E	21.34'
L25	N89°43'26\"W	21.35'
L26	S89°43'26\"E	5.46'
L27	S89°43'26\"E	6.04'
L28	N00°16'34\"E	14.50'
L29	S89°43'26\"E	73.00'
L30	S00°16'34\"W	14.50'
L31	N00°16'34\"E	22.26'
L32	S34°58'40\"E	20.91'
L33	S00°16'34\"W	7.93'
L34	N89°43'26\"W	10.00'
L35	S00°16'34\"W	8.00'
L36	N00°16'34\"E	5.36'
L37	S89°43'26\"E	7.97'
L38	S78°58'43\"E	5.00'
L39	S60°43'38\"E	4.69'
L40	N89°43'26\"W	9.49'

LINE TABLE		
LINE	BEARING	LENGTH
L41	S00°16'34\"W	5.00'
L42	S55°16'34\"W	13.95'
L43	N90°00'00\"E	8.00'
L44	S00°16'34\"W	10.00'
L45	N90°00'00\"W	8.00'



FOR AND ON BEHALF OF
AZTEC CONSULTANTS, INC.

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www.aztecconsultants.com

AzTec Proj. No.: 54818-35
Drawn By: RDR

DATE OF PREPARATION:	2018-10-09
SCALE:	1"=30'
SHEET 5 OF 5	

CERTIFICATE OF OWNERSHIP

Midtown, LLC, being an owner of Midtown at Clear Creek - Filing No.11, located in the County of Adams, State of Colorado, hereby submit this Planned Unit Development - Final Development Plan and agrees to perform under the terms noted hereon.

OWNER: _____

State: _____.

County: _____.

City: _____.

The forgoing instrument was acknowledged before me this _____ day of _____ 20 _____.

Notary Public _____

My commission expires: _____

Clear Creek Station Metropolitan District No. 1, being an owner of Midtown at Clear Creek - Filing No.6, located in the County of Adams, State of Colorado, hereby submit this Planned Unit Development - Final Development Plan and agrees to perform under the terms noted hereon.

OWNER: _____

State: _____.

County: _____.

City: _____.

The forgoing instrument was acknowledged before me this _____ day of _____ 20 _____.

Notary Public _____

My commission expires: _____

BOARD OF COUNTY COMMISSIONERS APPROVAL

Approved by the Adams County Board of Commissioners this _____ day of _____ 20 _____.

Chair

CERTIFICATE OF THE CLERK AND RECORDER

This Final Development Plan was filed for record in the Office of the Adams County Clerk and Recorder in the State of Colorado at _____ m. on the _____ day of _____ 20 _____.

County Clerk and Recorder

By Deputy: _____

STAFF REVIEW

Approved as to form by:

Community and Economic Development

County Attorney

File Number: _____.

Map Number: _____.

Reception Number: _____.

ADDITIONS AND DELETIONS

The following Additions and Deletions in the PUD were made by the Board of County Commissioners at the time of approval.

MIDTOWN

AT CLEAR CREEK
IN THE COUNTY OF ADAMS, COLORADO

PLANNED UNIT DEVELOPMENT - FINAL DEVELOPMENT PLAN FILING ELEVEN

LAND OWNERS

Midtown, LLC
6465 S. Greenwood Plaza Blvd.
Suite 700
Centennial, CO 80111
Contact: Chris Petro
303-706-9451

APPLICANT

Midtown, LLC
6465 S. Greenwood Plaza Blvd.
Suite 700
Centennial, CO 80111
Contact: Chris Petro
303-706-9451

PREPARERS

ENGINEER:
Redland
1500 West Canal Court
Littleton, CO 80120
Contact: Mike Pietschmann
720-283-6783

PREPARERS

PLANNER:
Norris Design
1101 Bannock Street
Denver, CO 80204
Contact: Eva Mather
303-892-1166

LEGAL DESCRIPTION

A PARCEL OF LAND BEING A PART OF THAT SPECIAL WARRANTY DEED RECORDED AT RECEPTION NO. 2007000079792 OF THE RECORDS OF THE ADAMS COUNTY CLERK AND RECORDER'S OFFICE AND LYING IN THE NORTHWEST QUARTER OF THE SOUTHEAST QUARTER OF SECTION 4, TOWNSHIP 3 SOUTH, RANGE 68 WEST OF THE SIXTH PRINCIPAL MERIDIAN, COUNTY OF ADAMS, STATE OF COLORADO, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT THE CENTER QUARTER CORNER OF SAID SECTION 4, MONUMENTED BY A 3-1/4" ALUMINUM CAP STAMPED "PLS 28664", IN A MONUMENT BOX, WHENCE THE CENTER-SOUTH SIXTEENTH CORNER OF SAID SECTION 4, MONUMENTED BY A 3-1/4" ALUMINUM CAP STAMPED "PLS 23519", IN A MONUMENT BOX. BEARS SOUTH 00°00'15" WEST, A DISTANCE OF 1324.85 FEET FORMING THE BASIS OF BEARINGS USED IN THIS DESCRIPTION;

THENCE SOUTH 60°06'28" EAST, A DISTANCE OF 80.74 FEET TO A POINT ON THE SOUTHERLY RIGHT-OF-WAY OF WEST 68TH AVENUE AS DEDICATED ON THE PLAT OF MIDTOWN AT CLEAR CREEK-FILING NO. 7 A SUBDIVISION PLAT RECORDED AT RECEPTION NO. 2016000009355, IN SAID RECORDS AND THE **POINT OF BEGINNING**;

THENCE ALONG SAID SOUTHERLY RIGHT-OF-WAY OF WEST 68TH AVENUE, SOUTH 89°48'22" EAST, A DISTANCE OF 556.53 FEET TO THE WESTERLY RIGHT-OF-WAY OF NAVAJO STREET AS DEDICATED ON SAID PLAT OF MIDTOWN AT CLEAR CREEK-FILING NO. 7;

THENCE ALONG SAID WESTERLY RIGHT-OF-WAY OF NAVAJO STREET, SOUTH 00°16'34" WEST, A DISTANCE OF 219.54 FEET TO THE NORTHERLY RIGHT-OF-WAY OF WEST 67TH PLACE AS DEDICATED ON THE PLAT OF MIDTOWN AT CLEAR CREEK-FILING NO. 10 RECORDED AT RECEPTION NO. 2018000004010, IN SAID RECORDS;

THENCE ALONG SAID NORTHERLY RIGHT-OF-WAY OF WEST 67TH PLACE AND THE WESTERLY RIGHT-OF-WAY OF OSAGE STREET AS DEDICATED ON SAID PLAT OF MIDTOWN AT CLEAR CREEK-FILING NO. 10 THE FOLLOWING THREE (3) COURSES:

1. NORTH 89°43'26" WEST, A DISTANCE OF 209.50 FEET TO THE BEGINNING OF A TANGENT CURVE CONCAVE SOUTHEASTERLY HAVING A RADIUS OF 148.50 FEET;
2. SOUTHWESTERLY ALONG SAID CURVE THROUGH A CENTRAL ANGLE OF 90°00'00", AN ARC LENGTH OF 233.26 FEET;
3. TANGENT TO SAID CURVE, SOUTH 00°16'34" WEST, A DISTANCE OF 370.30 FEET TO THE NORTHERLY RIGHT-OF-WAY OF WEST 67TH AVENUE AS DEDICATED ON THE PLAT OF MIDTOWN AT CLEAR CREEK-FILING NO. 5 RECORDED AT RECEPTION NO. 2014000091485, IN SAID RECORDS;

THENCE ALONG SAID NORTHERLY RIGHT-OF-WAY OF WEST 67TH AVENUE THE FOLLOWING THREE (3) COURSES:

1. SOUTH 84°33'32" WEST, A DISTANCE OF 22.07 FEET;
2. NORTH 89°43'26" WEST, A DISTANCE OF 175.19 FEET;
3. NORTH 45°07'55" WEST, A DISTANCE OF 25.20 FEET TO THE EASTERLY RIGHT-OF-WAY OF PECOS STREET AS DESCRIBED IN BOOK 3658 AT PAGE 687, IN SAID RECORDS;

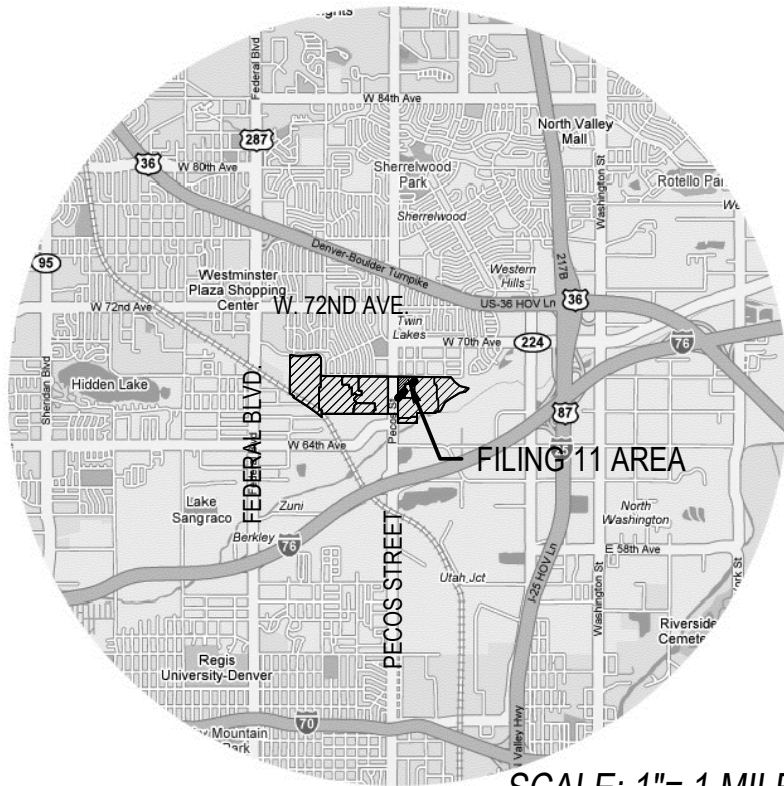
THENCE ALONG SAID EASTERLY RIGHT-OF-WAY OF PECOS STREET, NORTH 00°00'15" EAST, A DISTANCE OF 702.03 FEET;

THENCE CONTINUING ALONG SAID EASTERLY RIGHT-OF-WAY, NORTH 45°05'57" EAST, A DISTANCE OF 28.24 FEET TO THE **POINT OF BEGINNING**.

CONTAINING AN AREA OF 5.584 ACRES, (243,236 SQUARE FEET), MORE OR LESS.

Case Number: _____

VICINITY MAP



SCALE: 1"= 1 MILE

SHEET INDEX-PUD-FDP

- SHEET 1: COVER SHEET
- SHEET 2: WRITTEN NARRATIVE
- SHEET 3: SITE PLAN
- SHEET 4: LANDSCAPE SITE PLAN
- SHEET 5: LANDSCAPE SITE PLAN
- SHEET 6: LANDSCAPE SITE PLAN
- SHEET 7: LANDSCAPE INSTALLATION &MAINTENANCE
- SHEET 8: LANDSCAPE PLANT LIST
- SHEET 9: LANDSCAPE TYPICALS
- SHEET 10: LANDSCAPE TYPICALS
- SHEET 11: ARCHITECTURAL STANDARDS
- SHEET 12: ARCHITECTURAL STANDARDS
- SHEET 13: LANDSCAPE DETAILS
- SHEET 14: LANDSCAPE DETAIL
- SHEET 15: LANDSCAPE DETAILS
- SHEET 16: LANDSCAPE DETAILS

Sheet Title

COVER
SHEET

Sheet Number

1 OF 18

Brookfield Residential

6465 S. Greenwood Plaza Blvd., Suite 700
Centennial, CO 80111
303-706-9451

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Where Great Places Begin
720-283-6783
1500 West Canal Court
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MIDTOWN AT CLEAR CREEK
FINAL DEVELOPMENT PLAN - FILING ELEVEN
ADAMS COUNTY, COLORADO

Issue Date

09 / 14 / 2018

Revision Date

12 / 21 / 2018

NOT FOR
CONSTRUCTION

NARRATIVE

A. Explanation of the Characteristics of the PUD

The Filing Eleven Final Development Plan (FDP) area at Midtown at Clear Creek is comprised of approximately 5.584 acres, consisting of 72 single-family townhome lots designated for two housing product types. The intent of the Filing Eleven FDP is to entitle 25 front-loaded townhomes, and 47 rear-loaded townhomes for this application.

The open space improvements in this FDP include streetscapes and a pocket park that facilitate passive uses and gathering space.

This FDP is located on the east side of Pecos Street, north of West 67th Avenue, south of West 68th Avenue and generally west and north of Filing Ten. Primary access to this FDP area is from W. 67th Place and Navajo Street, as well as W. 67th Avenue and Osage Street. The Filing Eleven FDP area is an extension of the established block structure, vehicular circulation and landscape treatment approved and constructed in Phase One, Filing Two, Filing Three, Filing Four, Filing Five, Filing Six, Filing Seven, Filing Eight, Filing Nine, and Filing Ten.

B. Potential Impact or Proposed Mitigation on the Surrounding Area

This FDP is generally consistent with the approved Third Amendment to the Preliminary Development Plan. The complete Midtown at Clear Creek PUD is comprised of approximately 181.8 acres. Incorporated into the overall community vision is a local commercial / mixed-use area, a variety of residential home types and a system of open space, parks and trails which includes a dedicated open space area. As future transit / rail opportunities are implemented by RTD and the Fast Tracks programs, the community will have even more convenient access to major transportation corridors in the Denver Metro Area.

C. Contemplated Intensity and Density of Land Use

72 single-family attached lots are proposed in the Filing Eleven FDP and the corresponding Final Plat. The proposed density and land coverage is consistent with the Third Amendment to the Preliminary Development Plan for the Midtown at Clear Creek PUD.

Per the approved PDP for Midtown at Clear Creek, the overall number of allowable residential units is 1,208 with a gross density of approximately 6.7 dwelling units per acre. This maximum overall residential unit count may also include the commercial/mixed-use area (if it is not developed with retail uses).

Based on planned build-out, the Midtown community will provide open space areas consistent with this type of urban infill development and meets or exceeds the Adams County standards for open space requirements.

D. Number, Type, and Size of Buildings and/or Units

72 single-family attached residential lots are proposed in the Filing Eleven FDP and the corresponding Final Plat. One rear-loaded home type, and one front-loaded home type are proposed in the Filing Eleven FDP, refer to Sheets 9-10 for the lot typical and refer to Sheet 12 for the setback and building height restriction standards. The following description is the home type proposed in the Filing Eleven FDP:

Single Family Rear-loaded Townhome

Consists of multiple residences that share one (1) or two (2) walls with an adjoining home. These residences have front porches that front onto a pedestrian street or courtyard and alley accessed garages in the rear. Sizes of residences vary in square footage.

Refer to Detail A on Architectural Standards Sheet 11. Refer to Sheet 12 for the setback and building height restriction standards as established in the approved Third Amendment to the Preliminary Development Plan.

Single Family Front-loaded Townhome

Consists of multiple residences that share one (1) or two (2) walls with an adjoining home. These residences front onto a private drive. Sizes of residences vary in square footage.

Refer to Detail B on Architectural Standards Sheet 11. Refer to Sheet 12 for the setback and building height restriction standards as established in the approved Third Amendment to the Preliminary Development Plan.

E. Provisions for Parking

The parking plan shall accommodate a minimum of 2.5 parking spaces per dwelling unit overall. Overall quantity of parking spaces provided within Midtown exceed the minimum parking requirement. Alleys and private drives will be used to access garages and parking for the homes in this FDP. 30-foot wide fire access alleys are for passenger vehicles, garbage truck access, and fire access only and allow for alley-accessed garages. Each

home will provide a minimum of two (2) off-street parking spaces. Parallel parking is not allowed between the garage and paved alley in fire access alleys. Refer to Architectural Standards on sheets 11. The parking summary is located on Sheet 3.

F. Circulation and Road Patterns

To help ensure a pedestrian-friendly environment, the planned circulation patterns allow for distribution and disbursement of internal traffic through the development. The vehicular road pattern for the Midtown community will integrate the existing and proposed roadway systems. A signalized intersection at West 67th Avenue moves motorists through the central West 67th Avenue corridor and away from the existing neighborhood and 68th Avenue. All streets meet the standards included in Third Amendment to the Preliminary Development Plan.

G. Ownership and Maintenance of Common Areas

All common areas will be maintained by the Clear Creek Station Metropolitan District No. 1 ("CCSMD"). CCSMD is responsible for the enforcement of landscape maintenance requirements. Through the CCSMD, a DRC (Design Review Committee) will review private open space design for compatibility. Private lot owners shall be responsible for the maintenance of their property as well as adjacent tree lawn area(s). The County, its successor or assigns shall be responsible for maintaining all local streets, collector streets, and arterial streets (Pecos Street) after dedication, construction, and acceptance has been granted. Homeowner of land abutting a constructed public right-of-way is responsible for maintenance of curb, gutter, and sidewalk along the right-of-way abutting his property including snow removal for pedestrian access. Alleys and private drives shall be privately maintained by CCSMD. Dog stations will be maintained by CCSMD.

H. Type, Location, Examples of Copy and Construction of Signs

Entry Monuments at Midtown are located at key intersections and crossings. This FDP includes one new entry monumentation at the northeast corner of West 68th Avenue and Pecos Street.

I. Type and Allocation of All Uses Including Permitted Uses, Uses Permitted After Amendment to the PUD and Prohibited Uses

The design intent for Midtown at Clear Creek is to create a mixed-use infill community that includes a variety of home types. This FDP area includes single-family attached homes. In keeping with the Traditional Neighborhood Development concept, the Filing Eleven FDP area layout has a grid form and includes both a rear-loaded product type, and a front-loaded product type. This FDP also includes open space tracts and landscaped tree lawns.

J. Location and Types of Landscaping and Maintenance Provisions

The approved Midtown at Clear Creek PUD includes a variety of parks and open spaces strategically located throughout the community. This FDP includes streetscape landscape, a pocket park, and various landscape tracts. Landscape Tracts shall be maintained by the CCSMD. Tree lawns adjacent to private lots will be installed by homeowner or builder and maintained by the homeowner.

K. Description of Building Envelopes Including Square Footage and/or Number of Units, Minimum Building Setback(s), Height, and General External Characteristics

Building setbacks are based on development standards included in the Third Amendment to the Preliminary Development Plan. Sheets 11 and 12 of this FDP further describes lot and building standards.

Typical lot sizes for the front-loaded townhome range between approximately 1,680 sf to 3,425 sf, and typical lot sizes for the rear-loaded townhomes range between approximately 1,210 sf to 2,425 sf. These are anticipated ranges and actual lots may be constructed that fall slightly outside of this estimated range to respond to final design of homes.

Architectural design allows for incorporation of a variety of architectural styles from contemporary to more regional styles such as craftsman or prairie. Please refer to Sheet 11 in this FDP, the architectural standard sheet included in the approved Third Amendment to the Preliminary Development Plan, and the Design Guidelines for additional information. All community development on the property should comply with these standards when they are adopted by the Design Review Committee.

L. Covenants to be Imposed on the PUD

Architectural and landscape design guidelines have been developed for Midtown. All builders and homeowners will be required to go through the DRC. The County shall not approve a building permit until DRC approval is obtained. Development standards for

setbacks, unit / lot configurations, and other controlling provisions have been included in the approved Third Amendment to the Preliminary Development Plan and this FDP.

M. Additional Controls such as an Architectural Control Committee of a Property Owner's Association

The community will have a Metropolitan District that will create a Design Review Committee (DRC) that will enforce design standards through Declaration of Easements and Master Architectural and Maintenance Standards for Midtown. All architectural styles of proposed buildings shall require approval by the Design Review Committee overseen by the CCSMD and shall be consistent with the design guidelines for this community, subject to planning director approval for overall architectural intent.

N. Utilization and Location of any Outdoor Signage

All proposed marketing / temporary signage will be submitted for approval and meet County signage standards and ordinances.

O. Utility Services

North Pecos Water and Sanitation District have indicated they have adequate capability to serve this property with both water and sanitary sewer. Xcel Energy will provide gas and electric services to the property. Appropriate easements for associated improvements and utility lines are included on the Filing Eleven Subdivision Final Plat.

P. Estimated Time Table for Development

The estimated length of time for build-out of the Filing Eleven FDP area of Midtown is two (2) years, beginning in the spring of 2019. Full build-out for the Midtown neighborhoods is approximately five (5) to fifteen (15) years.

Q. Any other Pertinent Factors Concerning the Development

Southwest Adams County Fire District will service Midtown property east of Pecos Street, including the Filing Eleven FDP area.

R. Definitions

Alley Loaded / Rear Loaded Garage: A garage with the vehicular door access located onto an alley located at the rear (or sometimes side) of the lot.

Front Loaded Garage: A garage with the vehicular door access located onto street Right of Way located at the front of the lot.

S. Staging:

The residential lots in this FDP are planned to be constructed in one (1) stage.

Sheet Title

WRITTEN
NARRATIVE

Sheet Number

2 OF 18

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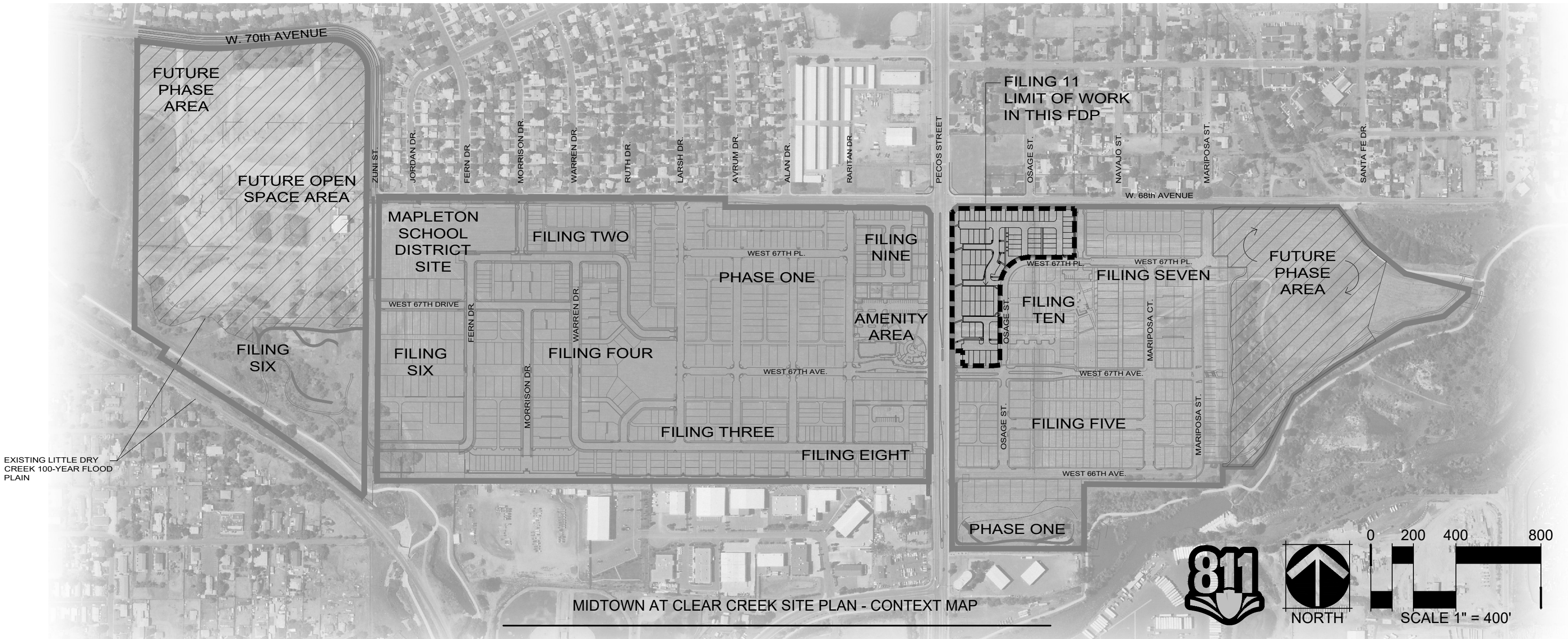
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LEGEND

- MIDTOWN PROPERTY BOUNDARY
- - - LIMIT OF WORK IN THIS FDP

DEVELOPMENT AREA

FILING 11 AREA	5.584 ACRES
TOTAL DEVELOPMENT ALL PHASES	181.8 ACRES
	1,208 MAX UNITS

LOT SUMMARY

LOT TYPE	QUANTITY
(A) REAR-LOADED TOWNHOME	47
(B) FRONT-LOADED TOWNHOME	25
TOTAL	72

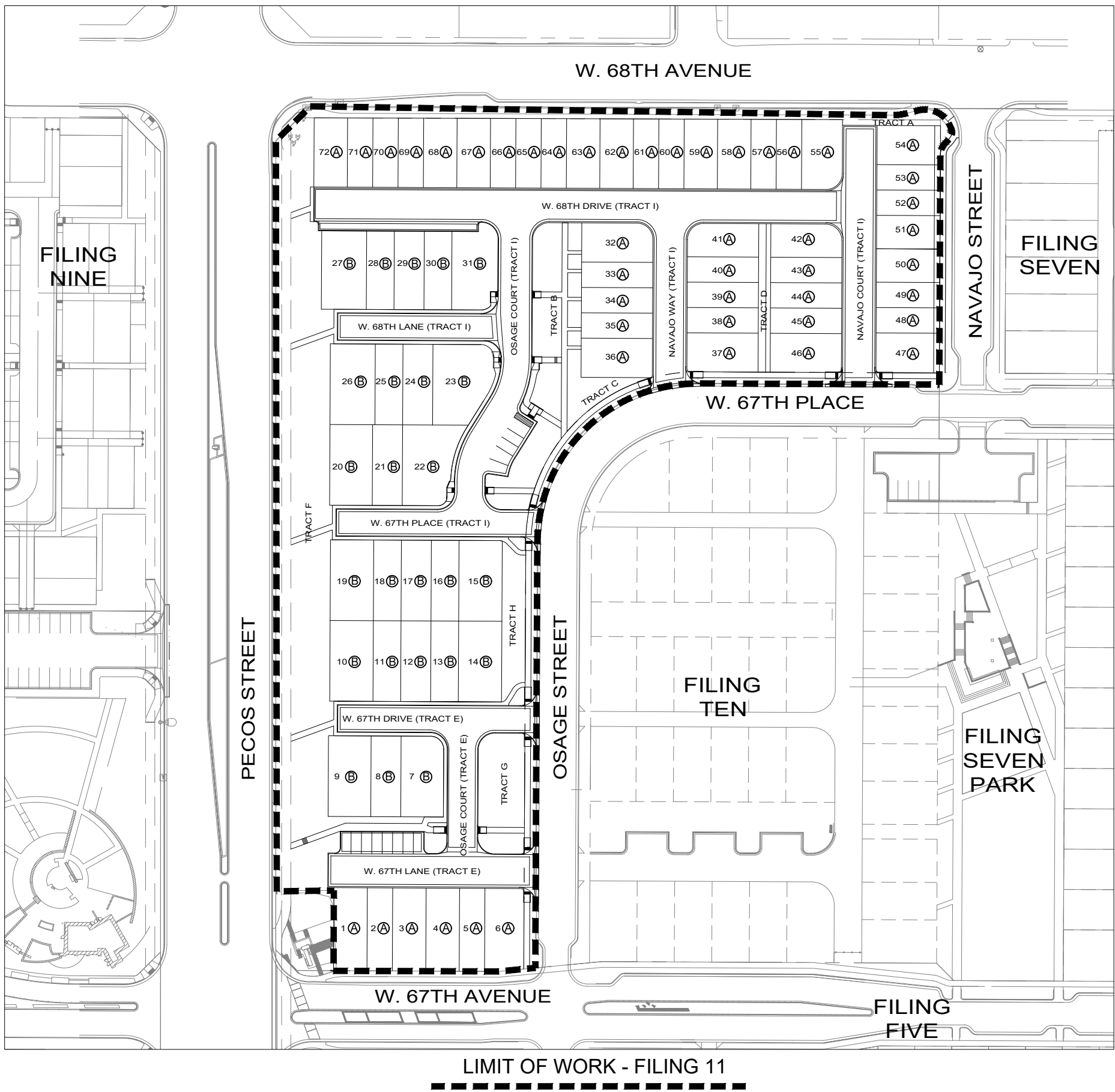
NOTES:
1. HOUSING VARIETY AND SETBACK DIAGRAMS: REFER TO SHEETS 10-11 FOR LOT TYPE DETAILS.

PARKING COUNT

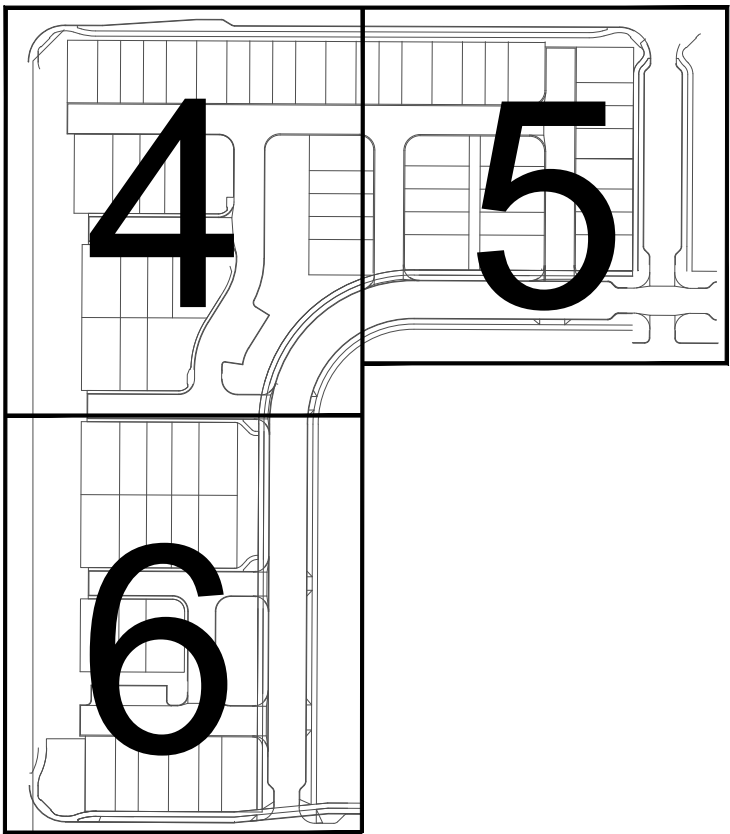
DESCRIPTION	LOTS & BLOCKS	QUANTITY
(A) REAR-LOADED TOWNHOME WITHOUT DRIVEWAY PARKING SPACES	LOTS 1,3,4,6, and 32-72, BLOCK 1 (45 DWELLING UNITS)	90 SPACES (2 SPACES PER UNIT)
(A) REAR-LOADED TOWNHOME WITH HEAD-IN PARKING SPACES	LOTS 2 and 5, BLOCK 1 (2 DWELLING UNITS)	8 SPACES (4 SPACES PER UNIT)
(B) FRONT-LOADED TOWNHOME WITHOUT DRIVEWAY PARKING SPACES	LOTS 7,9-11,13-16,18-20, 22,23,25-28,30 and 31,BLOCK 1 (19 DWELLING UNITS)	38 SPACES (2 SPACES PER UNIT)
(B) FRONT-LOADED TOWNHOME WITH HEAD-IN DRIVEWAY PARKING SPACES	LOTS 8, 12, 17, 21, 24, and 29 BLOCK 1 (6 DWELLING UNITS)	24 SPACES (4 SPACES PER UNIT)
ON STREET PARKING SPACES		60 SPACES
OFF STREET PARKING LOT SPACES		19 SPACES
TOTAL SPACES		239
SPACES PER UNIT		3.32

ACTIVE OPEN SPACE SUMMARY

TRACT	ACREAGE	REQUIRED PER PDP	PROVIDED IN FILING 11
TRACT B	0.23		
TRACT G	0.10		
TRACT H	0.07		
TOTAL	0.40 ACRES	0.40 ACRES	0.40 ACRES

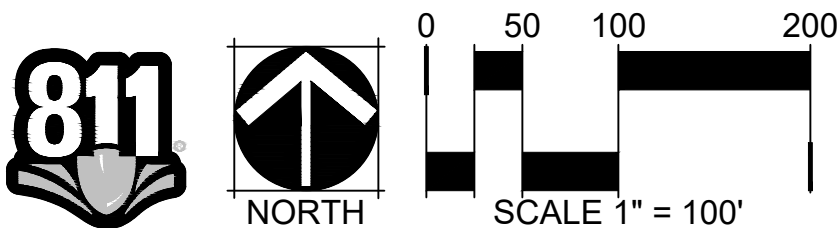


KEY MAP

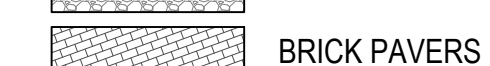
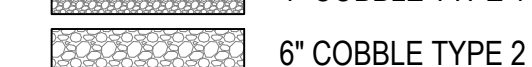
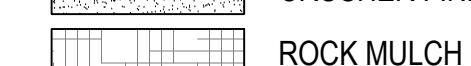
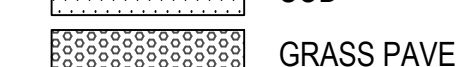
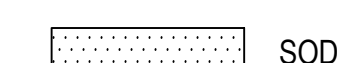
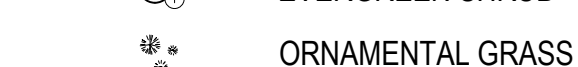
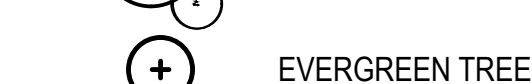
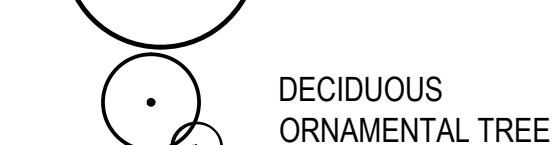
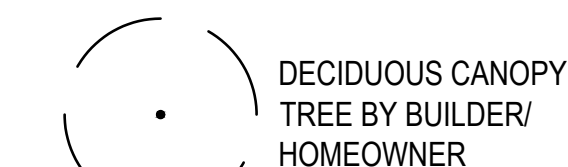
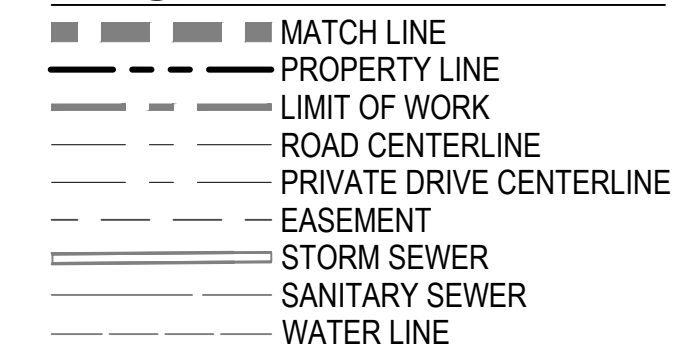


- NOTES:
- ALL LANDSCAPE AREA SHALL BE IRRIGATED WITH AUTOMATIC IRRIGATION SYSTEM.
 - NO ASH TREE VARIETIES (FRAXINUS SPECIES) ARE RECOMMENDED ON THIS SITE. ALL USE OF ASH VARIETIES IS DISCOURAGED.
 - HOUSING PRODUCT VARIETIES:

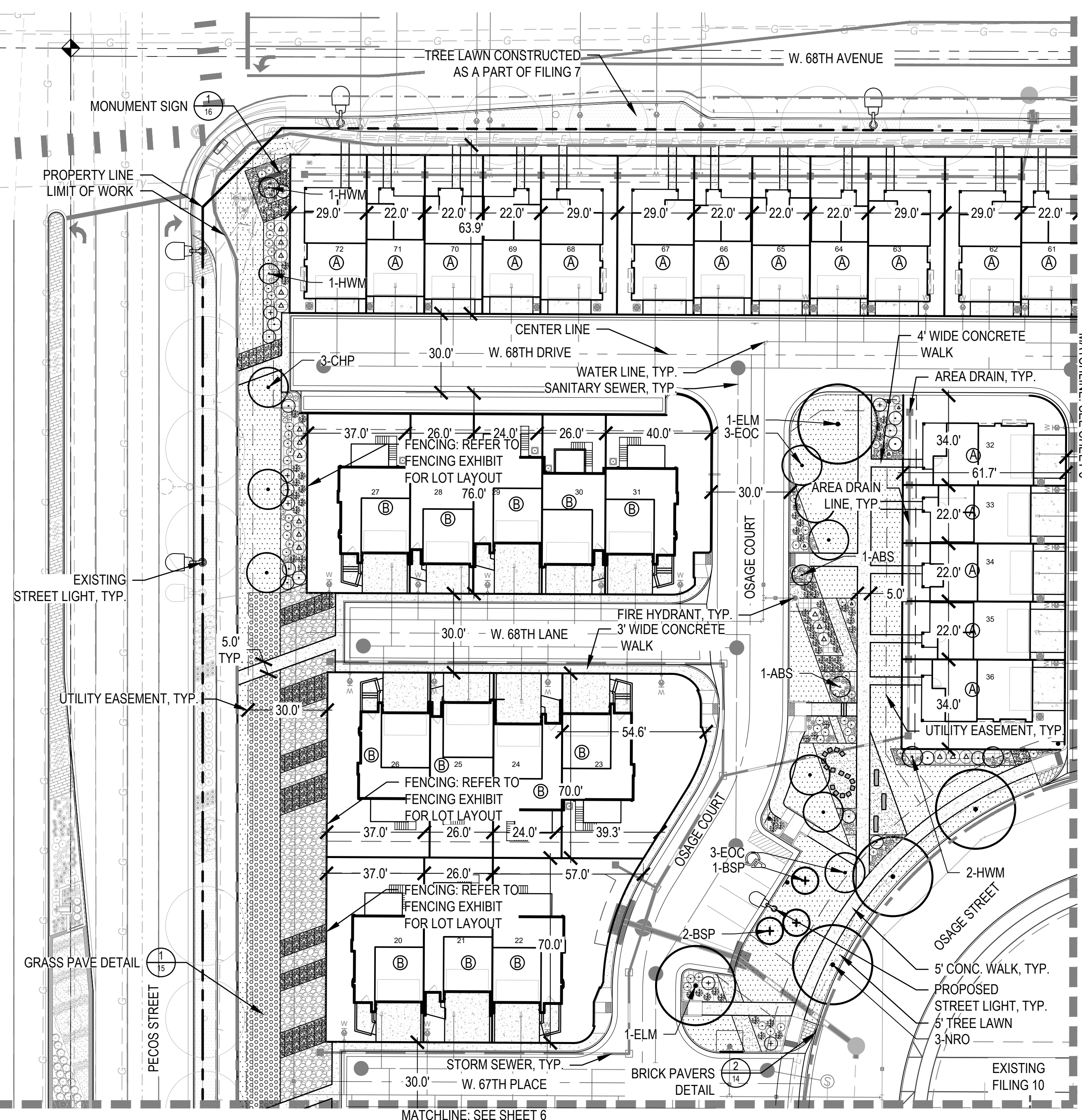
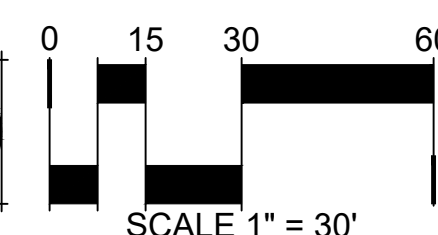
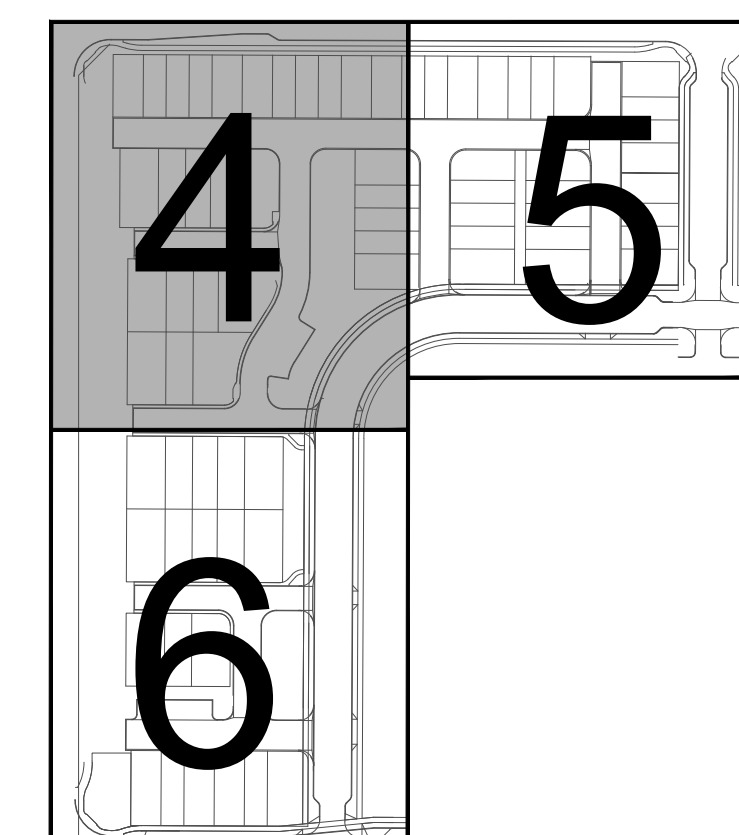
- (A) REAR-LOADED TOWNHOME
(B) FRONT-LOADED TOWNHOME



LEGEND

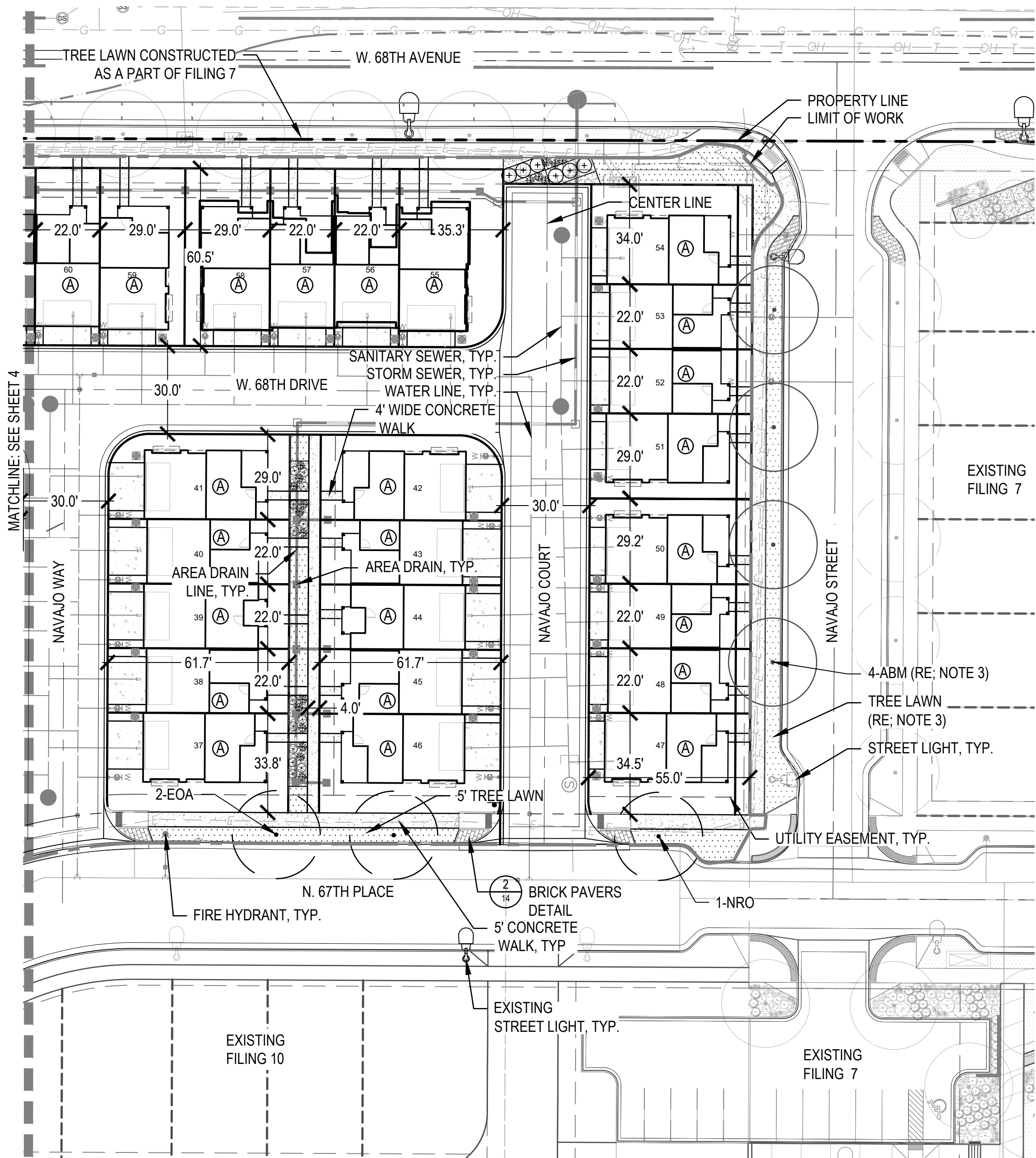


KEY MAP



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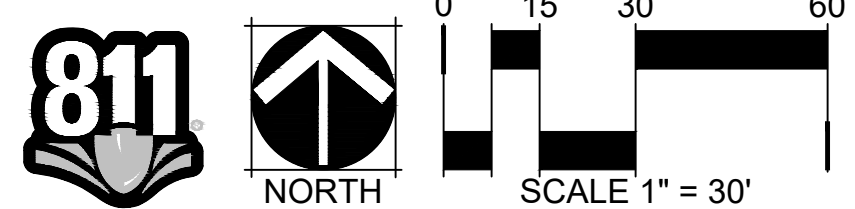
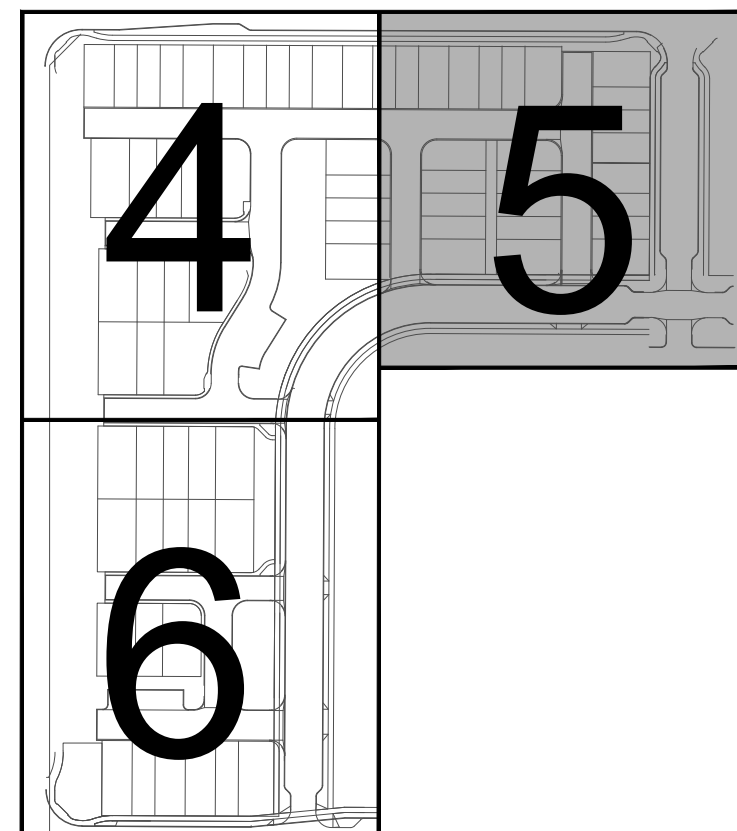


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 2. NO ASH TREE VARIETIES (FRAXINUS SPECIES) ARE RECOMMENDED ON THIS SITE. ALL USE OF ASH VARIETIES IS DISCOURAGED. TREE LAWN LANDSCAPING FOR THE WEST SIDE OF NAVAJO ST. WAS APPROVED WITH THE FILING 7 FDP BUT HAS NOT YET BEEN CONSTRUCTED. THE PLANTING SHOWN IN THIS SHEET MATCHES THE DESIGN FOR THIS PORTION OF THE FILING 7 FDP AND WILL BE CONSTRUCTED WITH FILING 11.
 - 3.

- LEGEND**
- MATCH LINE
 - PROPERTY LINE
 - LIMIT OF WORK
 - ROAD CENTERLINE
 - PRIVATE DRIVE CENTERLINE
 - EASEMENT
 - STORM SEWER
 - SANITARY SEWER
 - WATER LINE

- DECIDUOUS CANOPY TREE BY BUILDER/HOMEOWNER
- DECIDUOUS CANOPY TREE
- DECIDUOUS ORNAMENTAL TREE
- EVERGREEN TREE
- UPRIGHT EVERGREEN
- EVERGREEN SHRUB
- ORNAMENTAL GRASS
- DECIDUOUS SHRUB
- PERENNIAL
- SOD
- GRASS PAVE
- CRUSHER FINES
- ROCK MULCH
- 4" COBBLE TYPE 1
- 6" COBBLE TYPE 2
- BRICK PAVERS
- SANDSTONE SLAB SIZE VARIES
- DOG PICK-UP STATION, TYP.
- STREET LIGHT, TYP.
- REAR-LOADED TOWNHOME
- FRONT-LOADED TOWNHOME

KEY MAP

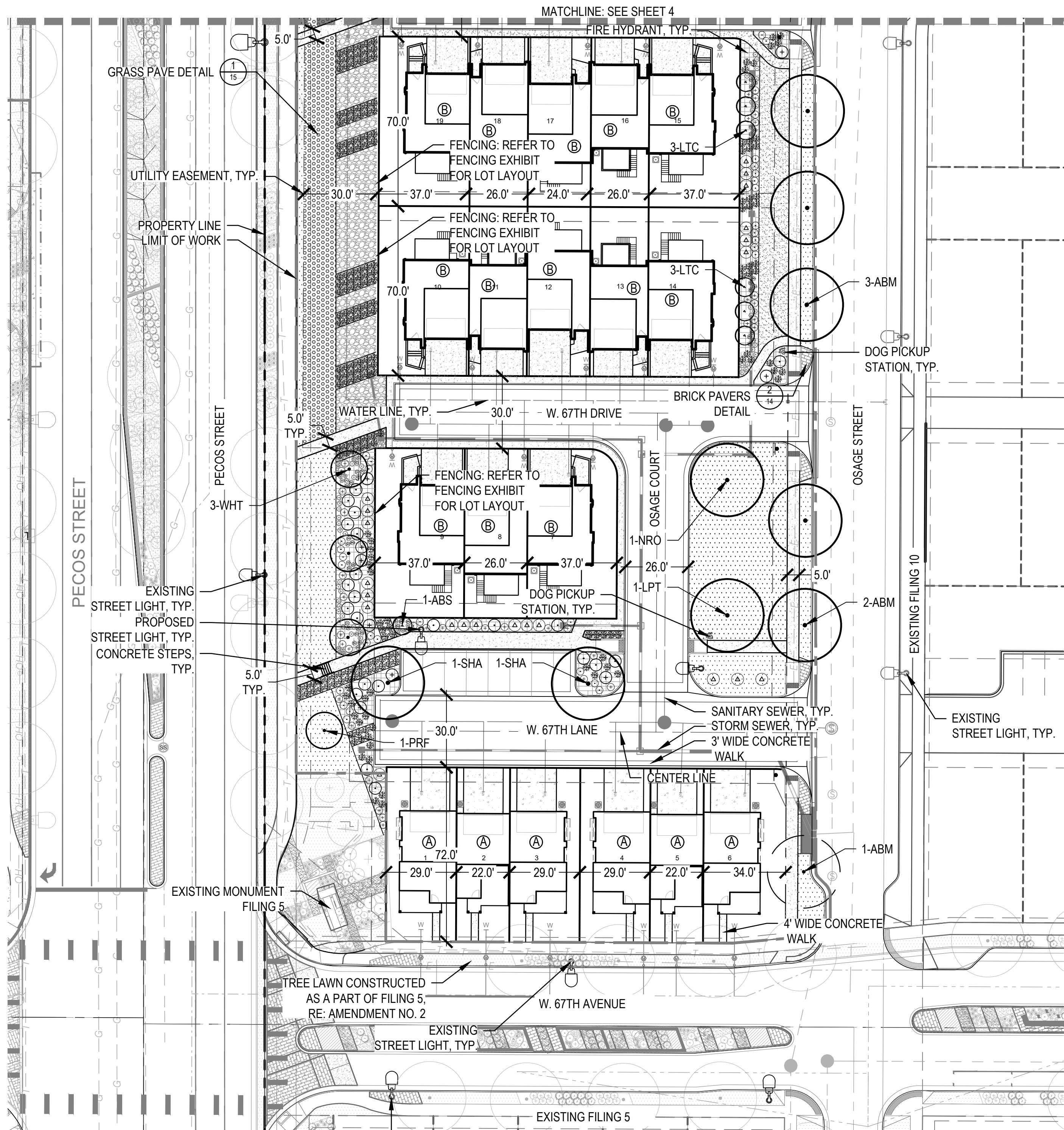


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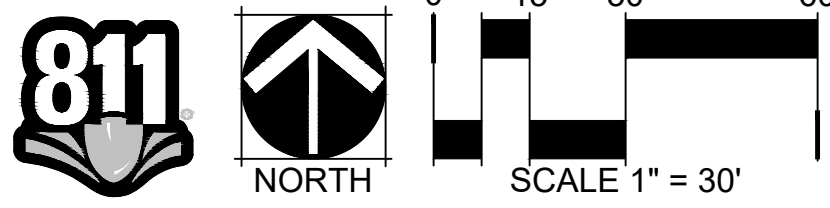
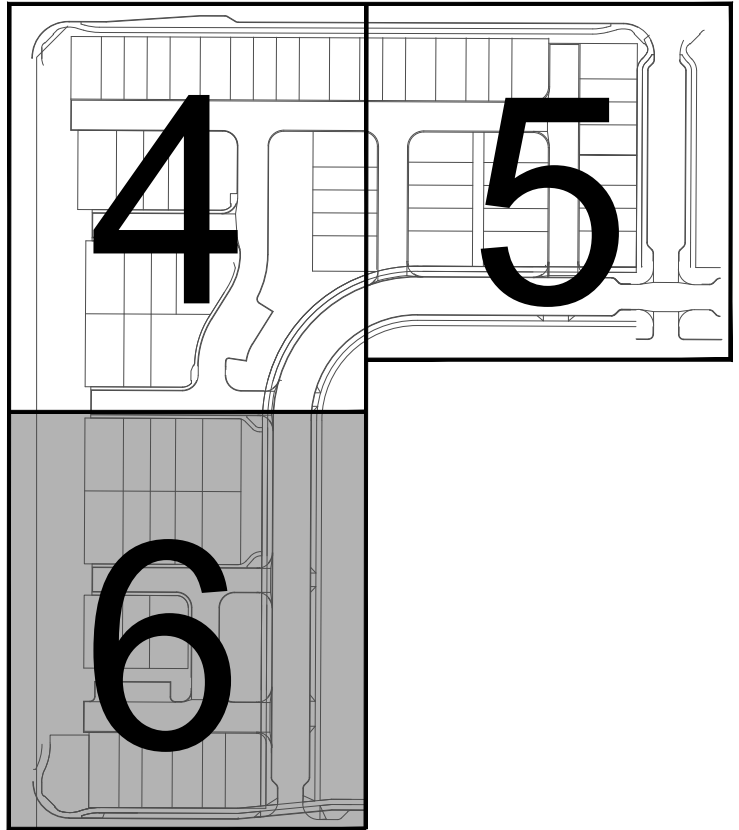


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- LEGEND
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- DECIDUOUS SHRUB
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- 4" COBBLE TYPE 1
- 6" COBBLE TYPE 2
- BRICK PAVERS
- SANDSTONE SLAB SIZE VARIES
- DOG PICK-UP STATION, TYP.
- STREET LIGHT, TYP.
- REAR-LOADED TOWNHOME
- FRONT-LOADED TOWNHOME

KEY MAP



Sheet Title
LANDSCAPE PLAN

Sheet Number
6 OF 18

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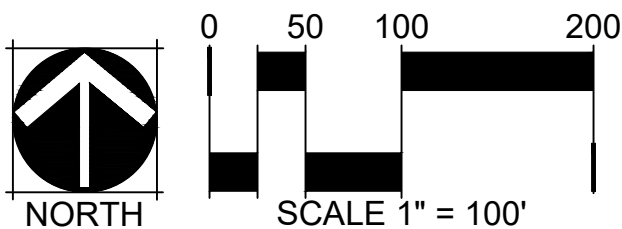
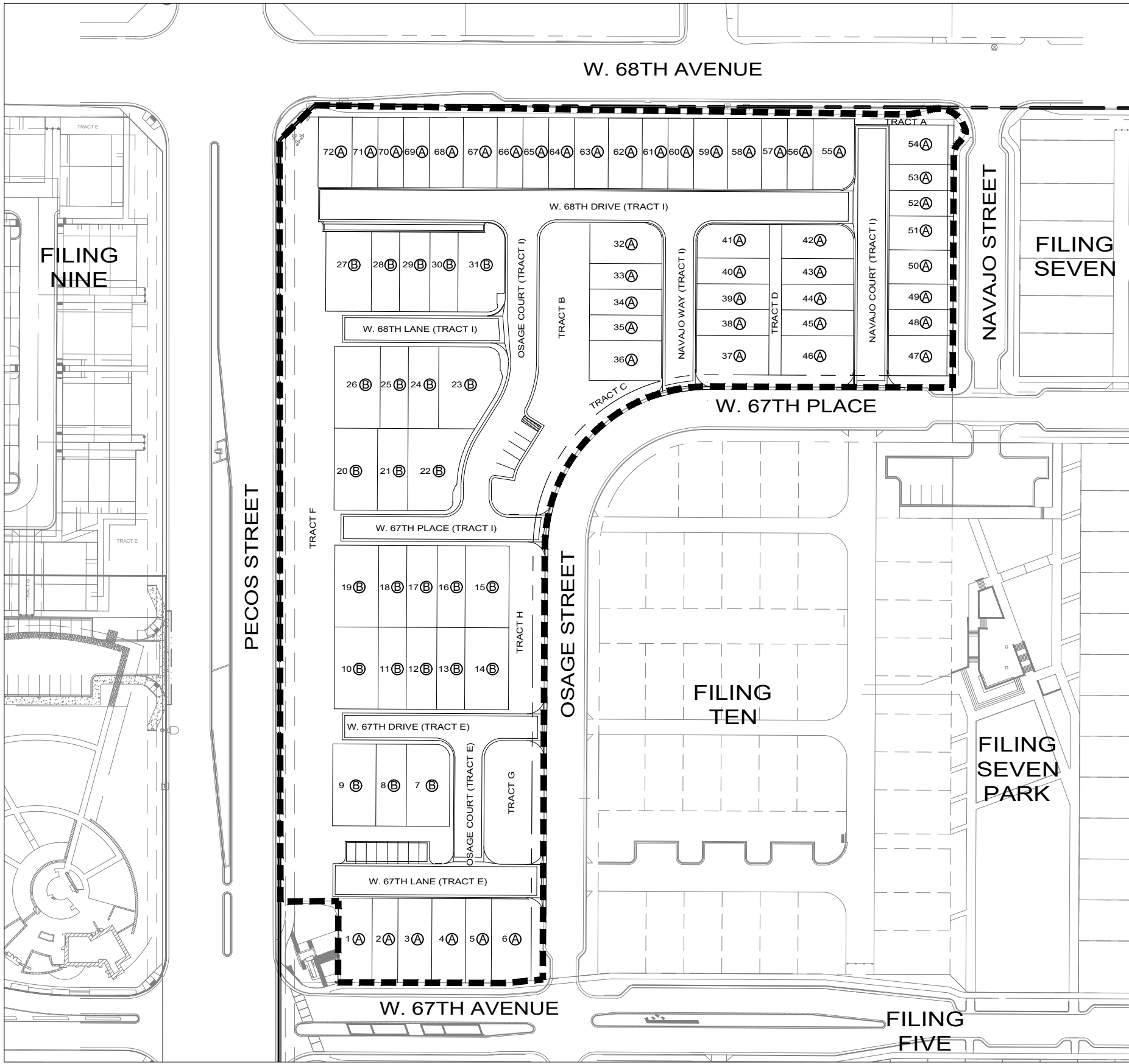
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ADAMS COUNTY, COLORADO

Issue Date
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NOT FOR CONSTRUCTION

	RESPONSIBLE PARTY	
	INSTALLATION	MAINTENANCE
ENTIRE TRACTS:		
A	BUILDER/ CCSMD	CCSMD
B	BUILDER/ CCSMD	CCSMD
C	BUILDER/ CCSMD	CCSMD
D	BUILDER/ CCSMD	CCSMD
E	BUILDER/ CCSMD	CCSMD
F	BUILDER/ CCSMD	CCSMD
G	BUILDER/ CCSMD	CCSMD
H	BUILDER/ CCSMD	CCSMD
I	BUILDER/ CCSMD	CCSMD
TREE LAWNS ADJACENT TO:		
TRACT		
A	BUILDER/ CCSMD	CCSMD
B	BUILDER/ CCSMD	CCSMD
C	BUILDER/ CCSMD	CCSMD
F	ALREADY INSTALLED	CCSMD
G	BUILDER/ CCSMD	CCSMD
H	BUILDER/ CCSMD	CCSMD
BLOCK 1		
LOT 1	ALREADY INSTALLED	CCSMD
LOT 2	ALREADY INSTALLED	CCSMD
LOT 3	ALREADY INSTALLED	CCSMD
LOT 4	ALREADY INSTALLED	CCSMD
LOT 5	ALREADY INSTALLED	CCSMD
LOT 6	ALREADY INSTALLED/ BUILDER	CCSMD
LOT 36	BUILDER	CCSMD
LOT 37	BUILDER	CCSMD
LOT 46	BUILDER	CCSMD
LOT 47	BUILDER	CCSMD
LOT 48	BUILDER	CCSMD
LOT 49	BUILDER	CCSMD
LOT 50	BUILDER	CCSMD
LOT 51	BUILDER	CCSMD
LOT 52	BUILDER	CCSMD
LOT 53	BUILDER	CCSMD
LOT 54	BUILDER	CCSMD
LOT 55	ALREADY INSTALLED	CCSMD
LOT 56	ALREADY INSTALLED	CCSMD
LOT 57	ALREADY INSTALLED	CCSMD
LOT 58	ALREADY INSTALLED	CCSMD
LOT 59	ALREADY INSTALLED	CCSMD
LOT 60	ALREADY INSTALLED	CCSMD
LOT 61	ALREADY INSTALLED	CCSMD
LOT 62	ALREADY INSTALLED	CCSMD
LOT 63	ALREADY INSTALLED	CCSMD
LOT 64	ALREADY INSTALLED	CCSMD
LOT 65	ALREADY INSTALLED	CCSMD
LOT 66	ALREADY INSTALLED	CCSMD
LOT 67	ALREADY INSTALLED	CCSMD
LOT 68	ALREADY INSTALLED	CCSMD
LOT 69	ALREADY INSTALLED	CCSMD
LOT 70	ALREADY INSTALLED	CCSMD
LOT 71	ALREADY INSTALLED	CCSMD
LOT 72	ALREADY INSTALLED	CCSMD



LANDSCAPE INSTALLATION AND MAINTENANCE NOTES:

1.

REFER TO THE INSTALLATION AND MAINTENANCE CHART AND DIAGRAMS ON THIS SHEET AND FOR A REPRESENTATION OF COMMON AREA INSTALLATION AND MAINTENANCE RESPONSIBILITIES.
2.

TREE LAWNS ARE LOCATED BETWEEN SIDEWALKS AND ROADWAYS, GENERALLY WITHIN THE RIGHT-OF-WAY. THE CHART AND DIAGRAMS ON THIS SHEET WILL SPECIFY THE PARTIES RESPONSIBLE FOR INSTALLATION AND MAINTENANCE OF TREE LAWNS. IN MANY CASES, ONE PARTY MAY BE REQUIRED TO INSTALL THE TREE LAWN (E.G. THE HOMEBUILDER) BUT MAINTENANCE WILL BE PERFORMED BY ANOTHER PARTY (E.G. THE CCSMD OR HOMEOWNER).
3.

OTHER COMMON AREA LANDSCAPE INSTALLATION AND MAINTENANCE REQUIREMENTS ARE ALSO SHOWN ON THE CHART LOCATED ON THIS SHEET.
4.

THE INSTALLATION OF LANDSCAPING, REGARDLESS OF RESPONSIBLE PARTY OR LOCATION, INCLUDES, AT A MINIMUM, THE COST AND EFFORT TO PROVIDE FOR ALL OF THE FOLLOWING: IRRIGATION WATER TAPS, PLANT MATERIAL, GROUNDCOVER, OTHER LANDSCAPING ELEMENTS, AND IRRIGATION INSTALLATION AS CALLED FOR ON THE PLANS.
5.

ONCE THE LANDSCAPING IS INSTALLED AND COMPLETED, THE
6.

DISTRICT WILL REVIEW THE INSTALLATION FOR COMPLETENESS. IF APPROVED, THE DISTRICT WILL THEN ACCEPT THE IMPROVEMENTS AND BEGIN THE PROCESS OF MAINTAINING THE LANDSCAPE FOR THE AREAS SPECIFIED ON THIS SHEET. MAINTENANCE OF OTHER COMPLETED LANDSCAPE AREAS WILL BECOME THE RESPONSIBILITY OF THE PARTIES IDENTIFIED ON THIS SHEET.
7.

IF THE CCSMD DETERMINES THAT THE LANDSCAPE WAS NOT CORRECTLY INSTALLED, THE RESPONSIBILITY FOR ENSURING THAT THE LANDSCAPE IS CORRECTED FALLS TO THE PARTY RESPONSIBLE FOR INSTALLATION, AS SHOWN IN THE INSTALLATION CHART ON THIS SHEET.
8.

THE CONTRACTOR SHALL WARRANTY ALL CONTRACTED WORK AND MATERIALS FOR A PERIOD OF ONE YEAR AFTER SUBSTANTIAL COMPLETION HAS BEEN ISSUED. WARRANTY WORK AND REPAIRS SHALL BE COMPLETED BY THE CONTRACTOR BEFORE THE CCSMD ACCEPTS RESPONSIBILITY.
9.

MAINTAINING LANDSCAPES INCLUDES THE MOWING OF TURF AREAS, PRUNING TREES AND SHRUBS, WEED CONTROL, AND OTHER MAINTENANCE TASKS.
10.

REFER TO THE SIA FOR FURTHER INFORMATION AND A VISUAL DEPICTION OF THE AREAS IDENTIFIED ABOVE.

LANDSCAPE PLANT LIST

SYM. COMMON NAME		BOTANICAL NAME	SIZE & COND.
(UNLESS OTHERWISE NOTED)			
DECIDUOUS CANOPY TREES			
ABM	AUTUMN BLAZE MAPLE	ACER X FREEMANII 'JEFFERSRED'	2 1/2" CAL. B&B
FFH	FRANS FONTAINE HORNBEAM	CARPINUS BETULUS 'FRANS FONTAINE'	2 1/2" CAL. B&B
WHB	WESTERN HACKBERRY	CELTIS OCCIDENTALIS	2 1/2" CAL. B&B
GBI	GINKGO	GINKGO BILOBA (MALE VARITIES ONLY)	2 1/2" CAL. B&B
IMP	IMPERIAL HONEYLOCUST	GLEDITSIA TRIACANTHOS INERMIS 'IMPERIAL'	2 1/2" CAL. B&B
SHA	SHADEMASTER HONEYLOCUST	GLEDITSIA TRIACANTHOS INERMIS 'SHADEMASTER'	2 1/2" CAL. B&B
KCT	KENTUCKY COFFEETREE, ESPRESSO	GYMNOCLADUS DIOICUS 'ESPRESSO'	2 1/2" CAL. B&B
LAN	LANCELEAF COTTONWOOD	POPULUS X ACUMINATA	2 1/2" CAL. B&B
LPT	LONDON PLANETREE	PLATANUS ACERIFOLIA 'BLOODGOOD'	2 1/2" CAL. B&B
BOA	BUR OAK	QUERCUS MACROCARPA	2 1/2" CAL. B&B
EOA	ENGLISH OAK	QUERCUS ROBUR	2 1/2" CAL. B&B
NRO	NORTHERN RED OAK	QUERCUS RUBRA	2 1/2" CAL. B&B
GLL	GREENSPIRE LINDEN	TILIA CORDATA 'GREENSPIRE'	2 1/2" CAL. B&B
ELM	FRONTIER ELM	ULMUS X 'FRONTIER'	2 1/2" CAL. B&B

EVERGREEN TREES

SKY	SKYROCKET JUNIPER	JUNIPERUS VIRGINIANA 'SKYROCKET'	4' HT. MIN
COJ	COLOGREEN JUNIPER	JUNIPERUS SCOPULORUM 'COLOGREEN'	4' HT. MIN
CBS	COLORADO BLUE SPRUCE	PICEA PUNGENS	8' HT. MIN
PIN	PINON PINE	PINUS EDULIS	6' HT. MIN
AUS	AUSTRIAN PINE	PINUS NIGRA	8' HT. MIN
PON	PONDEROSA PINE	PINUS PONDEROSA	8' HT. MIN
BSP	BAKERI SPRUCE	PICEA PUNGENS 'BAKERI'	6' HT. MIN

DECIDUOUS ORNAMENTAL TREES

HWM	PATTERN PERFECT MAPLE	ACER TATARICUM 'PATTERN PERFECT'	8' CLUMP, B&B
ABS	AUTUMN BRILLIANCE SERVICEBERRY	AMELANCHIER X GRANDIFLORA 'AUTUMN BRILLIANCE'	8' CLUMP, B&B
WHT	WASHINGTON HAWTHORN	CRATAEGUS PHAENOPYRUM	2" CAL., B&B
PRF	RADIANT CRABAPPLE	MALUS 'RADIANT'	2" CAL., B&B
CHP	CHANTICLEER PEAR	PYRUS CALLERYANA	2" CAL., B&B
EOC	ENGLISH COLUMNAR OAK	QUERCUS ROBUR 'FASTIGIATA'	2" CAL., B&B
LTC	JAPANESE TREE LILAC	SYRINGA RETICULATA	8' CLUMP, B&B

DECIDUOUS SHRUBS

CPB	CRIMSON PYGMY BARBERRY	BERBERIS THUNBERGII 'ATROPURPUREA NANA'	#5 CONTAINER
SLF	SILVER FOUNTAIN BUTTERFLY BUSH	BUDDLEIA ALTERNIFOLIA 'ARGENTEA'	#5 CONTAINER
BMS	BLUE MIST SPIREA	CARYOPTERIS X CLANDONENSIS	#5 CONTAINER
FRB	FERNBUSH	CHAMAEBATIARIA MILLEFOLIUM	#5 CONTAINER
RDW	DWARF BABY BLUE RABBITBRUSH	CHRYSOTHAMNUS NAUSEOSUS NAUSEOUS 'DW. BLUE'	#5 CONTAINER
GCE	GROUND COTONEASTER	COTONEASTER HORIZONTALIS PERPUSILLUS	#5 CONTAINER
SGB	SPANISH GOLD BROOM	CYTISUS PURGAN 'SPANISH GOLD'	#5 CONTAINER
APL	APACHE PLUME	FALLUGIA PARADOXA	#5 CONTAINER
DRS	DWARF RUSSIAN SAGE	PEROVSKIA ARTIPLICIFOLIA 'LITTLE SPIRE'	#5 CONTAINER
MCK	MCKAY'S WHITE POTENTILLA	POTENTILLA FRUTICOSA 'MCKAY'S WHITE'	#5 CONTAINER
PBS	PAWNEE BUTTES SAND CHERRY	PRUNUS BESSEYI 'PAWNEE BUTTES'	#5 CONTAINER
FLI	FINE LINE BUCKTHORNE	RHAMNUS FRANGULA 'RON WILLIAMS'	#5 CONTAINER
TLS	THREE-LEAF SUMAC	RHUS TRILOBATA	#5 CONTAINER
YFC	YELLOW FLOWERING CURRANT	RIBES AUREUM	#5 CONTAINER
KNO	KNOCK OUT ROSE - RED	ROSA X 'RADRAZZ'	#5 CONTAINER
KNS	SUNNY KNOCK OUT	ROSA X 'RADSUNNY'	#5 CONTAINER
SBB	SILVER BUFFALOBERRY	SHEPHERDIA ARGENTEA	#5 CONTAINER
HCB	HANCOCK CORALBERRY	SYMPHORICARPOS X CHENAULTII 'HANCOCK'	#5 CONTAINER
MKL	MISS KIM LILAC	SYRINGA PATULA 'MISS KIM'	#5 CONTAINER
PGL	PRESIDENT GREVY LILAC	SYRINGA VULGARIS 'PRESIDENT GREVY'	#5 CONTAINER

EVERGREEN SHRUBS

BRJ	BROADMOOR JUNIPER	JUNIPERUS SABINA 'BROADMOOR'	#5 CONTAINER
BCH	BLUE CHIP JUNIPER	JUNIPERUS HORIZONTALIS 'BLUE CHIP'	#5 CONTAINER
GLS	GLOBE SPRUCE	PICEA PUNGENS 'GLOBOSA'	#5 CONTAINER
MAN	PANCHITO MANZANITA	ARCTOSTAPHYLOS X COLORADOENSIS	#5 CONTAINER
MUG	MOPS MUGO PINE	PINUS MUGO 'MOPS'	#5 CONTAINER
ITY	IVORY TOWER YUCCA	YUCCA FILAMENTOSA 'IVORY TOWER'	#5 CONTAINER
RHM	R.H. MONTGOMERY SPRUCE	PICEA PUNGENS 'R.H. MONTGOMERY'	#5 CONTAINER
ICJ	ICEE BLUE JUNIPER	JUNIPERUS HORIZONTALIS 'MONBER'	#5 CONTAINER

GRASSES

FRG	KARL FOERSTER FEATHER REED GRASS	CALAMAGROSTIS X ACUTIFLORA 'KARL FOERSTER'	#1 CONTAINER
KFG	KOREAN FEATHER REED GRASS	CALAMAGROSTIS BRACHYTRICA	#1 CONTAINER
BSG	THE BLUES LITTLE BLUESTEM GRASS	SCHIZACHYRIUM SCOPARIUM 'THE BLUES'	#1 CONTAINER
AVG	BLUE Avena GRASS	HELICTOTRICHON SEMPERVIRENS	#1 CONTAINER
GSR	SHENANDOAH SWITCH GRASS	PANICUM VIRGATUM 'SHENANDOAH'	#1 CONTAINER
MFG	MEXICAN FEATHER GRASS	NASSELLA (STIPA) TENUISSIMA	#1 CONTAINER
HMS	HEAVY METAL SWITCH GRASS	PANICUM VIRGATUM 'HEAVY METAL'	#1 CONTAINER
PAH	HARDY PAMPAS, PLUME GRASS	ERIANTHUS RAVENNAE	#1 CONTAINER

GROUNDCOVER / VINES

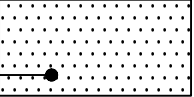
BOS	BOSTON IVY	PARTHENOCISSUS TRICUSPIDATA	#1 CONTAINER
GH	GOLDFLAME HONEYSUCKLE	LONICERA HECKROTTII	#1 CONTAINER
HH	HALL'S HONEYSUCKLE	LONICERA JAPONICA 'HALLIANA'	#1 CONTAINER
ENG	VIRGINIA CREEPER	PARTHENOCISSUS QUINQUEFOLIA ENGELMANNII	#1 CONTAINER
ETV	CLEMATIS ETOILE VIOLETTE (BLUE)	CLEMATIS HYBRID	#1 CONTAINER
FST	CLEMATIS FRAGRANT STAR (WHITE)	CLEMATIS HYBRID	#1 CONTAINER

COMMON NAME		BOTANICAL NAME	SIZE & COND.
(UNLESS OTHERWISE NOTED)			

PERENNIALS

AJS	AUTUMN JOY SEDUM	SEDUM X 'AUTUMN JOY'	#1 CONTAINER
BES	BLACK-EYED SUSAN	RUDBECKIA FULGIDA VAR. SULLIVANTII 'GOLDSTURM'	#1 CONTAINER
CFL	CONEFLOWER	ECHINACEA PURPUREA	#1 CONTAINER
CJT	JETHRO TULL COREOPSIS	C. GRANDIFLORA 'JETHRO TULL'	#1 CONTAINER
CMT	WALKER'S LOW CATMINT	NEPETA FAASSENII 'WALKER'S LOW'	#1 CONTAINER
DDY	STELLA D'ORO DAYLILY	HEMEROCALLIS 'STELLA D'ORO'	#1 CONTAINER
DSD	SNOW LADY SHASTA DAISY	LEUCANTHEMUM X SUPERBUM 'SNOW LADY'	#1 CONTAINER
ELV	ENGLISH MUNSTEAD LAVENDER	LAVANDULA ANGUSTIFOLIA 'MUNSTEAD'	#1 CONTAINER
GAI	BURGUNDY BLANKET FLOWER	GAILLARDIA X GRANDIFLORA 'BURGUNDY'	#1 CONTAINER
HBJ	HIMALAYAN BORDER JEWEL POLYGONUM	PERSICARIA AFFINIS 'HIMALAYAN BORDER JEWEL'	#1 CONTAINER
IPY	YELLOW ICE PLANT	DELOSPERMA NUBIGENUM	#1 CONTAINER
JBG	JOHNSON'S BLUE/ CRANESBILL GERANIUM	GERANIUM X 'JOHNSON'S BLUE'	#1 CONTAINER
LAM	LAMB'S EAR	STACHYS BYZANTINA	#1 CONTAINER
MY	MOONSHINE YARROW	ACHILLEA X 'MOONSHINE'	#1 CONTAINER
PIR	MISSOURI EVENING PRIMROSE	OENOTHERA MACROCARPA	#1 CONTAINER
PLP	PINELEAF PENSTEMON RED	PENSTEMON PINIFOLIUS	#1 CONTAINER
POM	WINECUPS (POPPY MALLOW)	CALLIRHOE INVOLUCRATA	#1 CONTAINER
SIS	SNOW-IN-SUMMER	CERASTIUM TOMENTOSUM	#1 CONTAINER
SSH	SUNSET HYSSOP	AGASTACHE RUPESTRIS	#1 CONTAINER
VAL	RED VALERIAN/ JUPITER'S BEARD	CENTRANTHUS RUBER	#1 CONTAINER
WBF	GAURA/ WHIRLING BUTTERFLIES	GAURA LINDHEIMERI	#1 CONTAINER
HOB	BLUE GIANT HOSTA	H. SIEBOLDIANA 'ELEGANS'	#1 CONTAINER
HOV	VARIEGATED HOSTA	H. UNDULATA MEDIOVARIEGATA	#1 CONTAINER

SOD MIX:

TURF GRASS BLEND: SOD		
COMMON NAME		% OF TOTAL
90 /10 FESCUE MIX		100%
90 FESCUE		90%
10 BLUEGRASS		10%
		TOTAL 100%

LANDSCAPE NOTES:

1.

NO ASH TREE VARITIES (FRAXINUS SPECIES) ARE RECOMMENDED ON THIS SITE. ALL USE OF ASH VARITIES ARE DISCOURAGED.

LANDSCAPE NOTES:

1.

ALL LANDSCAPED AREAS ARE TO RECEIVE ORGANIC SOIL PREPARATION AT A MINIMUM OF 5.0 CU.YRDS/1,000SF, UNLESS OTHERWISE NOTED IN THE TECHNICAL SPECIFICATIONS.
2.

SHRUB BEDS ARE TO BE MULCHED WITH 3" MIN. DEPTH 3/4" ANGULAR ROCK MULCH OR CRUSHER FINES OVER SPECIFIED GEOTEXTILE WEED CONTROL FABRIC. NO WEED CONTROL FABRIC IS REQUIRED IN PERENNIAL AREAS.
3.

SHRUB BEDS ARE TO BE CONTAINED BY EITHER 3/16" MIN. THICK METAL EDGER OR SPADE DUG EDGER. EDGER IS NOT REQUIRED WHEN ADJACENT TO CURBS OR WALKS.
4.

THE CONTRACTOR IS RESPONSIBLE FOR THE COST TO REPAIR UTILITIES, ADJACENT LANDSCAPE, PUBLIC AND PRIVATE PROPERTY THAT IS DAMAGED BY THE CONTRACTOR OR THEIR SUBCONTRACTOR'S OPERATIONS DURING INSTALLATION OR DURING THE SPECIFIED MAINTENANCE PERIOD. CALL FOR UTILITY LOCATIONS PRIOR TO ANY EXCAVATION.
5.

THE CONTRACTOR SHALL REPORT ANY DISCREPANCY IN PLAN VS. FIELD CONDITIONS IMMEDIATELY TO THE OWNER'S REPRESENTATIVE, PRIOR TO CONTINUING WITH THAT PORTION OF WORK.
6.

THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REPAIR OF ANY OF THEIR TRENCHES OR EXCAVATIONS THAT SETTLE.
7.

DO NOT DISTURB THE EXISTING PAVING, LIGHTING, LANDSCAPING, OR IRRIGATION THAT EXISTS ADJACENT TO THE SITE UNLESS OTHERWISE NOTED ON PLAN.
8.

THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL PLANT QUANTITIES. QUANTITIES REPRESENTED GRAPHICALLY TAKE PRECEDENCE OVER LABELS.
9.

CALL FOR UTILITY LOCATIONS PRIOR TO BEGINNING CONSTRUCTION. THE UTILITIES SHOWN HEREON CONTAIN ONLY GENERAL INFORMATION AS TO THEIR DESCRIPTION, NATURE, AND GENERAL LOCATION. CONTRACTOR IS RESPONSIBLE FOR THE COST TO REPAIR ANY UTILITIES OR EXISTING SITE FEATURES DAMAGED DUE TO CONSTRUCTION ACTIVITIES.
10.

LANDSCAPE AREAS SHALL BE WATERED BY AN UNDERGROUND, AUTOMATIC IRRIGATION SYSTEM AND SHALL PROVIDE 100% COVERAGE TO ALL AREAS.

Sheet Title

LANDSCAPE
PLANT LIST

Sheet Number

8 OF 18

Brookfield
Residential

6465 S. Greenwood Plaza Blvd., Suite 700
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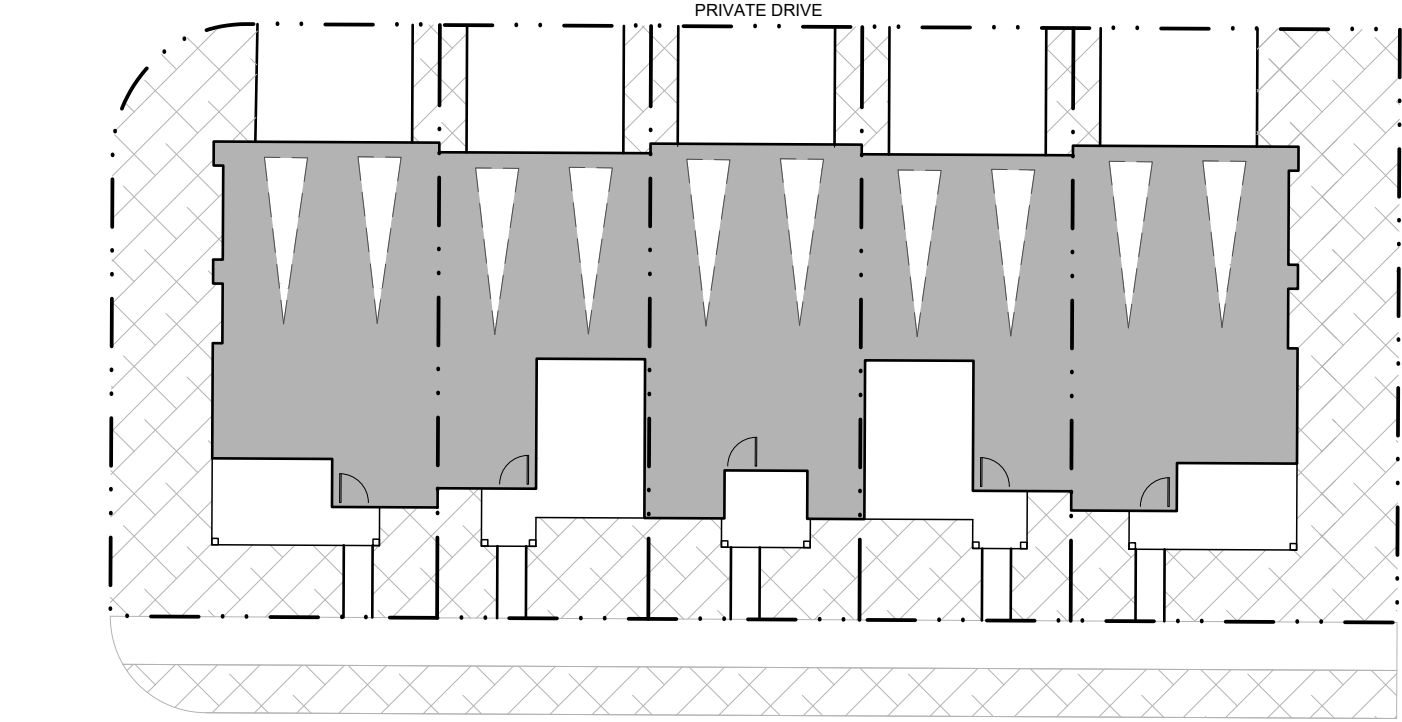
Issue Date

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Revision Date

12 / 21 / 2018

NOT FOR
CONSTRUCTION



TYPICAL REAR-LOADED TOWNHOME

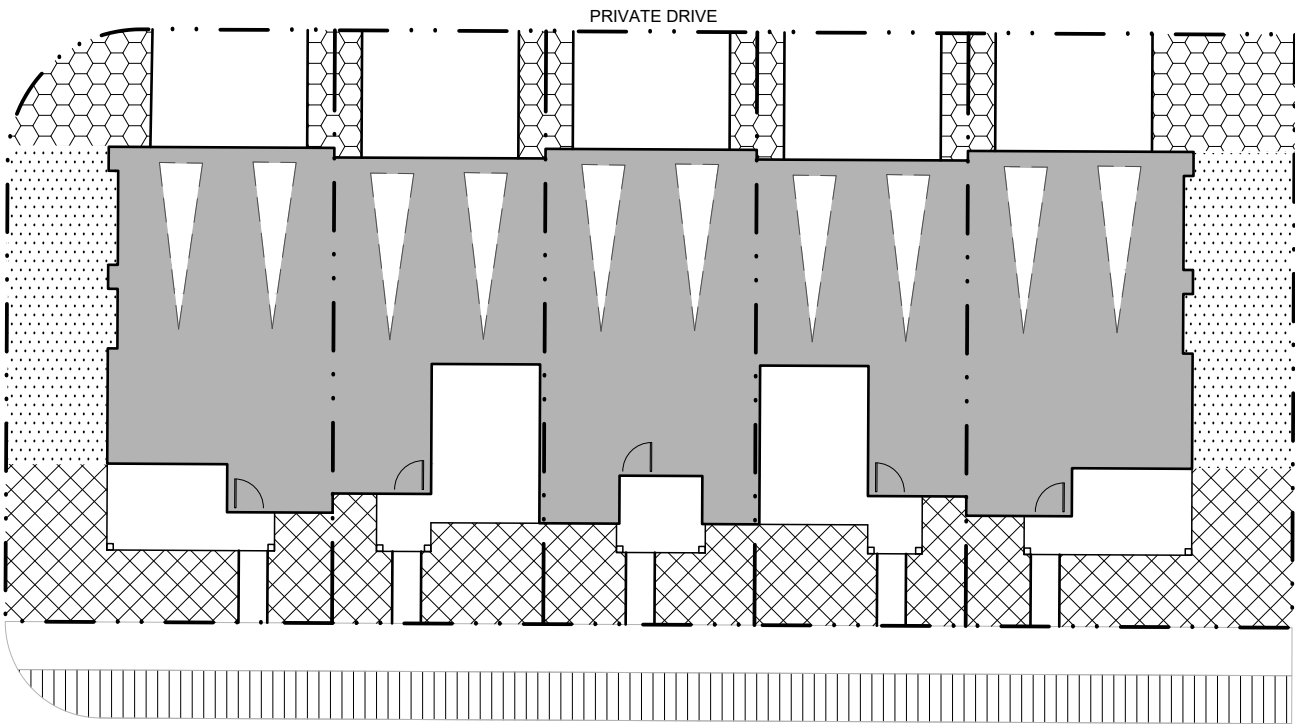
LEGEND

	PROPERTY LINE
	LANDSCAPE TO BE INSTALLED BY BUILDER AND MAINTAINED BY CCSMD

TYPICAL LOT - LANDSCAPE AREA DEFINITIONS

LANDSCAPE INSTALLED BY BUILDER

REAR-LOADED TOWNHOME CONDITION



TYPICAL REAR-LOADED TOWNHOME

LEGEND

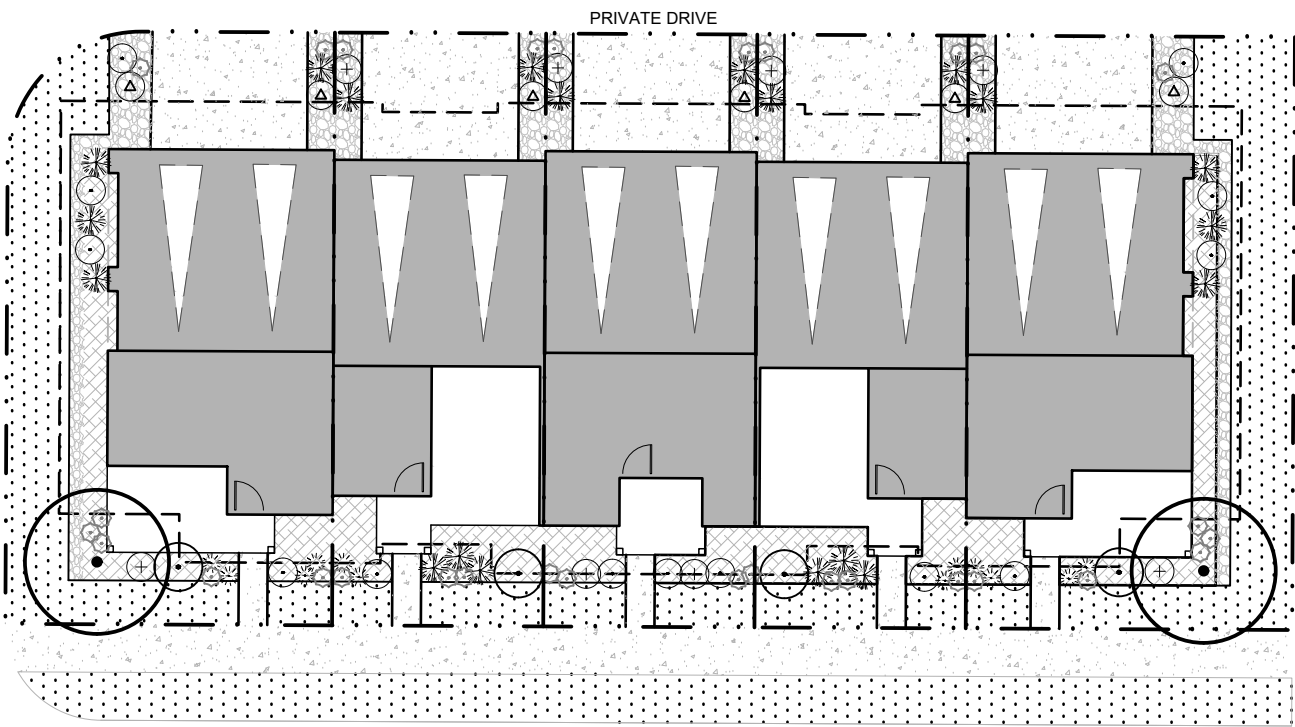
	PROPERTY LINE
	FRONT YARD
	SIDE YARD
	ALLEY
	TREE LAWN OR TRACT

GENERAL NOTES:
1. LANDSCAPE ADJACENT TO TOWNHOMES SHALL BE MAINTAINED BY CCSMD.

LANDSCAPE TYPICALS

LANDSCAPE INSTALLED BY BUILDER

REAR-LOADED TOWNHOME CONDITION



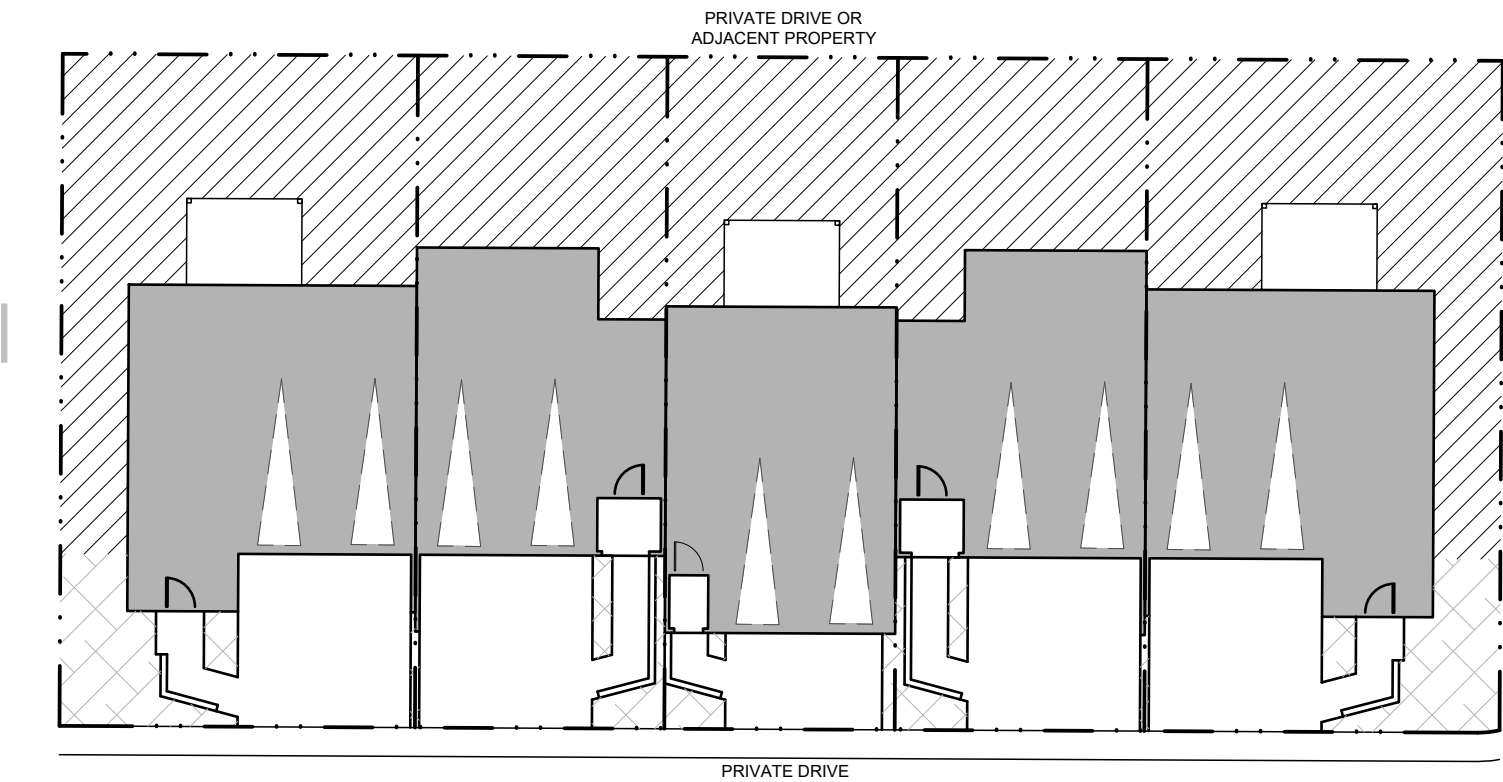
TYPICAL REAR-LOADED TOWNHOME

LEGEND

	PROPERTY LINE
	NO IRRIGATION LINE
	EDGER LINE
	SOD
	COBBLE
	LANDSCAPE MULCH
	DECIDUOUS ORNAMENTAL TREE
	DECIDUOUS SHRUB
	EVERGREEN SHRUB
	UPRIGHT EVERGREEN
	ORNAMENTAL GRASS
	PERENNIAL

REAR-LOADED TOWNHOME LOT TYPICAL	REQUIRED QUANTITIES BY LOT TYPE AND LOCATION						
	CORNER LOT			INTERNAL LOT		INTERNAL LOT	
	FRONT/ ALLEY	SIDE YARD	BACKYARD	FRONT/ ALLEY	BACKYARD	FRONT/ ALLEY	BACKYARD
ORNAMENTAL OR EVERGREEN TREE	1	0	2	0	1	0	1
DECIDUOUS / EVERGREEN SHRUBS	3	2	1	2	1	5	1
ORNAMENTAL GRASSES	4	3	1	5	2	0	2
PERENNIALS	5	0	2	3	2	4	2
TURF	3' MIN	3' MIN	NONE	3' MIN	NONE	3' MIN	NONE

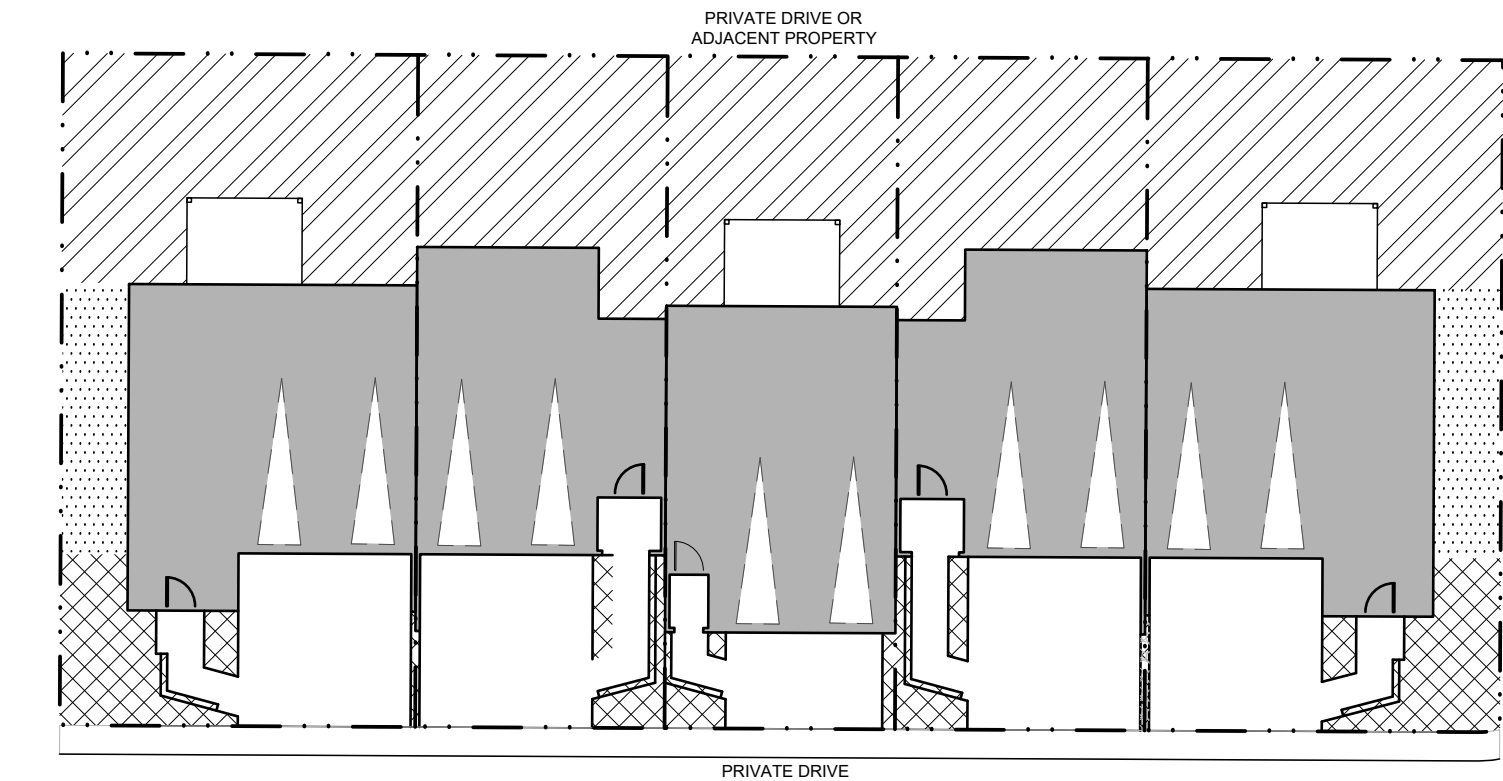
- NOTES:
- PLANT MATERIAL IS INSTALLED BY BUILDER OR HOMEOWNER AND MAINTAINED BY THE HOMEOWNER.
 - LOTS MAY REQUIRE ADDITIONAL OR REDUCED PLANTING, SUBJECT TO DRC APPROVAL.



LEGEND

	PROPERTY LINE
	LANDSCAPE TO BE INSTALLED BY AND MAINTAINED BY HOMEOWNER
	LANDSCAPE TO BE INSTALLED BY BUILDER AND MAINTAINED BY CCSMD*

* NOTE: FRONT YARD LANDSCAPE IS TO BE MAINTAINED BY CCSMD

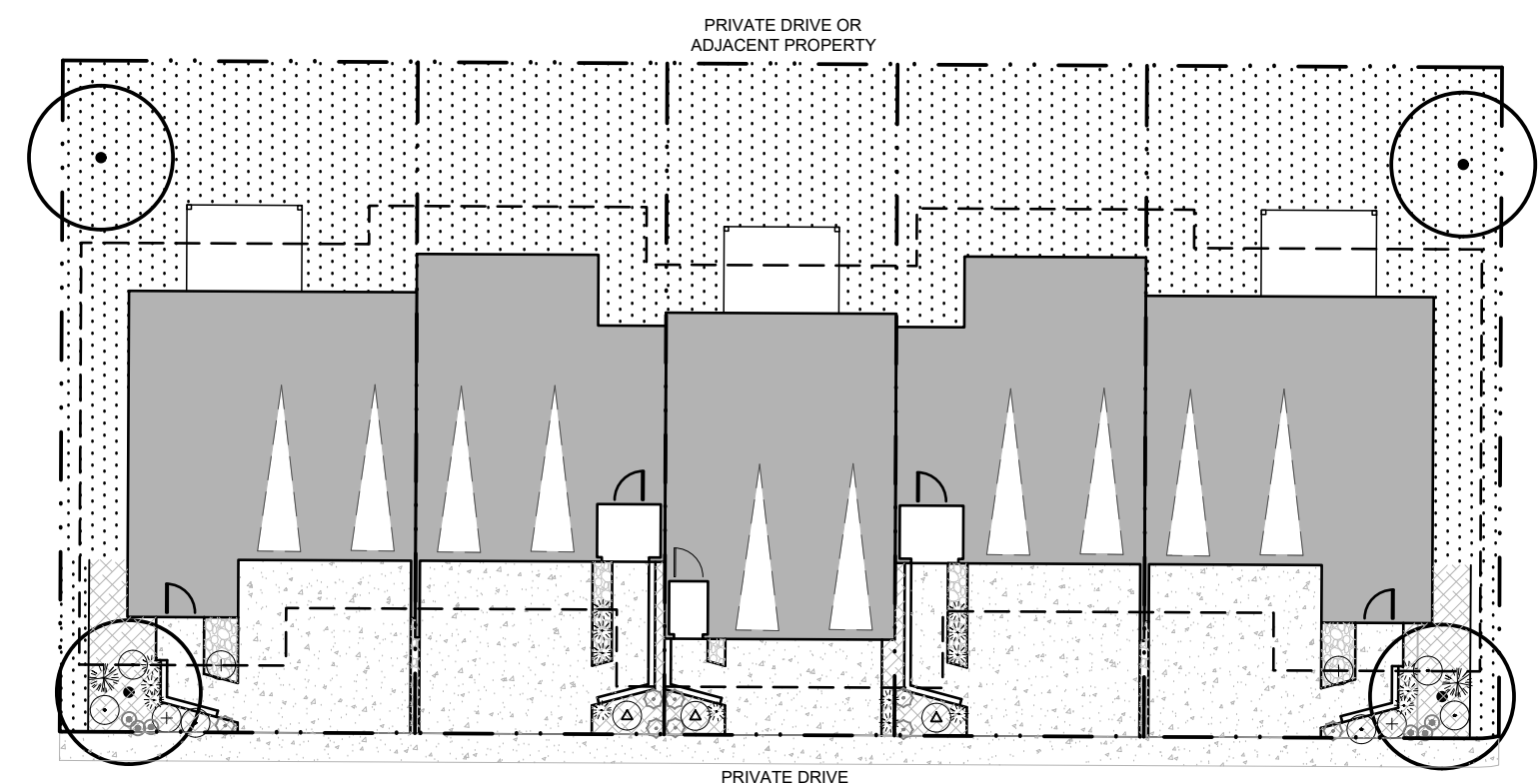


LEGEND

	PROPERTY LINE
	FRONT YARD
	SIDE YARD
	PRIVATE YARD

* NOTE: FRONT YARD LANDSCAPE IS TO BE MAINTAINED BY CCSMD

GENERAL NOTES:
1. LANDSCAPE ADJACENT TO TOWNHOMES SHALL BE MAINTAINED BY CCSMD.

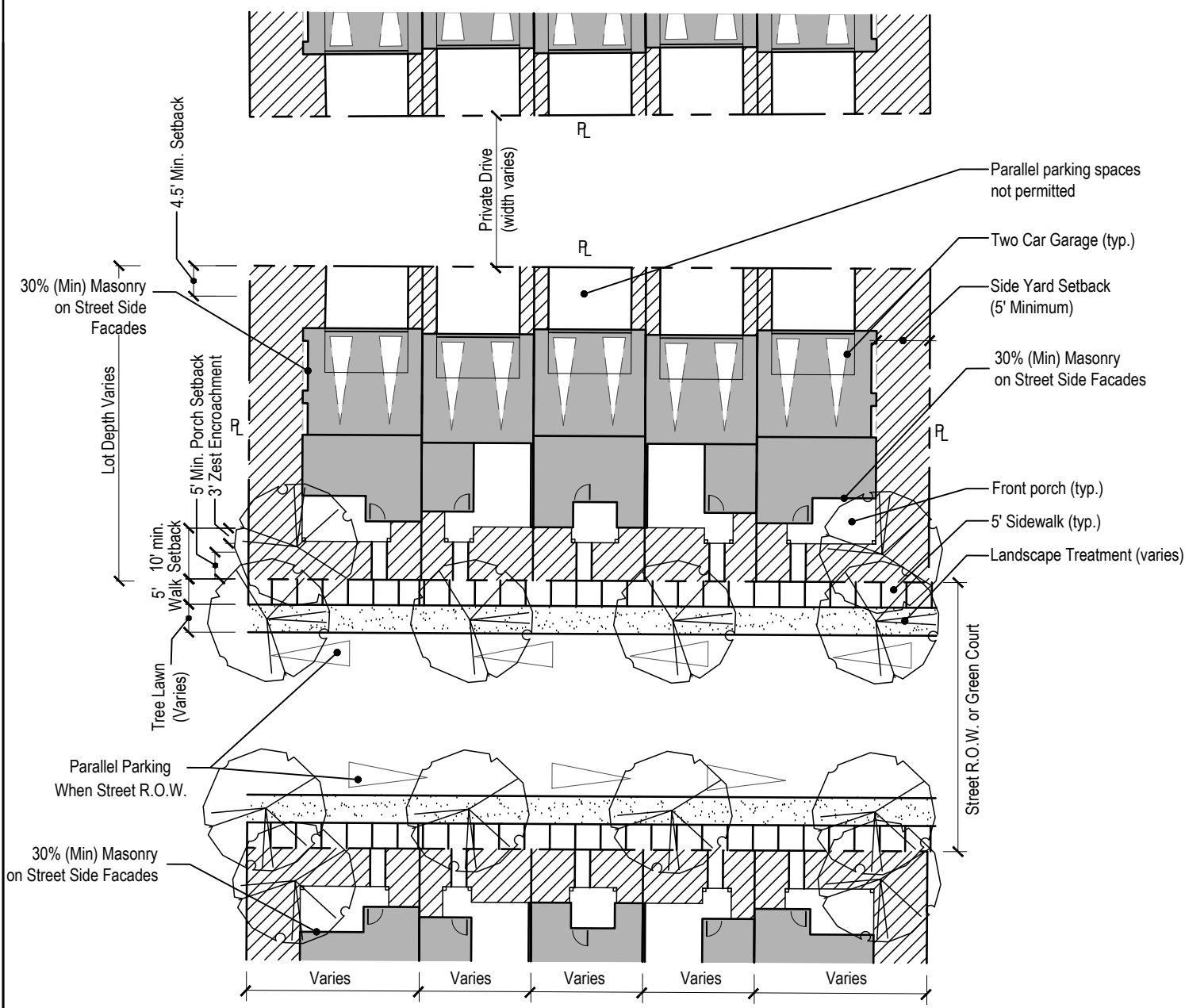


LEGEND

	PROPERTY LINE
	NO IRRIGATION LINE
	EDGER LINE
	SOD
	COBBLE
	LANDSCAPE MULCH
	DECIDUOUS ORNAMENTAL TREE
	DECIDUOUS SHRUB
	EVERGREEN SHRUB
	UPRIGHT EVERGREEN
	ORNAMENTAL GRASS
	PERENNIAL

- NOTES:
- EACH CORNER LOT BACKYARD IS REQUIRED TO HAVE AT LEAST ONE ORNAMENTAL DECIDUOUS TREE AS DEPICTED BY THE DIAGRAM ABOVE, AND IS TO BE INSTALLED BY THE HOMEBUILDER.
 - ADDITIONAL BACK YARD LANDSCAPE IS TO BE INSTALLED BY HOMEOWNER, AND MAINTAINED BY HOMEOWNER.
 - FRONT YARD LANDSCAPE IS TO BE INSTALLED BY HOMEBUILDER, AND MAINTAINED BY CCSMD.
 - LOTS MAY REQUIRE ADDITIONAL OR REDUCED PLANTING, SUBJECT TO DRC APPROVAL.

FRONT-LOADED TOWNHOME LOT TYPICAL	REQUIRED QUANTITIES BY LOT TYPE AND LOCATION						
	CORNER LOT			INTERNAL LOT		INTERNAL LOT	
	FRONT/ ALLEY	SIDE YARD	BACKYARD	FRONT/ ALLEY	BACKYARD	FRONT/ ALLEY	BACKYARD
ORNAMENTAL OR EVERGREEN TREE	1	0	1	1	BY HOMEOWNER	1	BY HOMEOWNER
DECIDUOUS / EVERGREEN SHRUBS	5	0	BY HOMEOWNER	0		0	
ORNAMENTAL GRASSES	4	0		4		3	
PERENNIALS	4	0	BY HOMEOWNER	2	BY HOMEOWNER	2	BY HOMEOWNER
TURF	3' MIN	3' MIN		NONE		NONE	



PLAN VIEW (TYPICAL)

N.T.S.



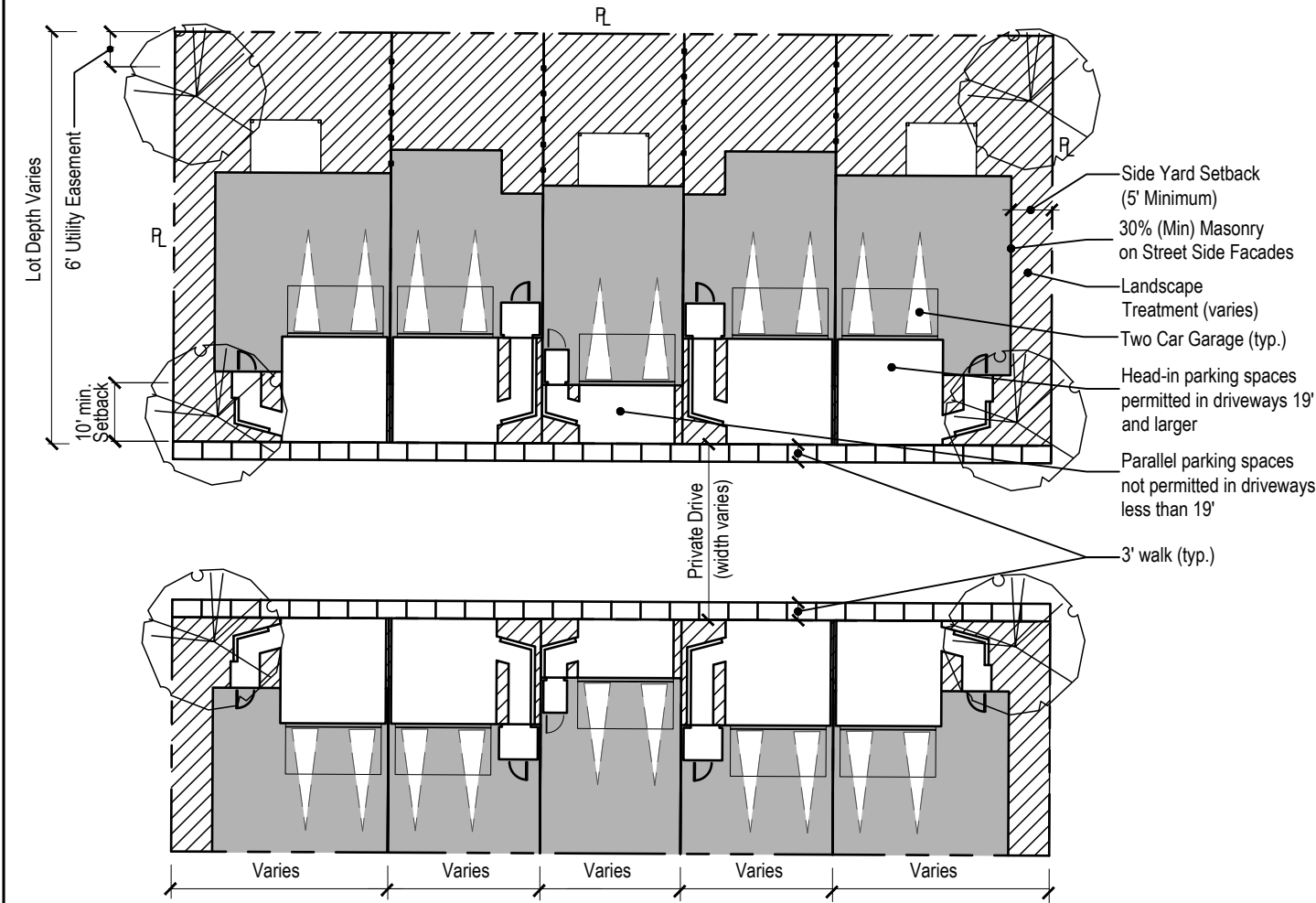
FRONT ELEVATION

SIDE ELEVATION

PRODUCT IMAGE (TYPICAL)

N.T.S.

A REAR-LOADED TOWNHOME



PLAN VIEW (TYPICAL)

N.T.S.



FRONT ELEVATION

ENHANCED SIDE ELEVATION
ADJACENT TO PECOS

PRODUCT IMAGE (TYPICAL)

N.T.S.

B FRONT-LOADED TOWNHOME

SQUARE FOOTAGE RANGE

HOUSING PRODUCT	SQUARE FOOTAGE
(A) FRONT-LOADED TOWNHOME	1,700-2,200 SF
(B) REAR-LOADED TOWNHOME	1,700-2,200 SF

SQUARE FOOT RANGES ARE INTENDED TO ENCOMPASS A MAJORITY OF HOMES IN EACH HOUSING PRODUCT TYPE. A MINIMAL AMOUNT OF HOMES MAY VARY FROM DEFINED RANGES DURING FURTHER ARCHITECTURE DESIGN DEVELOPMENT AND CONSTRUCTION.

MIDTOWN ARCHITECTURE CHARACTER

MIDTOWN WILL PROVIDE A "FRESH ARCHITECTURAL CHARACTER" FOR FRONT RANGE RESIDENTIAL. HARNESSING OUR "FREE-RANGE SPIRIT", THE TRADITIONAL CRAFTSMAN, PRAIRIE AND FARMHOUSE ROOTS, WILL EVOLVE INTO "FRESH STYLE" EXPRESSIONS FOR THE NEW NEIGHBORHOOD. SIMPLE FORMS, RICH COLORS, AND ARTFUL DETAILS WILL COMBINE TO CREATE AFFORDABLE AND DISTINCTIVE HOMES, ADDING "ZEST" TO THE STREET SCENE APPEAL. REFERENCE THE APPROVED SECOND AMENDMENT TO THE PRELIMINARY DEVELOPMENT PLAN FOR FURTHER INFORMATION. THE FOLLOWING ARE THE PRODUCT TYPES PROPOSED IN THIS FDP. TYPICAL PRODUCT IMAGE AND PLAN VIEW ARE REPRESENTATION OF ARCHITECTURE CHARACTER AND FORM, FINAL ARCHITECTURE MAY VARY. LOT LAYOUT IS CONCEPTUAL AND GARAGE ORIENTATION MAY VARY.

Sheet Title

ARCHITECTURE
STANDARDS

Sheet Number

11 OF 18

Brookfield Residential

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ADAMS COUNTY, COLORADO

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NOT FOR
CONSTRUCTION

SETBACK AND HEIGHT RESTRICTIONS CHART (AS APPROVED IN THE 3RD AMENDMENT TO THE PDP)

*See Sheets 9 and 10 for Front, Side, and Rear yard areas.

USE	MINIMUM FRONT YARD SETBACK FOR ALL STRUCTURES ADJACENT TO:	MINIMUM FRONT YARD SETBACK FOR PRINCIPAL STRUCTURE <small>See Note: 8, 10, 11, 12</small>	MINIMUM FRONT YARD SETBACK FOR GARAGE STRUCTURE <small>See Note: 8,12</small>	MINIMUM SIDE YARD SETBACK FOR ALL STRUCTURES <small>See Note: 5,8,10,11</small>	MIN. REAR YARD SETBACK FOR PRINCIPAL STRUCTURES EXCLUDING GARAGES <small>See Note: 8,10</small>	MIN. REAR YARD SETBACK TO GARAGE DOOR FACE FOR ALLEY LOAD HOMES	MAXIMUM BUILDING HEIGHT <small>See Note: 7</small>	MAXIMUM ACCESSORY STRUCTURE HEIGHT
	COLLECTOR <small>See Note: 6</small>					30' PRIVATE DRIVE		
SINGLE FAMILY TOWNHOME	15'	10'	10'	5'	15'	4.5'	45'	28'

The proposed setback and height restrictions are consistent with the Second Amendment to the PDP for the Midtown Clear Creek PUD.
Refer to the Second Amendment to the PDP for full list of notes.

NOTES:

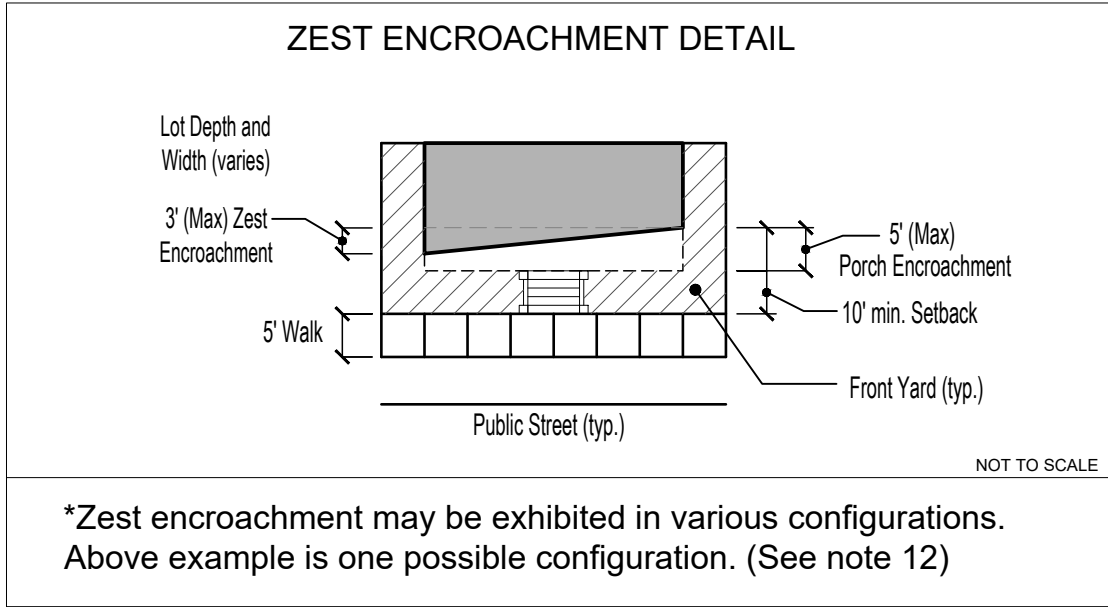
(References copied from the Second Amendment to the PDP)

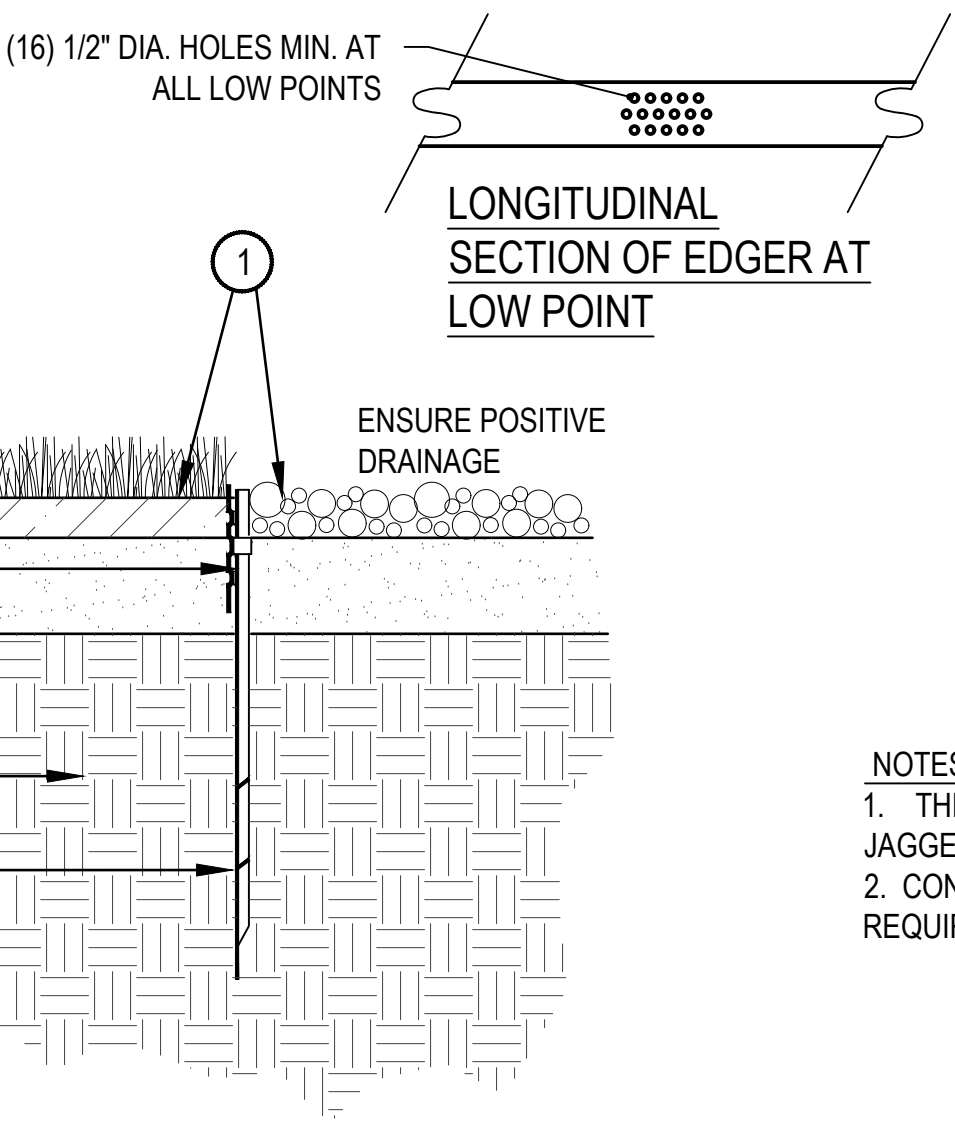
5. Side setbacks may be reduced to no less than 3' as measured from the finished material of the exterior wall to the property line. When reduced to less than 5' as measured from the finished material of the exterior wall to the property line, the then current IBC and/or IRC code requirements and amendments within the governing municipality will be enforced with regard to exterior wall fire-resistant rating and minimum fire-separation distance requirements.
6. Setbacks will follow local street standards on West 67th Avenue.
7. Building height excludes parapets and other architectural treatments that screen rooftop mechanical equipment from view. These items are subject to height limitations as deemed appropriate during the development review process.
8. Bay windows, cantilevers, chimneys, exterior posts/columns, solar panels, mechanical equipment, light fixtures, balconies, stairs and other similar architectural features are allowed to extend outward from the principal structure in front, side and rear yards. In no instance may an encroachment cross the property line or be located less than six-feet from the finished material of the encroachment to the adjacent property. When an encroachment is less than 5' from the property line, the then current IBC and/or IRC code requirements and amendments within the governing municipality will be enforced with regard to exterior wall fire-resistant rating and minimum fire-separation distance requirements.
9. (Note 9 omitted from this Reference).

GENERAL NOTES:

1. All roadways in Filing 11 are 26'-0" & 30'-0" Private Drives providing access for both rear and front loaded townhomes.
2. All references to Alleys in Filing 11 pertain to Private Drives.

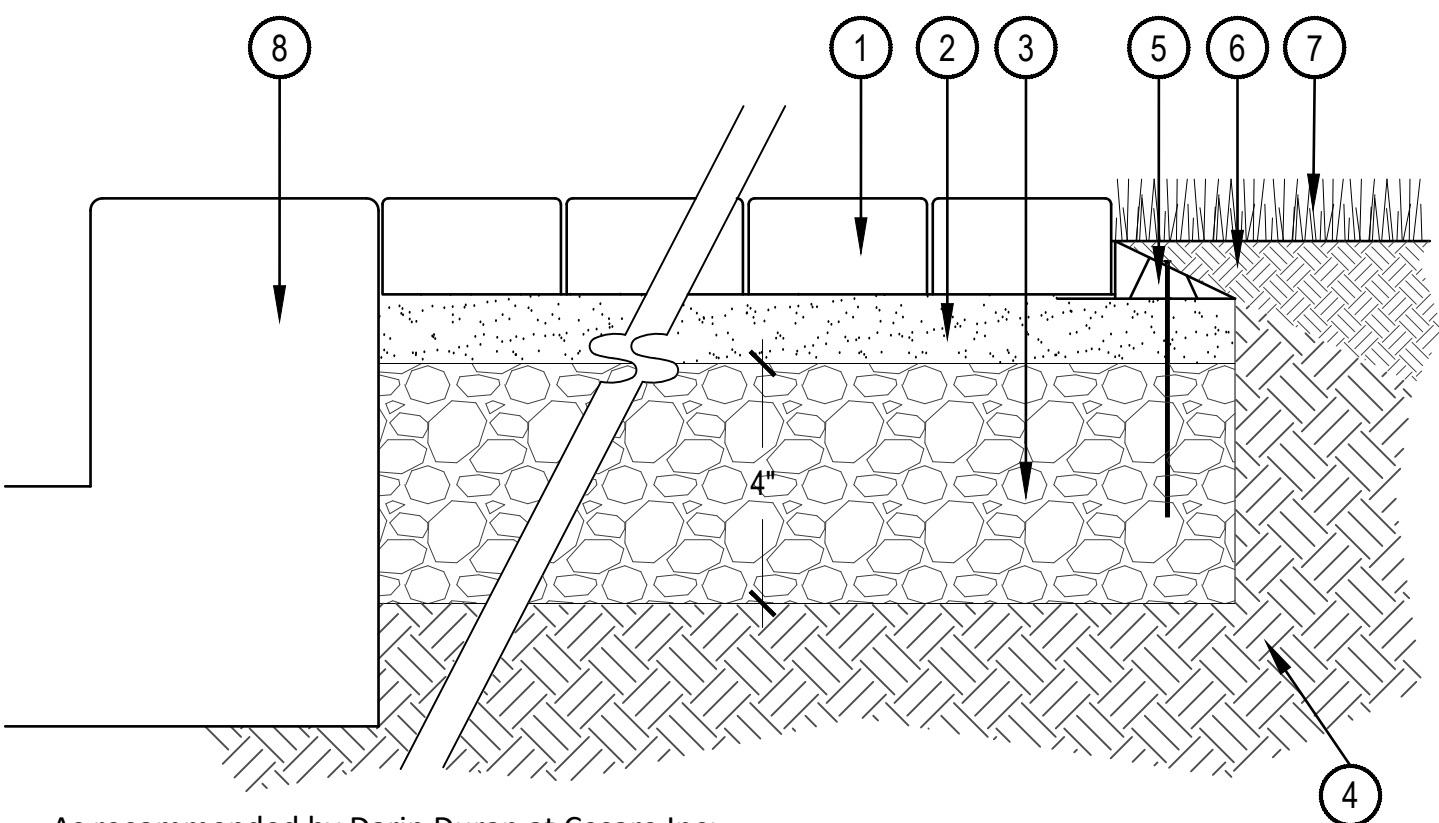
10. Setback measured from right-of-way/property line to the building plane of the livable space, commercial space or other non-garage door side of a building. Side loaded garages and non-livable spaces such as covered porches and courtyards can encroach into a setback up to 5' provided the encroachment is not within the public right-of way or transportation and utility easements.
11. The minimum setback of a side loaded garage is defined from the right-of-way/property line to the street-facing building plane.
12. Portions of the foundations and corresponding elevations for fronts of homes designed to achieve the desired "zest" character are permitted to encroach into the front setback area up to 3'. "Zest" character may be achieved by angling portion of the building foundation, projecting a portion of the building foundation or a change in the material in the building facade. (See Zest Encroachment Detail).





- 1 FINISHED GRADE - TOP OF SOD THATCH LAYER AND TOP OF MULCH OR CRUSHER FINES SHALL BE FLUSH WITH TOP OF EDGER
- 2 TURF THATCH
- 3 AMENDED SOIL PER SPECIFICATIONS
- 4 SUBGRADE
- 5 STEEL EDGER - DRILL (16) 1/2" DIA. HOLES 1" O.C. MIN. AT ALL LOW POINTS OR POORLY DRAINING AREAS IN ORDER TO ENSURE ADEQUATE DRAINAGE
- 6 EDGER STAKE

NOTES:
1. THERE SHALL BE NO EXPOSED SHARP / JAGGED EDGES.
2. CONTRACTOR SHALL INSTALL STAKES AS REQUIRED BY THE MANUFACTURER.



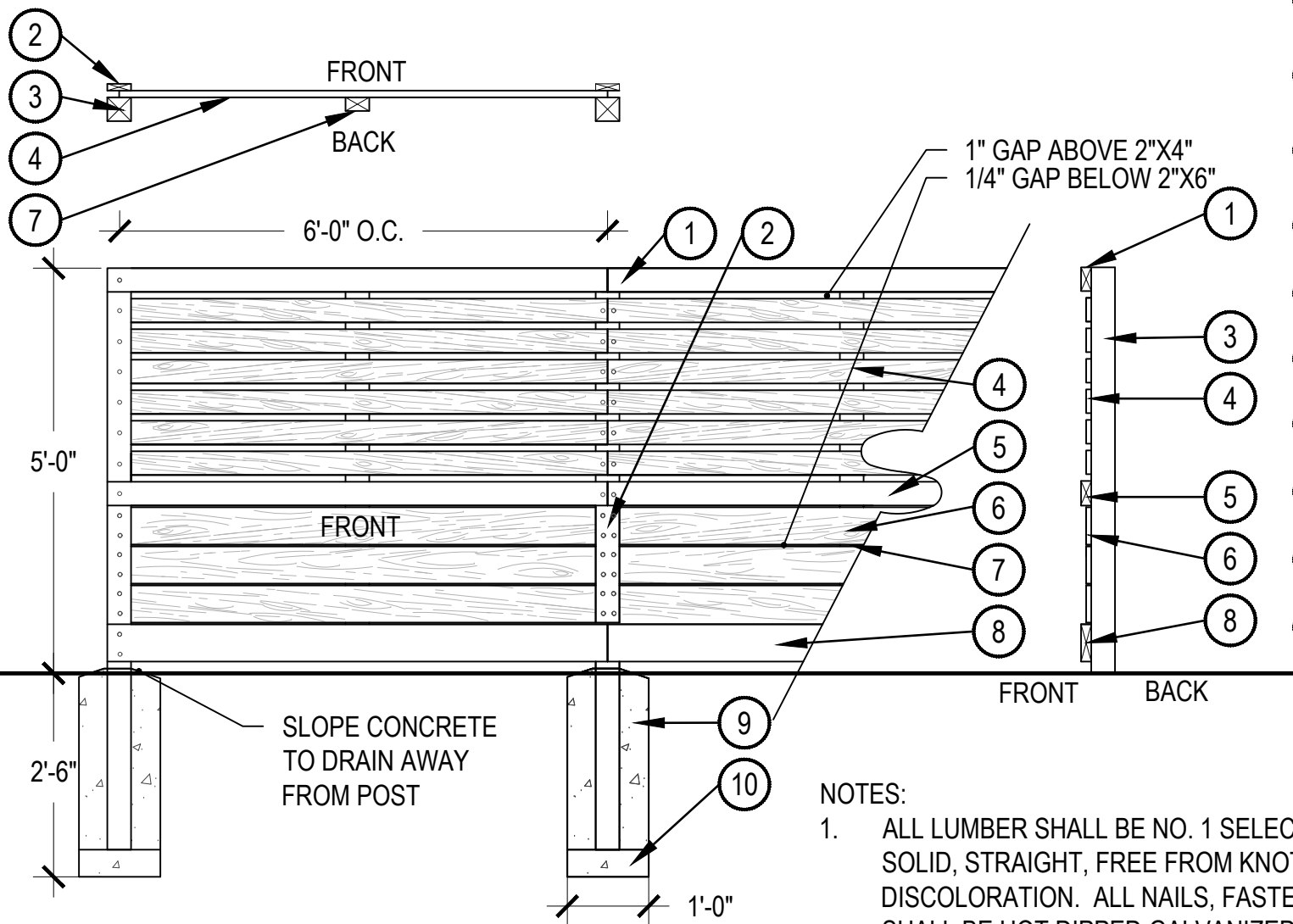
As recommended by Darin Duran at Cesare Inc:
Pedestrian Pavers

- 1-1.5" of sand base
- 4" of aggregate (beneath sand)
- Subgrade compacted to 95% of maximum dry density as determined by ASTM D698 within 0 to 2 percent of optimum moisture content. The aggregate base course should consist of CDOT Class 6 and be compacted to a minimum of 95% of modified Proctor density as determined by ASTM D1557.

- 1 2 1/4"x 4" x 8" SAND SET BRICK PAVER BY INTERSTATE BRICK, 1/16" GAPS TYP. WITH SAND-FILLED ANGULAR JOINT SAND THAT COMPLIES WITH ASTM C33. RUNNING BOND PATTERN ALWAYS SET AT 20° FROM TRUE NORTH AS INDICATED BY THE HATCH PATTERN ON THE PLANS. CROWN BRICK PAVING IN MEDIANS SO THERE IS APPROXIMATELY A 4% SLOPE TO THE CURB.
- 2 WASHED SAND SETTING BED 1"-1.5" DEPTH, PER GEOTECH RECOMMENDATIONS
- 3 AGGREGATE 4" DEPTH, PER GEOTECH RECOMMENDATIONS
- 4 PREPARE SUBGRADE PER GEOTECH RECOMMENDATIONS
- 5 PAVESTONE EDGEPRO PAVER RESTRAINT SYSTEM OR APPROVED EQUAL www.pavestone.com
- 6 AMENDED TOPSOIL
- 7 SOD
- 8 CURB AND GUTTER

1 STEEL EDGER

SCALE: 1" = 1'-0"



- 1 2" X 4" SMOOTH SAWN
- 2 1" X 4" FACIA
- 3 4" X 4" POST
- 4 1" X 4" ROUGH SAWN
- 5 2" X 4" SMOOTH SAWN
- 6 1" X 6" ROUGH SAWN
- 7 2" X 4"
- 8 2" X 6" SMOOTH SAWN
- 9 CONCRETE
- 10 4" - 3/4" ROCK

NOTES:
1. ALL LUMBER SHALL BE NO. 1 SELECT, CEDAR, AND SHALL BE SOLID, STRAIGHT, FREE FROM KNOTS, SPLITS, SHAKES, & DISCOLORATION. ALL NAILS, FASTENERS AND OTHER HARDWARE SHALL BE HOT DIPPED GALVANIZED. NAILS SHALL BE SHANK.

3 SOLID FENCE - HORIZONTAL WOOD FENCE

SCALE: 1/2" = 1'

2 BRICK PAVERS - PEDESTRIAN

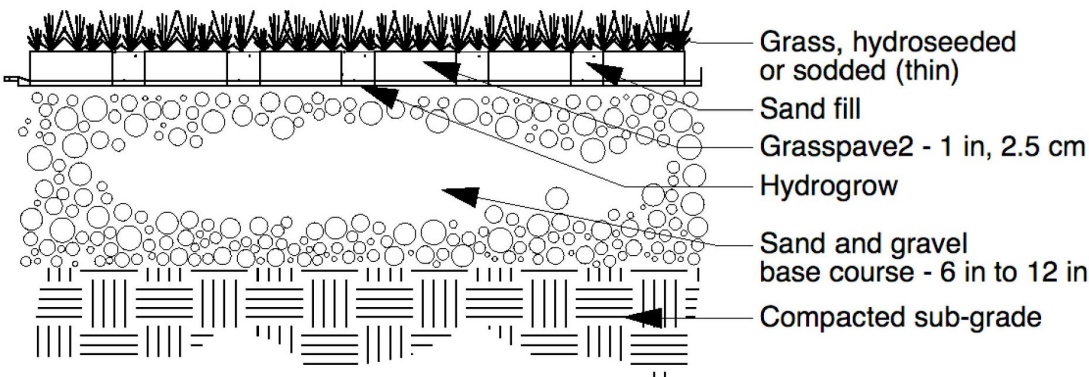
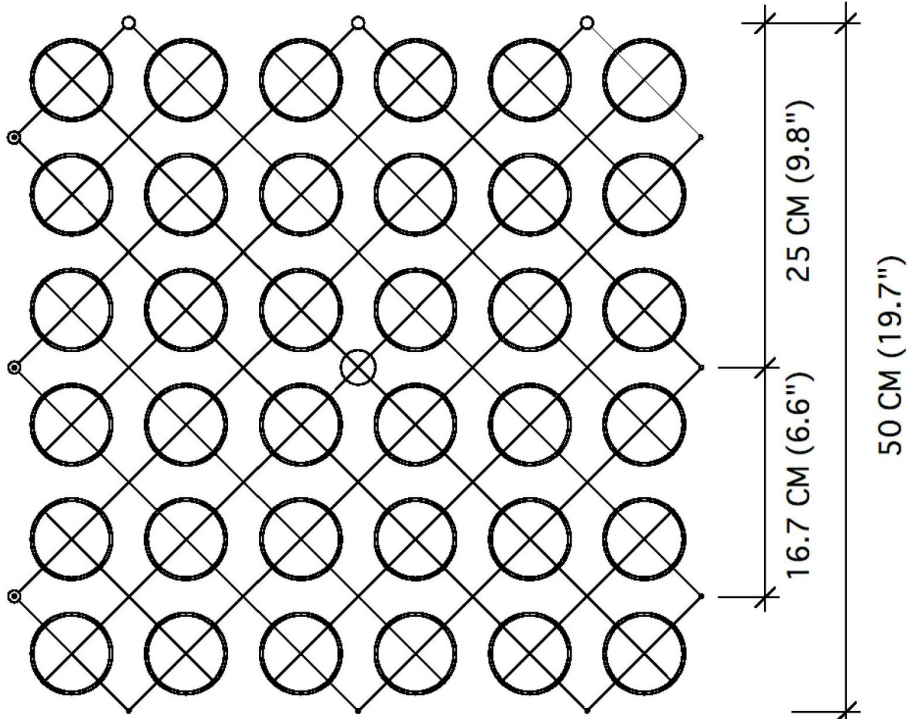
SCALE: 3" = 1'-0"



NOTES:
1. SIGN COPY COLOR, DIMENSIONS, TYPE PER ADAMS COUNTY STANDARDS.
2. SIGN HEIGHTS PER ADAMS COUNTY AND CDOT STANDARDS

4 MIDTOWN STREET SIGNAGE

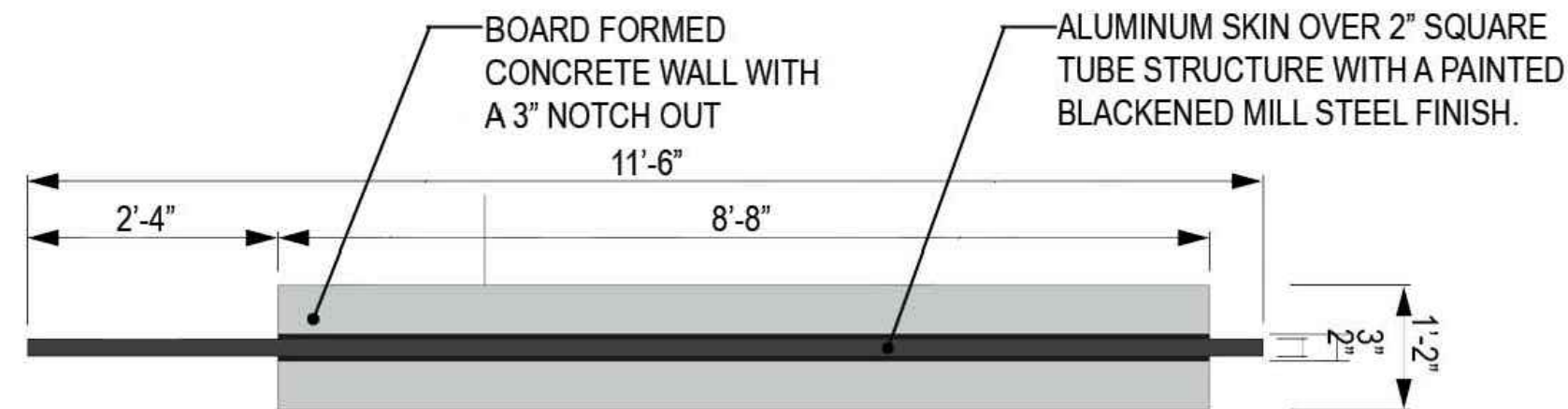
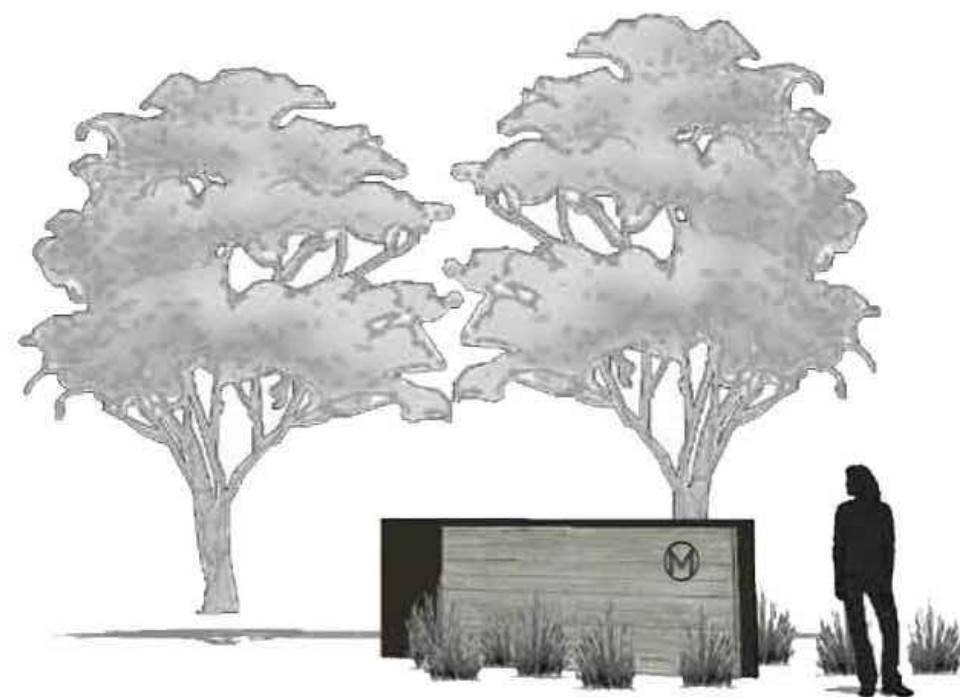
SCALE: NTS



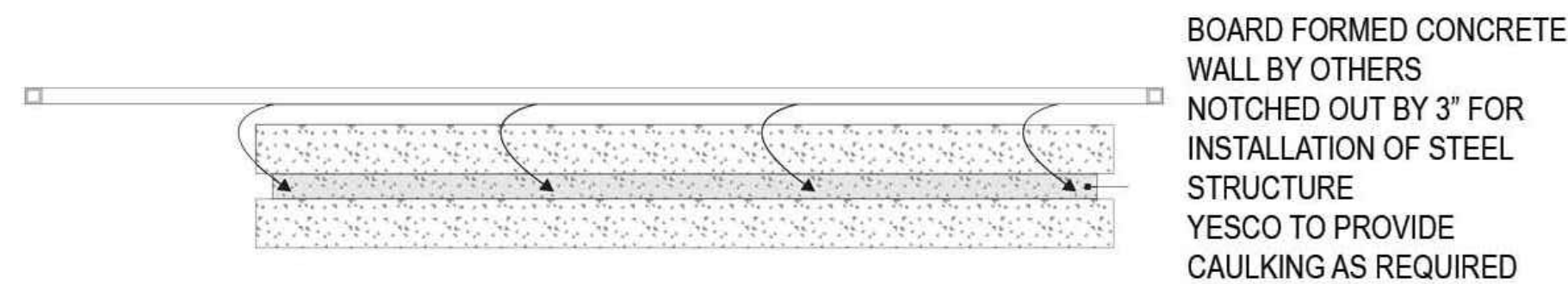
- 1 INVISIBLE STRUCTURES, INC.
800-233-1510
GRASSPAVE2 SYSTEM
- 2 GRASSPAVE2 TO BE SODDED
WITH 90/10 FESCUE MIX. INSTALL
SOD PER MANUFACTURER'S
SPECIFICATIONS. REFER TO
PLANS FOR GRASSPAVE
LOCATION & LAYOUT

1 GRASS-PAVE DETAIL

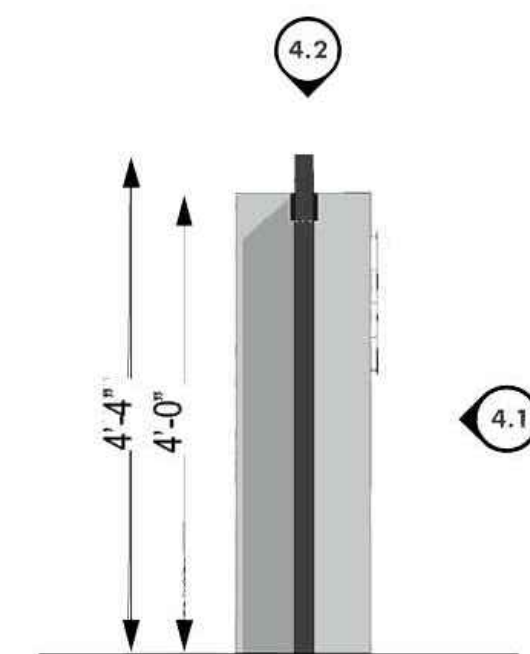
SCALE: 1" = N.T.S.



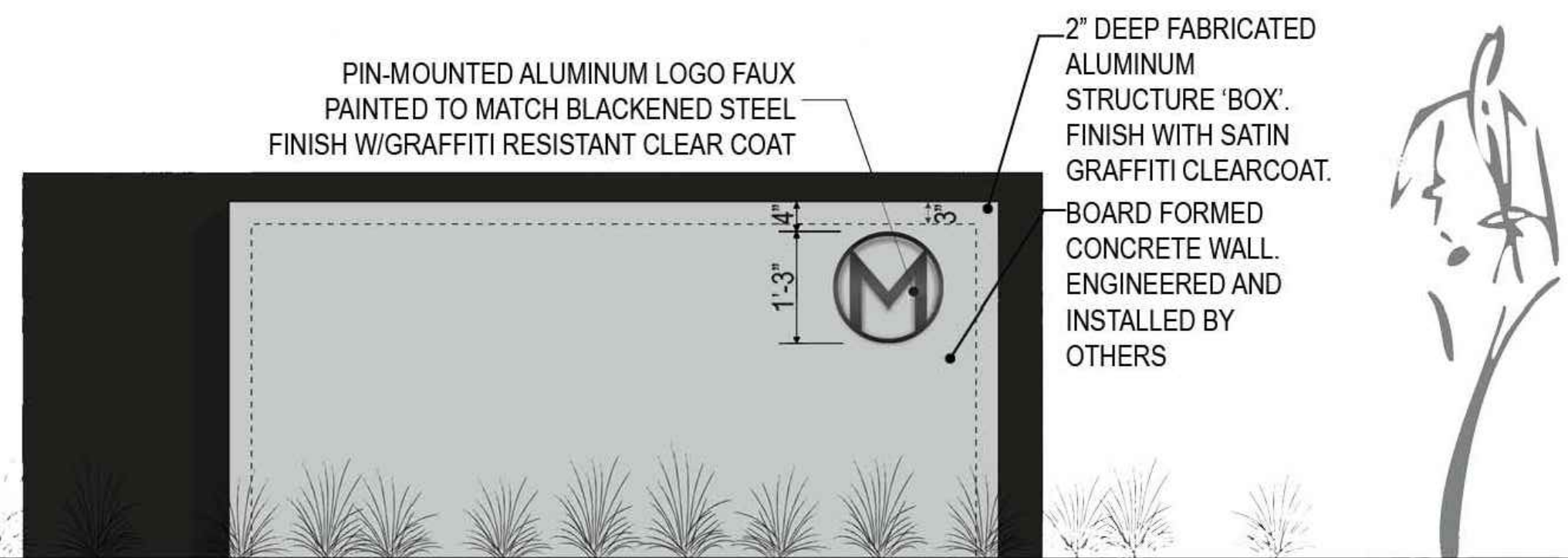
4.3 PLAN VIEW
QUANTITY: 1 SIGN TYPE A3



BOARD FORMED CONCRETE
WALL BY OTHERS
NOTCHED OUT BY 3" FOR
INSTALLATION OF STEEL
STRUCTURE
YESCO TO PROVIDE
CAULKING AS REQUIRED



4.2 ELEVATION - EAST FACE
QUANTITY: 1 SIGN TYPE A3



4.1 ELEVATION - NORTH FACE
QUANTITY: 1 SIGN TYPE A3

SEE ENGINEERED DRAWINGS FOR
STRUCTURE AND CONSTRUCTION
DETAILS. FOOTING BY OTHERS

1

MONUMENT SIGN

MONUMENT SIGNS DRAWN BY YESCO

MONUMENTATION SIGNAGE IS CONCEPTUAL
AND DESIGN IS SUBJECT TO CHANGE.

SCALE: NTS

1. ALL SITE LIGHTING IS FULL-CUTOFF AND LOCATED TO PREVENT GLARE.
2. ALL SITE LIGHTING TO BE CONTROLLED BY PHOTOCELL TO LIMIT LIGHTING TO ONLY NIGHT-TIME HOURS.
3. ILLUMINANCE VALUES SHOWN ARE AT GRADE AND ARE CALCULATED USING A LIGHT LOSS FACTOR OF 1.0.
4. ILLUMINANCE VALUES SHOWN REPRESENT LIGHTING FROM LUMINAIRES SHOWN EXPLICITLY ON THIS DRAWING, AND DO NOT INCLUDE BUILDING MOUNTED LIGHT FIXTURES OR LOCATED AS PART OF SEPARATE FILINGS.

MIDTOWN AT CLEAR CREEK
 FINAL DEVELOPMENT PLAN - FILING ELEVEN
 ADAMS COUNTY, COLORADO

12 / 21 / 2018

NOT FOR
CONSTRUCTION

1 | FILING 11
PHOTOMETRIC SITE PLAN

SCALE: 1" = 50'-0"



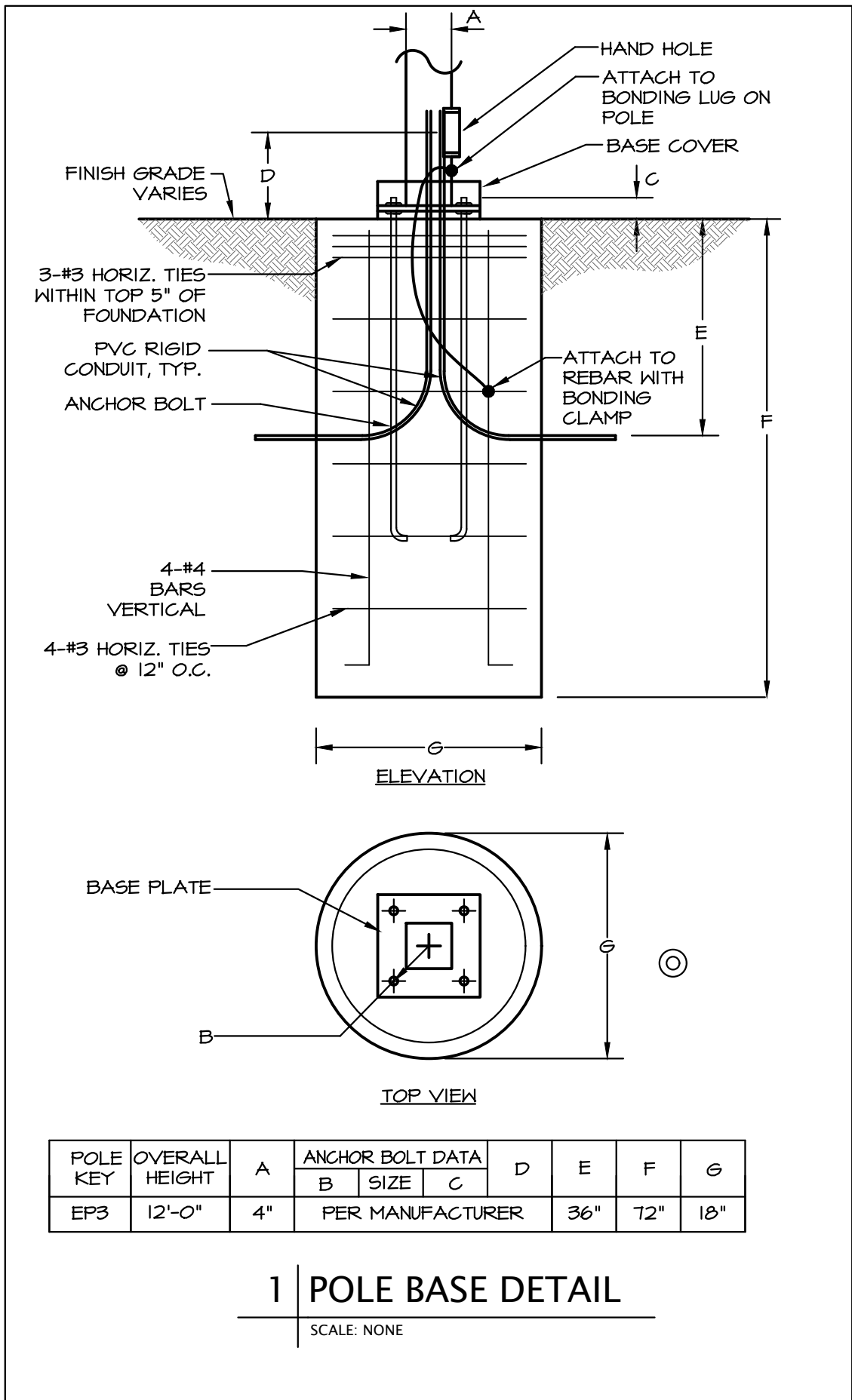
Brookfield
Residential

6465 S. Greenwood Plaza Blvd., Suite 700
Centennial, CO 80111
303-706-9451



1101 Bannock Street
Denver, Colorado 80204
P 303.692.1166
www.norris-design.com

MIDTOWN AT CLEAR CREEK
FINAL DEVELOPMENT PLAN - FILING ELEVEN
ADAMS COUNTY, COLORADO



LIGHTING FIXTURE SCHEDULE										
TYPE	DESCRIPTION	MANUFACTURER	CATALOG NUMBER	VOLTAGE	LAMP			MAX WATTS	MOUNTING INFORMATION	NOTES
					QTY	WATT	TYPE		LOCATION	
EP3	SINGLE SMALL HEAD, LED, ARCHITECTURAL AREA LUMINAIRE, FULL CUTOFF TYPE V REFLECTOR WITH PHOTOCELL, 12'-0" STRAIGHT ALUMINUM POLE	KIM	#ISA-WP9S-E5-P-70-60L-3K-240-PS	240	1	72	LED	72	POLE CONCRETE BASE	1,2
ABBREVIATIONS: BOF - BOTTOM OF FIXTURE, RFD - RECESSED FIXTURE DEPTH, OFH - OVERALL FIXTURE HEIGHT										
SPECIFIC NOTES: 1. LUMINAIRE AND POLE FINAL FINISHES SHALL MATCH EXISTING FINISHES ON SITE DURING PREVIOUS FILINGS. 2. EC TO PROVIDE INTEGRALLY MOUNTED PHOTOCELL FOR EACH LIGHT POLE LOCATION.										

ELECTRICAL SYMBOLS	
A	LUMINAIRE TYPE, REFERENCING LUMINAIRE SCHEDULE, TYPICAL ALL FIXTURES. SUBSCRIPT, IF SHOWN, REFERENCES WALL SWITCH.
○	WALL MOUNTED LUMINAIRE
◇	WALLWASH LUMINAIRE
⌂	STEP LIGHT TYPE LUMINAIRE
⊞	BOLLARD OR POST TOP LUMINAIRE
💡	EXTERIOR AREA LIGHT

Reset Form

KIM LIGHTING

WP9LE-LED
Large Electronic
120 Light Emitting Diodes
Total Max System Watts = 175W

Maximum weight:
35 lb. electronic

Specifications

Housing: One-piece die-cast, low copper (<0.6% Cu) aluminum alloy with integral cooling ribs over the electrical compartment. Solid barrier wall separates optical and electrical compartments. A single die-cast aluminum cam-latch provides positive locking and sealing of the optical chamber. A one-piece extruded and vulcanized silicone gasket seals the housing against the lens surface.

Electronic Driver Module: One-piece die-cast, low copper (<0.6% Cu) aluminum alloy with integral cooling ribs over exposed bottom surface. Integral hinges and slide latch with stainless steel hardware provides no-tool mounting and removal from housing. All electronic components are UL and CSA recognized and mounted directly to the driver tray for maximum heat dissipation.

Lens: Clear 3/4" thick tempered glass lens retained by a stainless steel piano hinge and a single die-cast aluminum cam-latch. The edges are camouflaged to conceal the outer portion of the housing.

Optical Module: Precision injection molded, high specular reflectors are positioned to achieve directional control toward desired task. Secondary high specular reflector 95% Miro4 panels surround the module to redirect light downward. No fasteners are placed on the reflective surface. The entire assembly fastens to the housing as a one-piece module.

Support Arm: Heavy cast, low copper aluminum alloy with stainless steel mounting bolts. A pole reinforcing plate is provided with wire strain relief. Arm is circular cut for specified round pole.

Finish: Super TGIC thermoset polyester powder coat paint, 2.5 mil nominal thickness, applied over a titanated zirconium conversion coating; 2500 hour salt spray test endurance rating. Standard colors are Black, Dark Bronze, Stealth Gray™, Platinum Silver, or White. Custom colors are available.

CAUTION: Fixtures must be grounded in accordance with national, state and/or local electrical codes. Failure to do so may result in serious personal injury.

120V, 208V, 240V, 277V

347V and 480V

NOTE: Driver compartment door extends down 1 1/8" on large housing to accommodate integral step-down transformer on 347V and 480V models only.

HUBBELL
HUBBELL LIGHTING INC.

U.S. Patent D568,521,
Patent Pending Optics

© 2009 KIM LIGHTING • P.O. BOX 60080, CITY OF INDUSTRY, CA 91716-0080 • TEL: 626/968-5666 • FAX: 626/369-2695 5646809267

Listings and Ratings			
UL cUL 1598*	CE	IP66 Rated	25C Ambient

*Suitable for wet locations.
KIM LIGHTING RESERVES THE RIGHT TO CHANGE SPECIFICATIONS WITHOUT NOTICE.

POINT ILLUMINANCE SUMMARY:					
AREA	AVERAGE (fc)	MAX (fc)	MIN (fc)	MAX/MIN	AVG/MIN
PARKING AREA - NORTH	1.5	3.4	0.6	5.7:1	2.5:1
PARKING AREA - SOUTH	0.8	1.7	0.2	8.5:1	4.0:1

**SUBDIVISION IMPROVEMENTS AGREEMENT
FOR MIDTOWN AT CLEAR CREEK FILING 11**

THIS AGREEMENT is made and entered into by and between the County of Adams, State of Colorado, hereinafter called "County," and Midtown LLC, a Colorado limited liability company, having an address of 6465 S. Greenwood Plaza Blvd. #700, Centennial, Colorado 80111, hereinafter called "Developer."

WITNESSETH:

WHEREAS, Developer is the owner or contract purchaser of real property in the County of Adams, State of Colorado, as described in Exhibit "A" attached hereto, and by this reference made a part hereof.

WHEREAS, it is provided by resolution of the Board of County Commissioners, County of Adams, that where designated the Developer shall have entered into a written agreement with the County to install public and/or private improvements, and to deed land for public purposes or right-of-way.

NOW, THEREFORE, in consideration of the foregoing, the parties hereto promise, covenant, and agree as follows:

1. **Engineering Services.** Developer shall furnish, at its own expense, all engineering and other services in connection with the design and construction of the improvements described and detailed on Exhibit "B" attached hereto, and by this reference made a part hereof.
2. **Drawings and Estimates.** The Developer shall furnish drawings and cost estimates for all improvements described and detailed on Exhibit "B" for approval by the County. Upon request, the Developer shall furnish one set of reproducible "as built" drawings and a final statement of construction costs to the County.
3. **Construction.** Developer shall furnish and construct, at its own expense and in accordance with drawings and materials approved by the County, the improvements described and detailed on Exhibit "B".
4. **Time for Completion.** Improvements shall be completed according to the terms of this agreement within the "construction completion date," which is December 31, 2020. The Director of Community and Economic Development Department may for good cause grant extension of time for completion of any part or all of improvements appearing on said Exhibit "B" for a period not to exceed 180 days. Any extension greater than 180 days is within the sole discretion of the Board of County Commissioners. All extensions of time must be in writing.
5. **Guarantee of Compliance.** Developer shall furnish to the County, as collateral to guarantee compliance with this agreement, two bonds in form acceptable to the County and releasable only by the County. Said bonds shall be in the amounts as follows: (a) one bond in the amount of \$128,784.03 equal to the cost of the improvements described as "Phase One" in Exhibit "B," including twenty percent (20%) to cover administration and five percent (5%) per year for the term of the Agreement to cover inflation; and (b) one bond in the amount of \$34,399.78, equal to the cost of the improvements described as "Phase Two" in Exhibit "B," including twenty percent (20%) to cover administration and five percent (5%) per year for the term of the Agreement to cover inflation. Upon approval of the final plat, completion of the improvements described as "Phase One" in Exhibit "B" constructed according to the terms of this agreement, and preliminary acceptance by the Director of Public Works in accordance with section 5-02-05-01 of the County's Development Standards and Regulations, the bond described in clause (a) above shall be released, provided that completion of said improvements shall be determined solely by the County, and a reasonable part of said collateral, up to 20%, may be retained (i.e., the Developer furnishing to the County a replacement bond in such amount) to guarantee maintenance of the "Phase One" improvements for a period of one year from the date of completion.. Upon completion of the improvements described as "Phase Two" in Exhibit "B" constructed according to the terms of this agreement, and preliminary acceptance by the Director of Public Works in accordance

with section 5-02-05-01 of the County’s Development Standards and Regulations, the bond described in clause (b) above shall be released, provided that completion of said improvements shall be determined solely by the County, and a reasonable part of said collateral, up to 20%, may be retained (i.e., the Developer furnishing to the County a replacement bond in such amount) to guarantee maintenance of the “Phase Two” improvements for a period of one year from the date of completion.

No construction or building permits shall be issued until said collateral is furnished in the amount required and in a form acceptable to the Board of County Commissioners, and until the final plat has been approved. No building permits shall be issued until the improvements described as “Phase One” in Exhibit “B” have been preliminarily accepted by the Department of Public Works. No certificates of occupancy shall be issued until the improvements described as “Phase Two” in Exhibit “B” have been preliminary accepted by the Department of Public Works.

- 6. **Acceptance and Maintenance of Public Improvements.** All improvements designated “public” on Exhibit “B” shall be public facilities and become the property of the County or other public agencies upon acceptance. During the period of one year from and after the acceptance of public improvements, the Developer shall, at its own expense, make all needed repairs or replacement due to defective materials or workmanship which, in the opinion of the County, becomes necessary. If, within ten days of written notice to the Developer from the County requesting such repairs or replacements, the Developer has not undertaken with due diligence to make the same, the County may make such repairs or replacements at the Developer’s expense. In the case of an emergency such written notice may be waived.
- 7. **Successors and Assigns.** This agreement shall be binding upon the heirs, executors, personal representatives, successors, and assigns of the Developer, and shall be deemed a covenant running with the real property as described in Exhibit “A” attached hereto.
- 8. **Improvements and Dedication.** The undersigned Developer hereby agrees to provide the following improvements, and to dedicate described property as follows:

A. **Improvements.**

Public Improvements:

Osage Street, West 67th Place, Navajo Street, W. 68th Avenue and County of Adams storm sewer. See Exhibit “B” for description, estimated quantities and estimated construction costs.

Private Improvements:

Any other improvements set forth on Exhibit “B” not indicated as “public improvements” above.

The improvements shall be constructed in accordance with all County requirements and specifications in accordance with the approved plans and not later than the “construction completion date,” which is December 31, 2020.

- B. **Public dedication of land for right-of-way purposes or other public purpose.** No land is required to be conveyed to the County for right-of-way or other purposes in connection with the approval by Board of County Commissioners of this agreement and/or the final plat for the development known as Midtown at Clear Creek Filing No. 11.

- 9. **Superseding Effect.** This Agreement supersedes and replaces in its entirety that certain Subdivision Improvements Agreement for Midtown at Clear Creek Filing 11 between the Developer and the County approved by resolution of the Board of County Commissioners at the meeting of March 12, 2019 recorded at Reception No. 2019000022105, and such agreement is hereby terminated and of no further force or effect.

[signature page follows]

Developer:

Midtown LLC, a Colorado limited liability
company

Name: _____
By: _____
Title: _____

STATE OF COLORADO)
) ss.
[CITY AND] COUNTY OF _____)

The foregoing instrument was acknowledged before me this _____ day of
_____, 20____, by _____ as _____ of Midtown LLC, a
Colorado limited liability company.

Witness my hand and official seal.

My commission expires: _____

Notary Public

APPROVED BY resolution at the meeting of _____,
20_____.

Collateral to guarantee compliance with this agreement and construction of public improvements shall be required in the amount of \$163,183.81. No construction or building permits shall be issued until said collateral is furnished in the amount required and in a form acceptable to the Board of County Commissioners.

ATTEST: BOARD OF COUNTY COMMISSIONERS
ADAMS COUNTY, COLORADO

Clerk of the Board

Chair

Approved as to form:

Adams County Attorney's Office

EXHIBIT "A"

Legal Description: MIDTOWN AT CLEAR CREEK FILING NO. 11

A PARCEL OF LAND BEING A PART OF THAT SPECIAL WARRANTY DEED RECORDED AT RECEPTION NO. 2007000079792 OF THE RECORDS OF THE ADAMS COUNTY CLERK AND RECORDER'S OFFICE AND LYING IN THE NORTHWEST QUARTER OF THE SOUTHEAST QUARTER OF SECTION 4, TOWNSHIP 3 SOUTH, RANGE 68 WEST OF THE SIXTH PRINCIPAL MERIDIAN, COUNTY OF ADAMS, STATE OF COLORADO, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT THE CENTER QUARTER CORNER OF SAID SECTION 4, MONUMENTED BY A 3-1/4" ALUMINUM CAP STAMPED "PLS 28664", IN A MONUMENT BOX, WHENCE THE CENTER-SOUTH SIXTEENTH CORNER OF SAID SECTION 4, MONUMENTED BY A 3-1/4" ALUMINUM CAP STAMPED "PLS 23519", IN A MONUMENT BOX. BEARS SOUTH 00°00'15" WEST, A DISTANCE OF 1324.85 FEET FORMING THE BASIS OF BEARINGS USED IN THIS DESCRIPTION;

THENCE SOUTH 60°06'28" EAST, A DISTANCE OF 80.74 FEET TO A POINT ON THE SOUTHERLY RIGHT-OF-WAY OF WEST 68TH AVENUE AS DEDICATED ON THE PLAT OF MIDTOWN AT CLEAR CREEK-FILING NO. 7 A SUBDIVISION PLAT RECORDED AT RECEPTION NO. 2016000009355, IN SAID RECORDS AND THE POINT OF BEGINNING;

THENCE ALONG SAID SOUTHERLY RIGHT-OF-WAY OF WEST 68TH AVENUE, SOUTH 89°48'22" EAST, A DISTANCE OF 556.53 FEET TO THE WESTERLY RIGHT-OF-WAY OF NAVAJO STREET AS DEDICATED ON SAID PLAT OF MIDTOWN AT CLEAR CREEK-FILING NO. 7;

THENCE ALONG SAID WESTERLY RIGHT-OF-WAY OF NAVAJO STREET, SOUTH 00°16'34" WEST, A DISTANCE OF 219.54 FEET TO THE NORTHERLY RIGHT-OF-WAY OF WEST 67TH PLACE AS DEDICATED ON THE PLAT OF MIDTOWN AT CLEAR CREEK-FILING NO. 10 RECORDED AT RECEPTION NO. 2018000004010, IN SAID RECORDS;

THENCE ALONG SAID NORTHERLY RIGHT-OF-WAY OF WEST 67TH PLACE AND THE WESTERLY RIGHT-OF-WAY OF OSAGE STREET AS DEDICATED ON SAID PLAT OF MIDTOWN AT CLEAR CREEK-FILING NO. 10 THE FOLLOWING THREE (3) COURSES:

1. NORTH 89°43'26" WEST, A DISTANCE OF 209.50 FEET TO THE BEGINNING OF A TANGENT CURVE CONCAVE SOUTHEASTERLY HAVING A RADIUS OF 148.50 FEET;
2. SOUTHWESTERLY ALONG SAID CURVE THROUGH A CENTRAL ANGLE OF 90°00'00", AN ARC LENGTH OF 233.26 FEET;
3. TANGENT TO SAID CURVE, SOUTH 00°16'34" WEST, A DISTANCE OF 370.30 FEET TO THE NORTHERLY RIGHT-OF-WAY OF WEST 67TH AVENUE AS DEDICATED ON THE PLAT OF MIDTOWN AT CLEAR CREEK-FILING NO. 5 RECORDED AT RECEPTION NO. 2014000091485, IN SAID RECORDS;

THENCE ALONG SAID NORTHERLY RIGHT-OF-WAY OF WEST 67TH AVENUE THE FOLLOWING THREE (3) COURSES:

1. SOUTH 84°33'32" WEST, A DISTANCE OF 22.07 FEET;
2. NORTH 89°43'26" WEST, A DISTANCE OF 175.19 FEET;
3. NORTH 45°07'55" WEST, A DISTANCE OF 25.20 FEET TO THE EASTERLY RIGHT-OF-WAY OF PECOS STREET AS DESCRIBED IN BOOK 3658 AT PAGE 687, IN SAID RECORDS;

THENCE ALONG SAID EASTERLY RIGHT-OF-WAY OF PECOS STREET, NORTH 00°00'15" EAST, A DISTANCE OF 702.03 FEET;

THENCE CONTINUING ALONG SAID EASTERLY RIGHT-OF-WAY, NORTH 45°05'57" EAST, A DISTANCE OF 28.24 FEET TO THE POINT OF BEGINNING.

CONTAINING AN AREA OF 5.584 ACRES, (243,236 SQUARE FEET), MORE OR LESS.

PREPARED BY:

DEREK S. BROWN, PLS
FOR AND ON BEHALF OF AZTEC CONSULTANTS, INC.
300 E. MINERAL AVE., SUITE 1, LITTLETON, CO 80122

EXHIBIT “B”

Midtown Filing 11 (Osage St.)

Phase One Improvements

Opinion of Probable Cost Estimate

Date: 02/08/2019

JN: 10015.19

Storm Sewer	CDOT	QUANTITY	UNIT	UNIT PRICE	TOTAL COST
Connect to Existing	0	2	EA	\$3,000.00	\$6,000.00
Storm Sewer Subtotal					\$6,000.00
Street Improvements	CDOT	QUANTITY	UNIT	UNIT PRICE	TOTAL COST
Concrete					
8' Concrete Crossspan (Pavement)	412-00800	75	SY	\$73.95	\$5,546.25
Directional Handicap Ramp	608-00010	27	SY	\$170.20	\$4,595.40
Paving					
Adjust Valves to Grade	210-04050	2	EA	\$650.00	\$1,300.00
Asphalt (6" section)	411-03355	60.7	TON	\$73.00	\$4,431.10
6" Vertical Curb and Gutter (2' Pan)	609-21020	15	LF	\$34.33	\$514.95
Asphalt Milling / Resurfacing	202-00220	810	SY	\$7.04	\$5,702.40
Street Subtotal					\$22,090.10
Demolition	CDOT	QUANTITY	UNIT	UNIT PRICE	TOTAL COST
Remove Curb and Gutter	202-00203	168	LF	\$9.08	\$1,525.44
Remove Asphalt (6" Section)	202-00220	215	SY	\$7.04	\$1,513.60
Demolition Subtotal					\$3,039.04
Osage St. - Phase One Improvements Total					\$31,129.14

Midtown Filing 11 (W. 67th Pl.)

Phase One Improvements

Opinion of Probable Cost Estimate

Date: 02/08/2019

JN: 10015.19

Street Improvements	CDOT	QUANTITY	UNIT	UNIT PRICE	TOTAL COST
Concrete					
8' Concrete Crossspan (Pavement)	412-00800	50	SY	\$73.95	\$3,697.50
Directional Handicap Ramp	608-00010	18	SY	\$170.20	\$3,063.60
Paving					
Adjust Valves to Grade	210-04050	4	EA	\$650.00	\$2,600.00
Asphalt (6" section)	411-03355	35.0	TON	\$73.00	\$2,555.00
6" Vertical Curb and Gutter (2' Pan)	609-21020	112	LF	\$34.33	\$3,844.96
Asphalt Milling / Resurfacing	202-00220	545	SY	\$7.04	\$3,836.80
Street Subtotal					\$19,597.86
Demolition	CDOT	QUANTITY	UNIT	UNIT PRICE	TOTAL COST
Remove Curb and Gutter	202-00037	112	LF	\$9.08	\$1,016.96
Remove Asphalt (6" Section)	202-00220	106	SY	\$7.04	\$746.24
Demolition Subtotal					\$1,763.20
W. 67th Pl. - Phase One Improvements Total					\$21,361.06

Midtown Filing 11 (Navajo St.)

Phase One Improvements
Opinion of Probable Cost Estimate
Date: 02/08/2019
JN: 10015.19

Street Improvements	CDOT	QUANTITY	UNIT	UNIT PRICE	TOTAL COST
Paving					
Asphalt (6" section)	411-03355	13.4	TON	\$73.00	\$978.20
6" Vertical Curb and Gutter (2' Pan)	609-21020	15	LF	\$34.33	\$514.95
Asphalt Milling / Resurfacing	202-00220	325	SY	\$7.04	\$2,288.00
Street Subtotal					\$3,781.15
Demolition					
Remove Curb and Gutter	202-00037	15	LF	\$9.08	\$136.20
Remove Asphalt (6" Section)	202-00220	40	SY	\$7.04	\$281.60
Demolition Subtotal					\$417.80
Navajo St. - Phase One Improvements Total					\$4,198.95

Midtown Filing 11 (W. 67th Ave.)

Phase One Improvements
Opinion of Probable Cost Estimate
Date: 02/08/2019
JN: 10015.19

Street Improvements	CDOT	QUANTITY	UNIT	UNIT PRICE	TOTAL COST
Concrete					
6" Vertical Curb and Gutter (2' Pan)	609-21020	30	LF	\$34.33	\$1,029.90
5' Concrete Walk (6" Thick)	608-00006	25	SY	\$57.68	\$1,442.00
Paving					
Asphalt Milling / Resurfacing	202-00220	450	SY	\$7.04	\$3,168.00
Asphalt (6" section)	411-03355	13.2	TON	\$73.00	\$963.60
Street Subtotal					\$6,603.50
Demolition					
Remove Curb and Gutter	202-00037	30	LF	\$9.08	\$272.40
Remove Asphalt (6" Section)	202-00220	40	SY	\$7.04	\$281.60
Remove Concrete Walk (6" Thick)	202-00200	25	SY	\$34.63	\$865.75
Demolition Subtotal					\$1,419.75
W. 68th Ave. - Phase One Improvements Total					\$8,023.25

Midtown Filing 11 (W. 68th Ave.)

Phase One Improvements
Opinion of Probable Cost Estimate
Date: 02/08/2019
JN: 10015.19

Storm Sewer	CDOT	QUANTITY	UNIT	UNIT PRICE	TOTAL COST
5' Dia. Manhole	604-30005	1	EA	\$5,848.33	\$5,848.33
Connect to Existing	0	2	EA	\$3,000.00	\$6,000.00
Storm Sewer Subtotal					\$11,848.33
Street Improvements	CDOT	QUANTITY	UNIT	UNIT PRICE	TOTAL COST
Concrete					
Adjust Manhole to Grade	210-04010	1	EA	\$1,439.28	\$1,439.28
Asphalt (9" Section)	411-03355	92.5	TON	\$73.00	\$6,752.50
6" Vertical Curb and Gutter (2' Pan)	609-21020	54	LF	\$34.33	\$1,853.82
5' Concrete Walk (6" Thick)	608-00006	30	SY	\$57.68	\$1,730.40
Paving					
Asphalt Milling / Resurfacing	202-00220	875	SY	\$7.04	\$6,160.00
Street Subtotal					\$17,936.00
Demolition	CDOT	QUANTITY	UNIT	UNIT PRICE	TOTAL COST
Remove Curb and Gutter	202-00037	54	LF	\$9.08	\$490.32
Remove Asphalt (6" Section)	202-00220	187	SY	\$7.04	\$1,316.48
Remove Concrete Walk (6" Thick)	202-00200	30	SY	\$34.63	\$1,038.90
Demolition Subtotal					\$2,845.70
W. 68th Ave. - Phase One Improvements Total					\$32,630.03

Midtown Filing 11 (Summary)

Phase One Improvements
Opinion of Probable Cost Estimate
Date: 02/08/2019
JN: 10015.19

Storm Sewer	CDOT	QUANTITY	UNIT	UNIT PRICE	TOTAL COST
5' Dia. Manhole	604-30005	1	EA	\$5,848.33	\$5,848.33
Connect to Existing	0	4	EA	\$3,000.00	\$12,000.00
Storm Sewer Subtotal					\$17,848.33
Street Improvements		QUANTITY	UNIT	UNIT PRICE	TOTAL COST
Concrete					
6" Vertical Curb and Gutter (2' Pan)	609-21020	226	LF	\$34.33	\$7,758.58
8' Concrete Crossspan (Pavement)	412-00800	125	SY	\$73.95	\$9,243.75
5' Concrete Walk (6" Thick)	608-00006	55	SY	\$57.68	\$3,172.40
Directional Handicap Ramp	608-00010	45	SY	\$170.20	\$7,659.00
Paving					
Asphalt (9" Section)	411-03355	92.5	TON	\$73.00	\$6,752.50
Asphalt (6" section)	411-03355	122.3	TON	\$73.00	\$8,927.90
Adjust Manhole to Grade	210-04010	1	EA	\$1,439.28	\$1,439.28
Adjust Valves to Grade	210-04050	6	EA	\$650.00	\$3,900.00
Asphalt Milling / Resurfacing	202-00220	3,005	SY	\$7.04	\$21,155.20
Street Subtotal					\$70,008.61
Demolition	CDOT	QUANTITY	UNIT	UNIT PRICE	TOTAL COST
Remove Curb and Gutter	202-00037	379	LF	\$9.08	\$3,441.32
Remove Asphalt (6" Section)	202-00220	588	SY	\$7.04	\$4,139.52
Remove Concrete Walk (6" Thick)	202-00200	55	SY	\$34.63	\$1,904.65
Demolition Subtotal					\$9,485.49
Summary - Phase One Improvements Subtotal					\$97,342.43
Additional 20% Administration					\$19,468.49
5% Inflation per Year					\$5,840.55
5% Inflation per Year Two					\$6,132.57
Phase One Improvements Total					\$128,784.03

Midtown Filing 11 (W. 67th Pl.)

Phase Two Improvements
Opinion of Probable Cost Estimate
Date: 02/08/2019
JN: 10015.19

Street Improvements	CDOT	QUANTITY	UNIT	UNIT PRICE	TOTAL COST
Concrete					
Subgrade Prep - Concrete Walk	306-01000	121	SY	\$3.66	\$441.23
5' Concrete Walk (6" Thick)	608-00006	121	SY	\$57.68	\$6,953.64
Street Subtotal					\$7,394.88

Midtown Filing 11 (Osage St.)

Phase Two Improvements
Opinion of Probable Cost Estimate
Date: 02/08/2019
JN: 10015.19

Street Improvements	CDOT	QUANTITY	UNIT	UNIT PRICE	TOTAL COST
Concrete					
Subgrade Prep - Concrete Walk	306-01000	178	SY	\$3.66	\$652.70
5' Concrete Walk (6" Thick)	608-00006	178	SY	\$57.68	\$10,286.27
Street Subtotal					\$10,938.97

Midtown Filing 11 (Navajo St.)

Phase Two Improvements
Opinion of Probable Cost Estimate
Date: 02/08/2019
JN: 10015.19

Street Improvements	CDOT	QUANTITY	UNIT	UNIT PRICE	TOTAL COST
Concrete					
Subgrade Prep - Concrete Walk	306-01000	125	SY	\$3.66	\$457.50
5' Concrete Walk (6" Thick)	608-00006	125	SY	\$57.68	\$7,210.00
Street Subtotal					\$7,667.50

Midtown Filing 11 (Summary)

Phase Two Improvements
Opinion of Probable Cost Estimate
Date: 02/08/2019
JN: 10015.19

Street Improvements	CDOT	QUANTITY	UNIT	UNIT PRICE	TOTAL COST
Concrete					
Subgrade Prep - Concrete Walk	306-01000	424	SY	\$3.66	\$1,551.43
5' Concrete Walk (6" Thick)	608-00006	424	SY	\$57.68	\$24,449.91
Street Subtotal					\$26,001.34
Summary - Phase Two Improvements Subtotal					\$26,001.34
Additional 20% Administration					\$5,200.27
5% Inflation per Year					\$1,560.08
5% Inflation per Year Two					\$1,638.08
Phase Two Improvements Total					\$34,399.78

Midtown Filing 11 (Summary)

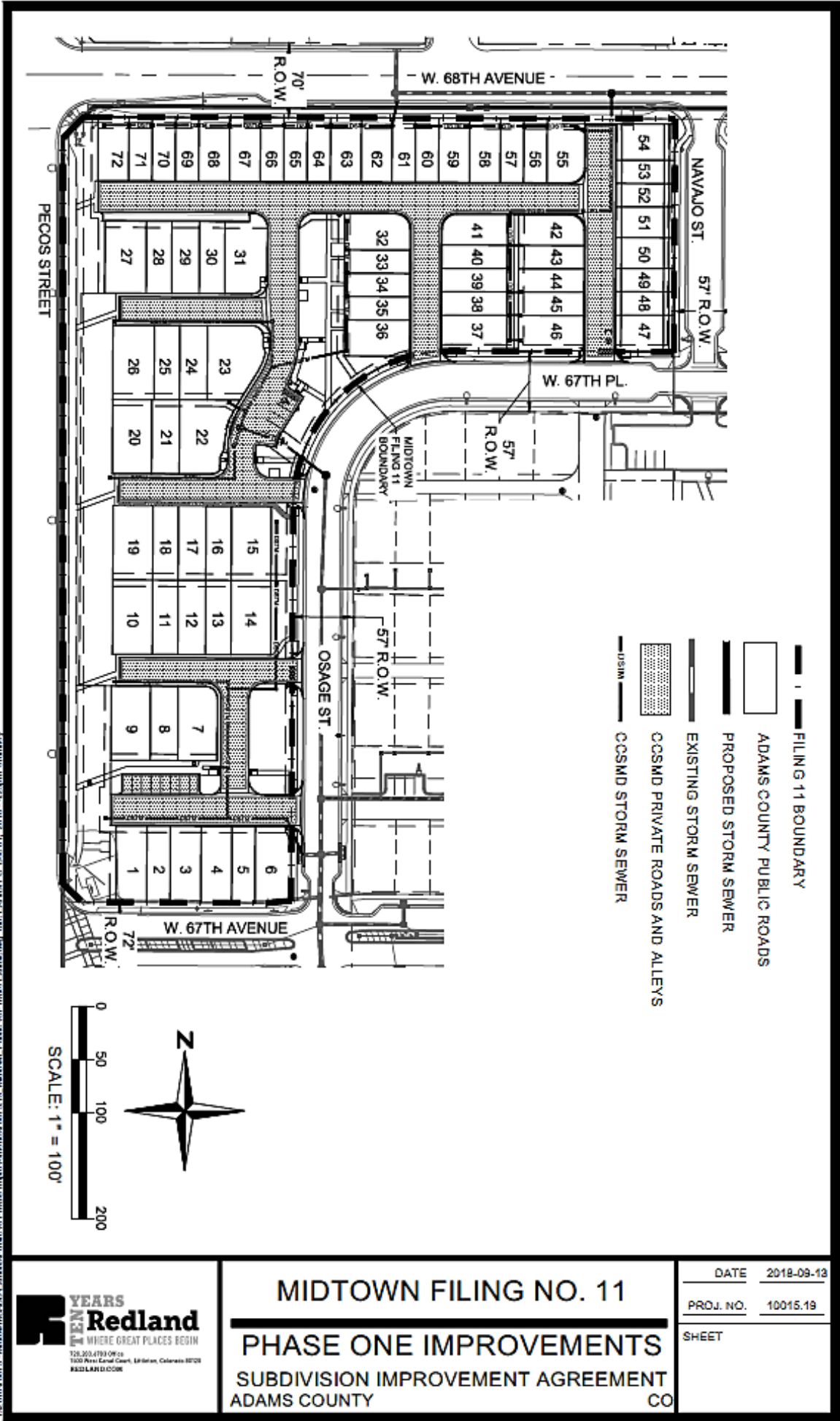
Phase One & Two Improvements

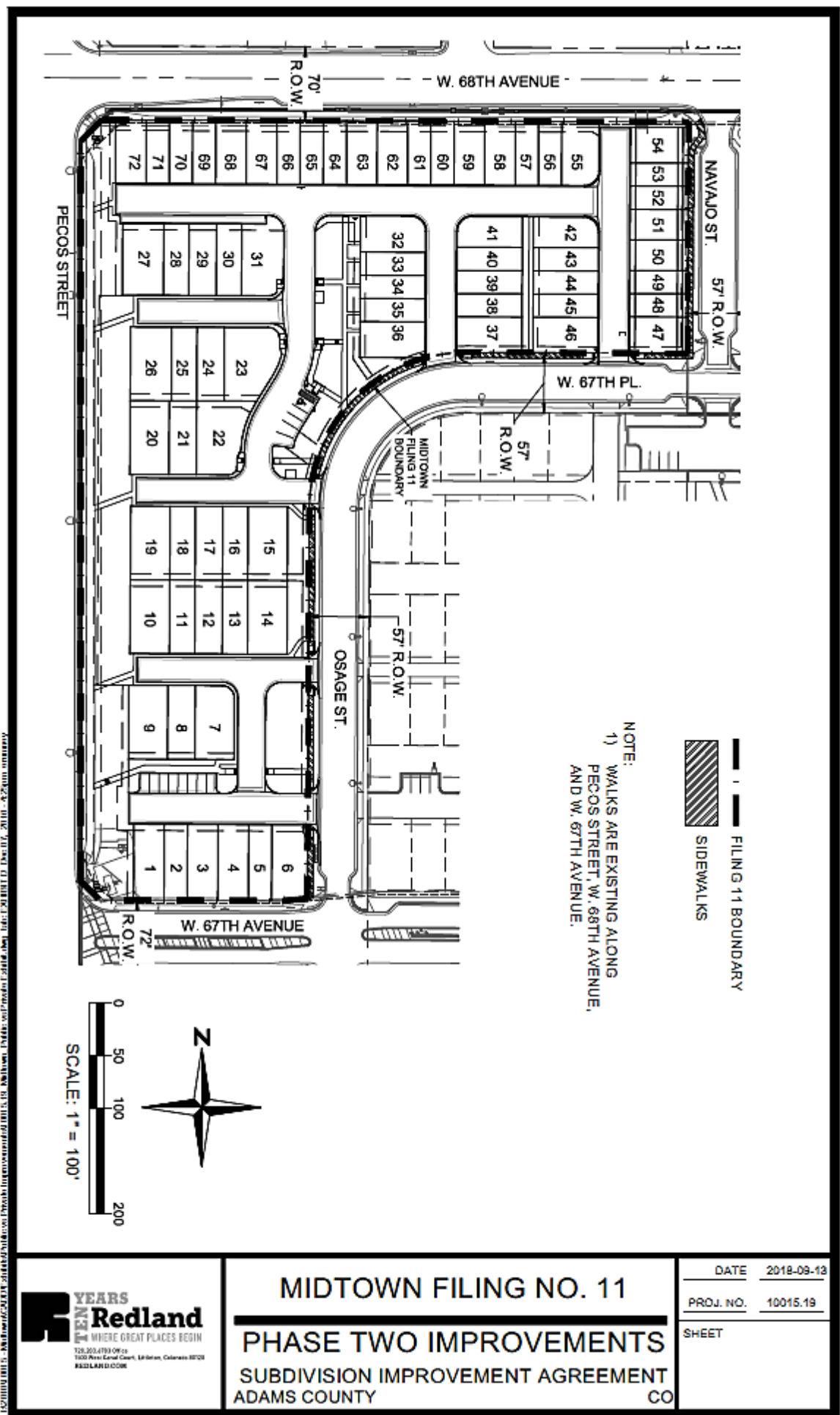
Opinion of Probable Cost Estimate

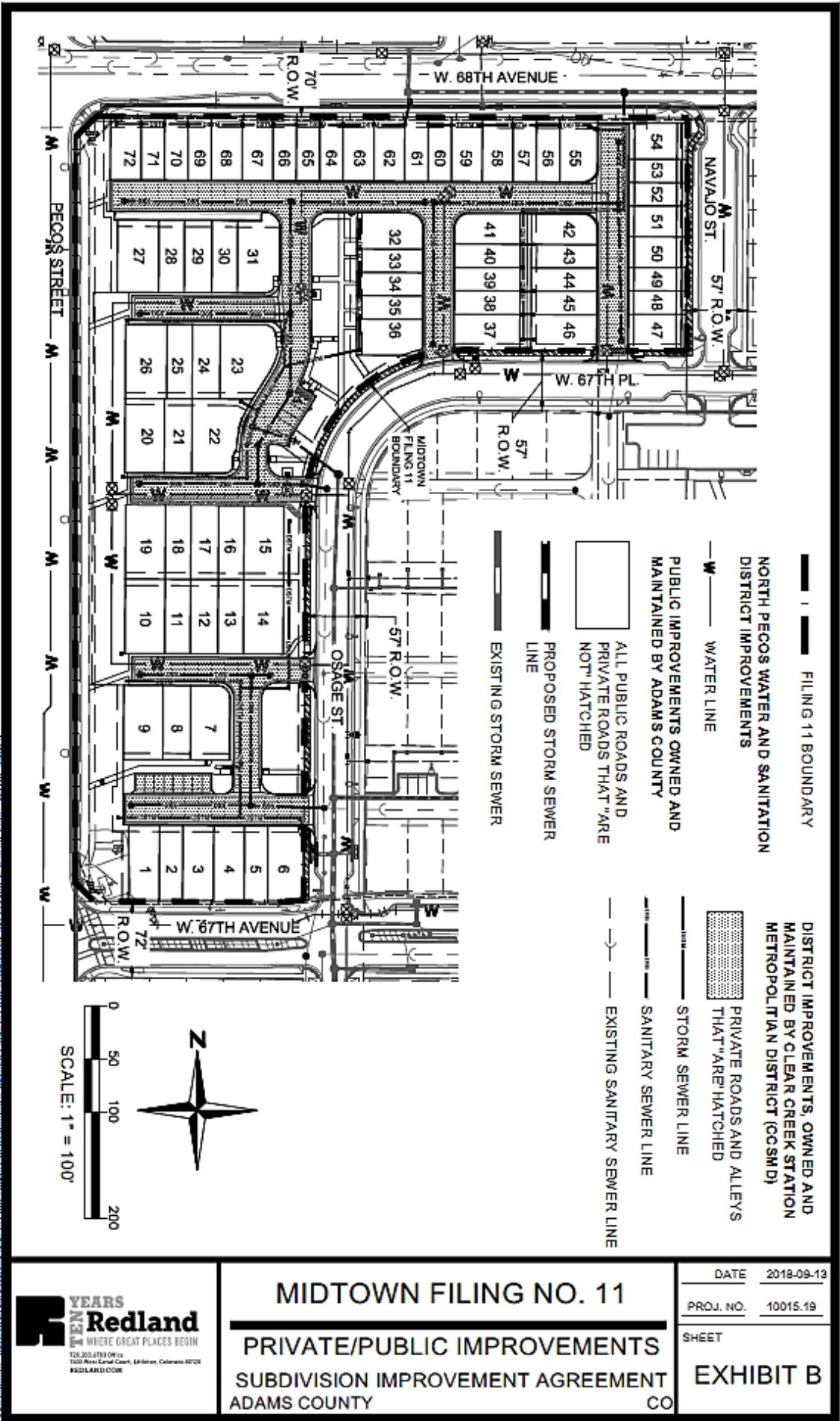
Date: 02/08/2019

JN: 10015.19

Storm Sewer	CDOT	QUANTITY	UNIT	UNIT PRICE	TOTAL COST
Connect to Existing		4	EA	\$3,000.00	\$12,000.00
5' Dia. Manhole	604-30005	1	EA	\$5,848.33	\$5,848.33
Storm Sewer Subtotal					\$17,848.33
Street Improvements	CDOT	QUANTITY	UNIT	UNIT PRICE	TOTAL COST
Concrete					
8' Concrete Crosspan (Pavement)	412-00800	125	SY	\$73.95	\$9,243.75
Subgrade Prep - Concrete Walk	306-01000	424	SY	\$3.66	\$1,551.43
5' Concrete Walk (6" Thick)	608-00006	479	SY	\$57.68	\$27,622.31
Directional Handicap Ramp	608-00010	45	SY	\$170.20	\$7,659.00
6" Vertical Curb and Gutter (2' Pan)	609-21020	226	LF	\$34.33	\$7,758.58
Paving					
Asphalt (9" Section)	202-00037	92.5	TON	\$73.00	\$6,752.50
Adjust Manhole to Grade	210-04010	1	EA	\$1,439.28	\$1,439.28
Adjust Valves to Grade	210-04050	6	EA	\$650.00	\$3,900.00
Asphalt (6" section)	411-03355	122.30	TON	\$73.00	\$8,927.90
Asphalt Milling / Resurfacing	202-00220	3,005	SY	\$7.04	\$21,155.20
Street Subtotal					\$96,009.95
Demolition	CDOT	QUANTITY	UNIT	UNIT PRICE	TOTAL COST
Remove Curb and Gutter	202-00037	379	LF	\$9.08	\$3,441.32
Remove Asphalt (6" Section)	202-00220	588	SY	\$7.04	\$4,139.52
Remove Concrete Walk (6" Thick)	202-00200	55	SY	\$34.63	\$1,904.65
Demolition Subtotal					\$9,485.49
Summary - Subtotal					\$123,343.77
Additional 20% Administration					\$24,668.75
5% Inflation per Year					\$7,400.63
5% Inflation per Year Two					\$7,770.66
Total					\$163,183.81









Development Review Team Comments

Date: 10/22/18

Project Number: PRC2018-00018

Project Name: Midtown Filing 11

For submission of revisions to applications, a cover letter addressing each staff review comments must be provided. The cover letter must include the following information: restate each comment that require a response and provide a response below the comment; respond to each comment with a description of the revisions and the page of the response on the site plan. And identify any additional changes made to the original document other than those required by staff.

A re-submittal is required. Please submit 1 hard copy and 1 electronic copy to the Community and Economic Development Department front desk with the re-submittal form.

An additional 20% review fee will be required after the third review and upon submittal of the fourth review.

Commenting Division: Development Services, Planning

Name of Reviewer: Emily Collins

Email: ecollins@adcogov.org

PLN1. REQUEST:

- a. Final Development Plan and Final Plat for 72 single-family attached (townhome) residential units on approximately 5.584 acres.
- b. These units include 47 rear-loaded and 25 front-loaded (motor court) townhomes. All streets and alleys in this Filing are private and will be maintained by the Metro District.

PLN2. FDP COMMENTS:

- a. The FDP conforms to the Midtown at Clear Creek PUD Standards as outlined in the Third Amended PDP (PRC2017-00007) including:
 - i. Permitted land uses and product type (attached single-family)
 - ii. Required landscape, circulation, and road pattern
 - iii. Setbacks and height restrictions
 - iv. Ownership and maintenance of common areas
 - v. Density (approved at 6.6 du/acre), current Midtown density is 7.2 units per acre
- b. Required 2.5 parking spaces per unit.
 - i. Filing 11 includes 3.47 spaces per unit with overall parking ratio in Midtown at 3.95 spaces per unit.

- ii. **Please revise the parking exhibit** as there are several inconsistencies and incorrect labeling for front and rear loaded products. For example, the chart indicates Lots 1-6 as being included in the rear-loaded parking calculation; however these lots are labeled as type A (front-loaded). It is also unclear why a few lots scattered throughout do not have the same parking scenario as lots on either side (i.e. front-loaded without driveway parking spaces).
 - iii. **Please provide** the off-street parking stall dimensions and label which are handicap spaces.
- c. Cover Sheet: Please remove Eva J. Henry and only keep the “Chair” title
- d. Sheet 2: Revise Section H as a monument sign is shown on the site plans at the corner of 68th and Pecos.
- e. Sheet 6:
 - i. Lots 1-6 are labeled as front loaded, but the site plan on Sheet 3 indicates these are rear-loaded products.
 - ii. Per Second Amendment to the PDP: Please demonstrate how the “multi-family and commercial buildings adjacent to Pecos and 68th Ave shall have a minimum 30% masonry on the street side facades”. **Language may need to be added to Sheet 11.**
- f. Sheets 9-10 Landscape:
 - i. Please provide clarification or an explanation as to why the front-loaded townhomes require homeowners to maintain landscape but the rear-loaded products will have the Metro District maintain all landscape on their lots.
 - ii. Please also verify that all “front yard” landscape is maintained by the Metro District.
 - iii. Please explain the asterisk in the installation chart by the CCSMD.
- g. **Sheet 12 Setbacks:**
 - i. There appears to be a conflict with the minimum front setback for a garage (10’) and note 4 which requires a minimum 18’ garage face setback. Please revise the chart and remove the note.
 - ii. The minimum rear yard setbacks for alley loaded homes may need revision as the chart lists the 13’ or 20’ alleys and the tracts in Filing 11 are all 30’ so it is unclear which rear setback would apply.
 - iii. **A new chart may be more helpful** to define the setbacks from each ROW, private drives, etc. and remove setbacks that are not applicable to this product (i.e. accessory structures and 15’ rear yard for principal structure). Or create 2 setback charts, one for each product type.
- h. What is the width of the connections shown from Pecos Street to the private drives?
- i. Are there are dog stations in the pocket park? How many (total) are provided in this filing?
- j. Please provide a photometric exhibit for this filing. Is any lighting proposed for the off-street parking areas?
- k. Open space: there is no open space calculations showing overall, active, and passive areas (and %).
- l. This filing does not appear to include and fencing standards. Please provide standards.

PLN3. FINAL PLAT COMMENTS:

- a. The Final Plat conforms to the following as determined by the Approved Third Amendment to the PDP.
 - i. Single Family Attached Townhome: Minimum Lot Size 900 square feet/ Minimum lot width-15ft
 - ii. Maximum density 16 du/acre. Proposed is 13 du/acre
- b. Please demonstrate the proposed townhomes can conform to the maximum 80% lot coverage as restricted in the 3rd Amendment to the PDP.**
- c. Sheet 1: Change BOCC signatures block from “Chairperson” to “Chair” and remove CEDD and PC signature lines. The final plat is only signed by the BOCC.

PLN4. SUBDIVISION IMPROVEMENTS AGREEMENT

A Subdivision Improvements Agreement is required with a Final Plat submittal pursuant to Section 2-02-17-04 (Major Subdivision, Final Plat) and Section 5-02-05.

- a. A draft SIA was not submitted with the application. An executed SIA and collateral shall be submitted to Community and Economic Development prior to scheduling any public hearings.**
- b. Public Land Dedication Fees are required in the amount of \$ \$94,679.15 (see attached spreadsheet). These fees are required prior to scheduling public hearings.**

Commenting Division: Development Services, Engineering:

Name of Reviewer: Eden Steele

Email: esteele@adcogov.org

ENG1: Flood Insurance Rate Map – FIRM Panel # (08001C0584H), Federal Emergency Management Agency, January 20, 2016. According to the above reference, the project site is NOT located within a delineated 100-year flood hazard zone. A floodplain use permit will not be required.

ENG2: Property is in the Adams County MS4 Stormwater Permit area. No Stormwater Quality (SWQ) Permit will be required for land development of Midtown Filing 11 since the development was grandfathered in prior to the expansion of the MS4 area in August 2017. A SWQ permit will still be required at the time of vertical construction. Applicant is responsible for installation and maintenance of Erosion and Sediment Control BMP's. Builder/developer is responsible for adhering to all the regulations of Adams County Ordinance 11 in regards to illicit discharge.

ENG3: Prior to scheduling the final plat/FDP BOCC hearing, the developer is required to submit for review and receive approval of all construction documents (construction plans and reports). Construction documents shall include, at a minimum, onsite and public improvements construction plans, drainage report, traffic impact study. All construction documents must meet

the requirements of the Adams County Development Standards and Regulations. The developer shall submit to the Adams County Development Review Engineering division the following: Engineering Review Application, Engineering Review Fee, two (2) copies of all construction documents. The development review fee for an Engineering Review is dependent on the type of project and/or the size of the project. The Development Review fee can be found in the Development Services Fee Schedule, located on the following web page: <http://www.adcogov.org/one-stop-customer-center>.

ENG4: Prior to the issuance of any construction or building permits, the developer shall enter into a Subdivision Improvements Agreement (SIA) with the County and provide a security bond for all public improvements.

ENG5: No building permits will be issued until all public improvements have been constructed, inspected and preliminarily accepted by the County's Transportation Dept.

ENG6: The developer is responsible for the repair or replacement of any broken or damaged section of curb gutter and sidewalk.

Commenting Division: Development Services, Right-of-Way

Name of Reviewer: Marissa Hillje

Email: mhillje@adcogov.org

ROW1: Please see attached highlighted items on the title commitment submitted. The County requires that all easements be shown on the plat. The highlighted items should be reviewed and shown if applicable. In addition, please send the County the recorded documents of any item shown on the plat.

ROW2: Add case no PRC2018-00018 to top right of each sheet.

ROW3: Change signature lines to Chair

ROW4: Public streets are not being dedicated to the County. Revise dedication statement.

ROW5: Separate note 6 into 2 different notes if utility easements are being dedicated along the lot lines. If not remove note about the 6ft utility easement.

ROW6: All easements being dedicated by this plat should be shown accurately. The County will not accept easements for wet utilities (ex sewer and water). Those will have to be dedicated by separate instrument.

ROW7: If the private drives are being named the developer and County ROW specialist should work together to work on naming the drives. The County would like the developer to propose names for the private drives based on the Denver Metro Grid. The ROW specialist will review

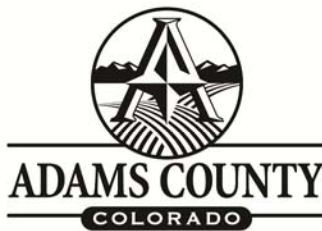
the proposals and make changes if needed. The lots will be addressed off of the names of the private drives.

ROW8: Please label private drive for the applicable tracts

ROW9: The legend indicates that there is a 5ft S.D.M.E .- this is not shown on the plat. Please revise.

ROW10: Revise signature blocks- see redlines

ROW11: See all other redlines on plat attached.



Development Review Team Comments

Date: 1/16/19

Project Number: PRC2018-00018

Project Name: Midtown Filing 11

For submission of revisions to applications, a cover letter addressing each staff review comments must be provided. The cover letter must include the following information: restate each comment that require a response and provide a response below the comment; respond to each comment with a description of the revisions and the page of the response on the site plan. And identify any additional changes made to the original document other than those required by staff.

A re-submittal is required. Please submit 1 hard copy and 1 electronic copy to the Community and Economic Development Department front desk with the re-submittal form.

An additional 20% review fee will be required after the third review and upon submittal of the fourth review.

Commenting Division: Development Services, Planning

Name of Reviewer: Emily Collins

Email: ecollins@adcogov.org

PLN1. REQUEST:

- a. Final Development Plan and Final Plat for 72 single-family attached (townhome) residential units on approximately 5.584 acres. These units include 47 rear-loaded and 25 front-loaded (motor court) townhomes.
- b. A second submittal was received on December 21, 2018.**

PLN2. FDP COMMENTS:

a. Sheet 12 Setbacks:

- i. The chart and sheet 11 illustrations reflect a 4.5 ft rear setback; however, the re-submittal response indicates a 5.5 ft rear setback. Please revise.
- ii. The chart still includes an accessory structure height, but no other setbacks. If the intent is to allow homeowners to have accessory structures, please include side and rear setbacks. If the intent is to not allow it, remove the height standard.
- iii. Please update sheet 11 to show the 15 ft rear setback on front-loaded product illustration.
- b. Sheets 17-18 can be removed from the FDP document. These details were requested as part of the review only.

- c. Please include the fence location and design exhibit in the FDP. Or show location of fencing in sheets 4-6.
- d. **Please update the open space chart to include:**
 - i. Overall open space (provide the elements included in this calculation, such as streets, sidewalks, etc)
 - ii. Active (included in second submittal)
 - iii. Passive areas
 - iv. Chart should include amount required (square footage) and amount provided.

PLN3. FINAL PLAT COMMENTS:

- a. Sheet 1: Add County Attorney “Approved as to Form” signature line under BOCC signature block.

PLN4. SUBDIVISION IMPROVEMENTS AGREEMENT

A Subdivision Improvements Agreement is required with a Final Plat submittal pursuant to Section 2-02-17-04 (Major Subdivision, Final Plat) and Section 5-02-05.

- a. **A draft SIA and pre-plat SIA was submitted with the application. Staff is coordinating comments on each document.**
- b. Public Land Dedication Fees are required in the amount of \$ \$94,679.15 (see attached spreadsheet). Staff is reviewing all PLD fees associated with past filings to determine applicable fees for proposed and future filings. Fees may still be required for Filing 11.

Commenting Division: Development Services, Engineering:

Name of Reviewer: Matt Emmens

Email: memmens@adcogov.org

ENG1: To be provided separately.

Commenting Division: Development Services, Right-of-Way

Name of Reviewer: Eden Steele

Email: esteele@adcogov.org

ROW1: Easements listed on title commitment under Rec No. 2014000066879, No. 2014000086323, and No. 2014000086324 do not appear on the plat. If these easements are not within close enough proximity to the subdivision to appear on the plat, they need to be removed from the title commitment. A note on Sheet 2 regarding their whereabouts will also suffice.

ROW2: Please submit the document recorded under Rec No. 2017011678.

ROW3: Address or correct all other issues denoted on the attached plat with ROW redlines.

ADDRESSING:

ROW1: See recommended addresses on the attached plat with ROW redlines, and double check to ensure addresses make sense for the development. Addresses were based on the direction in

which the units' front doors were oriented (wherever possible). Lots 32-36 could have an Osage Ct or Navajo Way address, but Navajo Way may be more visible from the street. Let me know what you think.

Commenting Division: Development Services, Building Safety

Name of Reviewer: Justin Blair

Email: jblair@adcogov.org

BDS1: Minimum rear setback to garage (building plane) must be a minimum of 5 ft. Revise Sheets 11 (illustration) and 12 (chart).

Emily Collins

From: Loeffler - CDOT, Steven [steven.loeffler@state.co.us]
Sent: Thursday, September 20, 2018 11:25 AM
To: Emily Collins
Subject: Re: PRC2018-00018 Midtown Filing 11 Request for Comments
Attachments: image002.jpg

Emily,

I have reviewed the referral named above for a FDP to allow 72 single-family residential homes near W. 68th Ave. and Pecos Street and have no objections.

Thank you for the opportunity to review this referral.

Steve Loeffler
Permits Unit



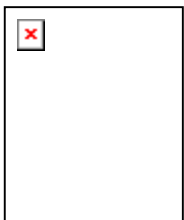
P 303.757.9891 | F 303.757.9886
2829 W. Howard Pl. 2nd Floor, Denver, CO 80204
steven.loeffler@state.co.us | www.codot.gov | www.cotrip.org

On Thu, Sep 20, 2018 at 9:33 AM Emily Collins <ECollins@adcogov.org> wrote:

Good Morning!

Please see the attached Request for Comments on the above case. Comments are due by **Thursday, October 11th**.

Thank you for your review!



Emily Collins, AICP

Planner III, *Community and Economic Development*

ADAMS COUNTY, COLORADO

4430 South Adams County Parkway, W2000A

Brighton, CO 80601

O: 720-523-6820 | ecollins@adcogov.org

www.adcogov.org



COLORADO
Division of Water Resources
Department of Natural Resources

John W. Hickenlooper
Governor

Robert Randall
Executive Director

Kevin G. Rein, P.E.
Director/State Engineer

September 24, 2018

Emily Collins
Adams County Planning and Development
Transmission via email:
ECollins@adcogov.org

RE: Midtown at Clear Creek Filing No. 11
Case No. PRC2018-00018
NW ¼ of the SE ¼ Sec. 4, T3S, R68W, 6th P.M.
Water Division 1, Water District 7

Dear Ms. Collins,

We have reviewed the above referenced proposal to subdivide a portion of the Midtown at Clear Creek Planned Unit Development, to be known as Midtown at Clear Creek Filing 11. Filing 11 will consist of 72 residential lots on approximately 5.584 acres.

Water Supply Demand

A Water Supply Information Summary Sheet was not submitted therefore, the water supply demand for this subdivision is unknown. Prior to further review a water supply plan must be submitted. Details of necessary information to be included in the subdivision water supply plan can be found on Attachment A of the Updated Memorandum Regarding Subdivisions, available online at

<http://water.state.co.us/groundwater/GWAdmin/Pages/SubdivisionWSP.aspx>.

Source of Water Supply

The proposed water source is the North Pecos Water and Sanitation District ("District"). A letter from the District, dated March 30, 2011, indicates that the District will consider providing water and sanitary sewer service to the proposed area for the Midtown at Clear Creek Project. Such letter does not appear to commit to providing service to the development. The District is contracted with the Denver Water Department ("Denver Water") and obtains treated water on demand pursuant to Denver Water Distributor Contract No. 210. We consider Denver Water to be a reliable water supplier.

It appears that numerous monitoring wells have been drilled in the area; several non-exempt recovery wells have also been constructed. The applicant should be aware that all wells abandoned during the development process must be plugged and abandoned in accordance with Rule 16 of the Water Well Construction Rules and Well Abandonment Reports must be completed and submitted to our office for each abandoned well.

The applicant should be aware that section 37-92-602(3)(b)(III), C.R.S. requires that the cumulative effect of all wells in a subdivision be considered when evaluating material injury to decreed water rights. Therefore, any existing exempt wells within Filing 11 must be re-permitted pursuant to a decreed augmentation plan, or must be plugged and abandoned since the provisions of Section 37-92-602, C.R.S., which allowed for issuance of the well permit, will no longer apply.



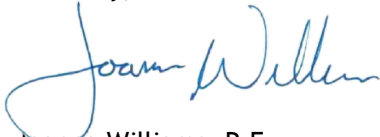
Furthermore, the applicant should be aware that any proposed detention pond for this filing, must meet the requirements of a "storm water detention and infiltration facility" as defined in section 37-92-602(8), Colorado Revised Statutes, to be exempt from administration by this office. The applicant should review DWR's *Administrative Statement Regarding the Management of Storm Water Detention Facilities and Post-Wildland Fire Facilities in Colorado*, attached, to ensure that the notification, construction and operation of the proposed structure meets statutory and administrative requirements. The applicant is encouraged to use *Colorado Stormwater Detention and Infiltration Facility Notification Portal*, located at <https://maperture.digitaldataservices.com/gvh/?viewer=cswdif>, to meet the notification requirements.

State Engineer's Office Opinion

Since insufficient information was provided, we cannot comment on the potential for injury to existing water rights or the adequacy of the proposed water supply under the provisions of Section 30-28-136(1)(h)(II), C.R.S. Prior to further evaluation, a subdivision water supply plan must be submitted, a letter of commitment for service must be provided by the District and the Applicant must clarify if there are existing exempt wells located on the property. If there are existing exempt wells located on the property the Applicant must clarify if the wells will be plugged and abandoned or if they will be included in a court approved augmentation plan.

Should you or the applicant have any questions, please contact Ioana Comaniciu at (303) 866-3581 x8246.

Sincerely,

A handwritten signature in blue ink, appearing to read "Joanna Williams".

Joanna Williams, P.E.
Water Resource Engineer

Ec: 25055



COLORADO
Division of Water Resources
Department of Natural Resources

John W. Hickenlooper
Governor

Robert Randall
Executive Director

Kevin G. Rein, P.E.
Director/State Engineer

January 3, 2019

Emily Collins
Adams County Planning and Development
Transmission via email:
ECollins@adcogov.org

RE: Midtown at Clear Creek Filing No. 11
Case No. PRC2018-00018
NW ¼ of the SE ¼ Sec. 4, T3S, R68W, 6th P.M.
Water Division 1, Water District 7

Dear Ms. Collins,

We have reviewed the additional information provided on December 19, 2018 via email by Mike Pietschmann of Redland on the above referenced proposal to subdivide a portion of the Midtown at Clear Creek Planned Unit Development, to be known as Midtown at Clear Creek Filing 11. Filing 11 will consist of 72 residential lots on approximately 5.584 acres. This office previously provided comments on this proposal by our letter dated September 24, 2018.

Water Supply Demand

The Water Supply Information Summary Sheet ("Summary Sheet") submitted with the additional information indicates that the water supply demands for this subdivision are 35,355 gallons/day or 39.6 acre-feet/year for household use and 3,700 gallons/day or 4.14 acre-feet/year for irrigation use of 2.1 acres, totaling 39,055 gallons/day or 43.74 acre-feet/year. We note that the amount of water use estimated for household appears to be high compare to the State Engineer's water use estimate of 280 gallons/day/house (0.33 acre-feet/year/house). However, so long as the water provider agrees to provide the water needed to serve the project, this office does not seek any further clarification on the proposed water demand.

Source of Water Supply

The proposed water source is the North Pecos Water and Sanitation District ("District"). A letter from the District, dated March 30, 2011, indicates that the District will consider providing water and sanitary sewer service to the proposed area for the Midtown at Clear Creek Project. In our previous comment letter we indicated that such letter does not appear to commit to providing service to the development. Therefore the Applicant must provide a commitment letter to the County prior to the final approval of this subdivision. The District is contracted with the Denver Water Department ("Denver Water") and obtains treated water on demand pursuant to Denver Water Distributor Contract No. 210. We consider Denver Water to be a reliable water supplier.

In our previous letter we mentioned the existence of numerous monitoring wells, non-exempt recovery wells and possible exempt wells. The Applicant clarified that there are no permitted monitoring wells located on the property and if any wells within the boundaries of Filing 11 are discovered during construction, they will be plugged and abandoned in accordance with Rule 16 of the Water Well Construction Rules. Well Abandonment Reports will be completed and submitted to the Division of Water Resources. According to previous information submitted to this office all the non-exempt wells associated with the remediation program are



operated as part of the groundwater barrier system and are covered by the augmentation plan decreed in by the Division 1, Water Court in Case No. 94CW004.

The applicant also clarified that there are no exempt wells located within the boundaries of Filing 11. All existing exempt wells are located outside the boundary of Filing 11 on the overall Midtown property.


In our previous letter we also indicated that the applicant should be aware that any proposed detention pond for this filing, must meet the requirements of a "storm water detention and infiltration facility" as defined in section 37-92-602(8), Colorado Revised Statutes, to be exempt from administration by this office. The applicant clarified that there are no new detention facilities proposed with Filing 11. Filing 11 is tributary to an existing regional pond that has been designed to account for the developed runoff generated by Filing 11 at full build-out. The existing pond was previously approved by County as part of Midtown at Clear Creek Filing 1.

State Engineer's Office Opinion

Based upon the above and pursuant to Section 30-28-136(1)(h)(I) and Section 30-28-136(1)(h)(II), C.R.S., it is our opinion that the proposed water supply is adequate and can be provided without causing injury to decreed water rights as long as the District is committed to provide water to all 72 lots within this subdivision.

Should you or the applicant have any questions, please contact Ioana Comaniciu at (303) 866-3581 x8246.

Sincerely,



Joanna Williams, P.E.
Water Resource Engineer

Ec: 25055

COLORADO GEOLOGICAL SURVEY

1801 19th Street
Golden, Colorado 80401



Karen Berry
State Geologist

October 11, 2018

Emily Collins, AICP
Adams County
Community & Economic Development
4430 S. Adams County Parkway, Suite W2000A
Brighton, CO 80601

Location:
NW SE Section 4,
T3S, R68W of the 6th P.M.
39.8197, -105.0056

Subject: Midtown Filing 11 – FDP, Final Plat
Case Number PRC2018-00018; Adams County, CO; CGS Unique No. AD-19-0010

Dear Ms. Collins:

Colorado Geological Survey has reviewed the Midtown Filing 11 Final Development Plan (FDP) and Major Subdivision (Final Plat) referral. I understand the applicant proposes 72 single family attached homes on 5.6 acres located immediately southeast of the intersection of W. 68th Ave. and Pecos St., within the Midtown at Clear Creek PUD. With this referral, I received a request for CGS's review (September 20, 2018), a Written Explanation (undated), a set of 16 Midtown Filing 11 Final Development Plans (Brookfield Residential/Redland/Norris Design, September 14, 2018), and a set of five Midtown at Clear Creek – Filing No. 11 final plat sheets (AzTec Consultants, October 9, 2018).

CGS previously reviewed the overall Midtown at Clear Creek project at preliminary plat and PUD-P (November 9, 2007), Midtown at Clear Creek 2nd and 3rd Amendments to Approved PDP (April 4, 2014 and November 3, 2017), Filings 3 through 10 (various dates 2014-2017), and a proposed school parcel southeast of 68th and Zuni (April 25, 2017). As part of our original Midtown at Clear Creek referral response, we reviewed a Subsurface Exploration Program and Preliminary Geotechnical Evaluation (Ground Engineering, October 26, 2006). CGS also received a Preliminary Geotechnical Study, Midtown at Clear Creek, Phases 2 and 3 (Cesare, Inc., July 2, 2012) as part of the Midtown Filing 6 applicant's response to comments. No additional geologic, geotechnical or environmental information has been submitted to CGS.

The site is located outside of the mapped FEMA Clear Creek flood hazard zone, is not undermined, and is not exposed to or located within any identified geologic hazard areas that would preclude the proposed residential use and density. **CGS therefore has no objection to approval of the Midtown at Clear Creek Filing 11 FDP and plat.**

Soil and bedrock engineering properties. The previously reviewed geotechnical reports for Midtown by Ground Engineering and Cesare, Inc. contain appropriate *preliminary* recommendations for mitigating potential damage caused by the site's expansive and collapsible soils and expansive claystone bedrock. Updated geotechnical investigation and analysis, based on current development plans, are recommended to more accurately characterize soil and bedrock engineering properties and to determine the depth and extent of any required overexcavation, if this has not been completed already.

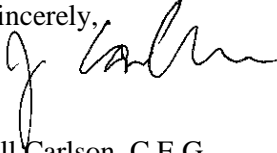
Corrosive soils. Adams County Soil Survey data indicate that local soils present a moderate risk of corrosion to uncoated steel. On lots where basements are planned and groundwater levels are sufficiently deep to

Emily Collins
October 11, 2018
Page 2 of 2

allow below-grade construction, epoxy-coated, vinyl/composite/fiberglass, concrete, or otherwise corrosion-resistant basement window wells are recommended, rather than uncoated or galvanized steel.

Thank you for the continued opportunity to review and comment on this project. If you have questions or require additional review, please call me at (303) 384-2643, or e-mail carlson@mines.edu.

Sincerely,

A handwritten signature in black ink, appearing to read 'Jill Carlson', written over the word 'Sincerely,'.

Jill Carlson, C.E.G.
Engineering Geologist



October 1, 2018

Emily Collins
Adams County Planning and Development Department
4430 South Adams County Parkway
1st Floor, Suite W2000A
Brighton, CO 80601

RE: Midtown Filing 11, PRC2018-00018
TCHD Case No. 5199 & 5200

Dear Ms. Collins,

Thank you for the opportunity to review and comment on the Final Development Plan, Major Subdivision Final Plat, and Subdivision Improvement Agreement for Filing 11 to allow 72 single-family lots on 5.584 acres located southwest of W 68th Avenue and Pecos Street. Tri-County Health Department (TCHD) staff reviewed earlier applications for this development and at this time has no new comments.

Please feel free to contact me at 720-200-1585 or aheinrich@tchd.org if you have any questions.

Sincerely,

A handwritten signature in black ink, appearing to read "Annemarie Heinrich", written in a cursive style.

Annemarie Heinrich, MPH/MURP
Land Use and Built Environment Specialist

cc: Sheila Lynch, Monte Deatrich, TCHD



Right of Way & Permits

1123 West 3rd Avenue
Denver, Colorado 80223
Telephone: **303.571.3306**
Facsimile: 303. 571. 3284
donna.l.george@xcelenergy.com

October 9, 2018

Adams County Community and Economic Development Department
4430 South Adams County Parkway, 3rd Floor, Suite W3000
Brighton, CO 80601

Attn: Emily Collins

Re: Midtown at Clear Creek Filing No. 11, Case # PRC2018-00018

Public Service Company of Colorado's (PSCo) Right of Way & Permits Referral Desk has reviewed the documentation for **Midtown at Clear Creek F11** and requests that per plat Note 6 that the 6-foot wide dry utility easements are shown across the front and rear of all lots.

Please note that consideration must be made for space for electric transformers, pedestals and cabling; and, space for service truck access to natural gas distribution facilities.

Please be aware PSCo owns and operates existing electric distribution facilities in some perimeter areas of the subject property. The property owner/developer/contractor must complete the **application process** for any new natural gas or electric service, or modification to existing facilities via FastApp-Fax-Email-USPS (go to: <https://www.xcelenergy.com/start, stop, transfer/new construction service activation for builders>). It is then the responsibility of the developer to contact the Designer assigned to the project for approval of design details. Additional easements may need to be acquired by separate document for new facilities.

As a safety precaution, PSCo would like to remind the developer to call the **Utility Notification Center** at 1-800-922-1987 to have all utilities located prior to any construction. Should there be any questions with this referral response, please contact me at 303-571-3306 or donna.l.george@xcelenergy.com.

Donna George
Right of Way and Permits
Public Service Company of Colorado

Emily Collins

From: Ann Kuge [annkuge@mac.com]
Sent: Thursday, October 11, 2018 4:57 PM
To: Emily Collins
Subject: Re: Midtown Filing 11, PRC2018-00018 Comments (updated draft, please disregard first message)

I feel privileged to be a resident of Midtown at Clear Creek. I chose to live here for many reasons: a modern home and community, proximity to Denver and Boulder, inviting open/outdoor spaces, and the limitless potential that comes with being a part of a new, growing and thriving neighborhood. While I am grateful for the 181.8 acre Master Planned Community and the many amenities afforded to residents, I am concerned that with the addition of 72 single-family attached residential homes in Filing Eleven, Midtown will become an enclave enjoyed only by those fortunate enough to call it “home.” I feel this is a great disservice to the existing community of Twin Lakes, and more importantly, the children and families who continue to experience an absence of opportunities.

The USDA defines a “food desert” in urban areas as a “low-access community of at least 500 people, residing more than one mile from a supermarket or large grocery store” (USDA Defines Food Deserts, 2010). Based on this definition and the following list of the nearest grocery stores, Midtown at Clear Creek and the surrounding neighborhood qualify as a “food desert”:

Walmart Neighborhood Market (7170 Federal Blvd): 1.5 miles

Safeway (7353 Federal Blvd): 1.7 miles

King Soopers (1575 W 84th): 2.3 miles

Save-A-Lot (4860 Pecos St): 2.6 miles

Local Foods Market (5005 W 72nd Ave): 3.0 miles

Natural Grocers (3757 N Brighton Blvd): 4.4 miles

Sprouts Farmers Market (4700 W 38th Ave): 5.2 miles

Whole Foods Market (1701 Wewatta St): 5.4 miles

Trader Joe’s (661 Logan St): 8.8 miles

**I have italicized the grocery stores that offer a larger selection of organic produce, which are all more than twice the distance of the closest supermarket.*

To rectify this dire situation, I propose a Trader Joe’s to be built in the area directly across Pecos Street from The Shed, bordered by W 67th Avenue and Osage Street. The current illustrative site plan shows 6 rear-loaded and 3 front-loaded townhomes in the area suggested. The average Trader Joe’s occupies between 10,000-15,000 square feet with an average parking space of 325 sq. ft. In total, approximately 25,000 square feet of space (comprised of Trader Joe’s and 30 parking spaces) or .57 acres (1/10th of Filing No. 11) would be needed to accommodate the grocery store.

A recent study conducted by the U.S. Census Bureau, Harvard University, and Brown University found that the half mile radius of a child’s neighborhood determines future earnings, incarceration rates, and college attendance rates. Low-income children who moved to neighborhoods with more interconnected social systems increased their lifetime earnings by an average of \$200,000 (Chetty, Raj, & Hendren, 2018). I mention this to provide a comparison point for those concerned with the bottom line. If each Brookfield Residential townhome in the proposed Filing 11 sells for \$400,000 (approximation retrieved from the advertisement on the west side of Pecos Street), the 9 townhomes will provide \$3.6 million in sales. This figure is eclipsed when considering the future impact on the 1,500 children under the age of 18 (based on 2010 Census Data, though I am certain the number has grown) who live in our community, which would translate to \$300 million in future earnings.

If we continue to build residential homes without consideration for the impact on the community-at-large, we are in essence placing invisible security bars along our community’s perimeter to keep others out. A new grocery store would help to bridge our new community with the existing one in a manner that would benefit everyone for many years to come.

On Oct 11, 2018, at 3:44 PM, Ann Kuge <annkuge@mac.com> wrote:

I feel privileged to be a resident of Midtown at Clear Creek. I chose to live here for many reasons: a modern home and community, proximity to Denver and Boulder, inviting open/outdoor spaces, and the limitless potential that comes with being a part of a new, growing and thriving neighborhood. While I am grateful for the 181.8 acre Master Planned Community and the many amenities afforded to residents, I am concerned that with the addition of 72 single-family attached residential homes in Filing Eleven, Midtown will become an enclave enjoyed only by those fortunate enough to call it “home.” I feel this is a great disservice to the existing community of Twin Lakes, and more importantly, the children and families who continue to experience an absence of opportunities.

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A recent study conducted by the U.S. Census Bureau, Harvard University, and Brown University found that the half mile radius of a child’s neighborhood determines future earnings, incarceration rates, and college attendance rates. Low-income children who moved to neighborhoods with more interconnected social systems increased their lifetime earnings by an average of \$200,000 (Chetty, Raj, & Hendren, 2018). I mention this to provide a comparison point for those concerned with the bottom line. If each Brookfield Residential townhome in the proposed Filing 11 sells for \$400,000 (approximation retrieved from the advertisement on the west side of Pecos Street), the 9 townhomes will provide \$3.6 million in sales. This figure is eclipsed when considering the future impact on the 1,500 children under the age of 18 (based on 2010 Census Data, though I am certain the number has grown) who live in our community, which would translate to \$300 million in future earnings.

If we continue to build residential homes without consideration for the impact on the community-at-large, we are in essence placing invisible security bars along our community’s perimeter to keep others out. A new grocery store would help to bridge our new community with the existing one in a manner that would benefit everyone for many years to come.

Emily Collins

From: Krista Wilper [krista.wilper@gmail.com]
Sent: Saturday, October 06, 2018 7:48 AM
To: Emily Collins
Subject: Brookfield Residential Comments [Case #: PRC2018-00018]

Hi Emily,

I received a request for comments on the Brookfield Residential Development, Case #: PRC2018-00018. We are the owners of the property at 1501 W 69th Ave. I am in full support of the development.

Thank you.

Krista Wilper (Swartzendruber)
Synergy Invested LLC
C: 720.289.5707
krista.wilper@gmail.com



Request for Comments

Case Name:	Midtown Filing 11
Case Number:	PRC2018-00018

September 20, 2018

Adams County Planning Commission and Board of County Commissioners are requesting comments on the following:

1) Final Development Plan (FDP) to allow 72 single-family attached residential homes on approximately 5.584 acres in the Planned Unit Development (PUD) zone district; 2) Major Subdivision (Final Plat) to create 72 lots; and 3) Subdivision Improvement Agreement (SIA) for Filing No. 11.

This request is located at **Generally W. 68th Ave. and Pecos St.**

The Assessor's Parcel Numbers is **0182504400023**

Applicant Information **BROOKFIELD RESIDENTIAL (SHANNON ROBBINS)**

**6465 S. GREENWOOD PLAZA BLVD, SUITE 700
CENTENNIAL, CO 80111**

Please forward any written comments on this application to the Department of Community and Economic Development at 4430 South Adams County Parkway, Suite W2000A Brighton, CO 80601-8216. (720) 523-6820 by **October 11, 2018** in order that your comments may be taken into consideration in the review of this case. If you would like your comments included verbatim please send your response by way of e-mail to ECollins@adcogov.org.

Once comments have been received and the staff report written, the staff report and notice of public hearing dates will be forwarded to you for your information. The full text of the proposed request and additional colored maps can be obtained by contacting this office or by accessing the Adams County web site at www.adcogov.org/planning/currentcases.

Thank you for your review of this case.

Emily Collins

Emily Collins, AICP
Case Manager



Public Hearing Notification

Case Name:	MIDTOWN FILING 11
Case Number:	PRC2018-00018
Board of County Commissioners Hearing Date:	07/09/2019 at 9:30 a.m.

June 28, 2019

A public hearing has been set by the Adams County Board of County Commissioners to consider the following request:

1) Final Development Plan (FDP) to allow 72 single-family attached residential homes on approximately 5.584 acres in the Planned Unit Development (PUD) zone district; 2) Major Subdivision (Final Plat) to create 72 lots; and 3) Subdivision Improvement Agreement (SIA) for Filing No. 11.

This request is located at the southeast corner of West 68th Avenue and Pecos Street. The Assessor's Parcel Number is 0182504400023.

Applicant Information: Brookfield
SHANNON ROBBINS
6465 S GREENWOOD PLAZA BLVD STE 700
CENTENNIAL, CO 80111

The hearing will be held in the Adams County Hearing Room located at 4430 South Adams County Parkway, Brighton CO 80601-8216. This will be a public hearing and any interested parties may attend and be heard. The Applicant and Representative's presence at these hearings is requested. If you require any special accommodations (e.g., wheelchair accessibility, an interpreter for the hearing impaired, etc.) please contact the Adams County Community and Economic Development Department at (720) 523-6800 (or if this is a long distance call, please use the County's toll free telephone number at 1-800-824-7842) prior to the meeting date.

For further information regarding this case, please contact the Department of Community and Economic Development, 4430 S Adams County Parkway, Brighton, CO 80601, 720-523-6800. This is also the location where maps and/or text certified by the Planning Commission may be viewed.

BOARD OF COUNTY COMMISSIONERS

Eva J. Henry
DISTRICT 1

Charles "Chaz" Tedesco
DISTRICT 2

Emma Pinter
DISTRICT 3

Steve O'Dorisio
DISTRICT 4

Mary Hodge
DISTRICT 5

The full text of the proposed request and additional colored maps can be obtained by contacting this office or by accessing the Adams County web site at www.adcogov.org/planning/currentcases.

Thank you for your review of this case.

A handwritten signature in black ink, appearing to read "Greg Barnes". The signature is fluid and cursive, with the first name "Greg" and last name "Barnes" clearly distinguishable.

Greg Barnes

Planner III

PUBLICATION REQUEST

MIDTOWN AT CLEAR CREEK, FILING 11

Case Number: PRC2018-00018
Board of County Commissioners Hearing Date: June 25, 2019 at 9:30 a.m.

Requests: 1) Final Development Plan (FDP) to allow 72 single-family attached residential homes on approximately 5.6 acres in the Planned Unit Development (PUD) zone district; 2) Major Subdivision (Final Plat) to create 72 lots

Location: Southwest corner of West 68th Avenue & Pecos Street
Parcel Number(s): 0182504400023
Case Manager: Greg Barnes
Case Technician: Megan Ulibarri

Applicant: Brookfield
Shannon Robbins
6465 S Greenwood Plaza Blvd, Ste 700
Centennial, CO 80111

Owner: Midtown, LLC
6465 Greenwood Plaza Blvd, Ste 700
Englewood, CO 80111

Legal Description:

A PARCEL OF LAND BEING A PART OF THAT SPECIAL WARRANTY DEED RECORDED AT RECEPTION NO. 2007000079792 OF THE RECORDS OF THE ADAMS COUNTY CLERK AND RECORDER'S OFFICE AND LYING IN THE NORTHWEST QUARTER OF THE SOUTHEAST QUARTER OF SECTION 4, TOWNSHIP 3 SOUTH, RANGE 68 WEST OF THE SIXTH PRINCIPAL MERIDIAN, COUNTY OF ADAMS, STATE OF COLORADO, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT THE CENTER QUARTER CORNER OF SAID SECTION 4, MONUMENTED BY A 3-1/4" ALUMINUM CAP STAMPED "PLS 28664", IN A MONUMENT BOX, WHENCE THE CENTER-SOUTH SIXTEENTH CORNER OF SAID SECTION 4, MONUMENTED BY A 3-1/4" ALUMINUM CAP STAMPED "PLS 23519", IN A MONUMENT BOX. BEARS SOUTH 00°00'15" WEST, A DISTANCE OF 1324.85 FEET FORMING THE BASIS OF BEARINGS USED IN THIS DESCRIPTION;

THENCE SOUTH 60°06'28" EAST, A DISTANCE OF 80.74 FEET TO A POINT ON THE SOUTHERLY RIGHT-OF-WAY OF WEST 68TH AVENUE AS DEDICATED ON THE PLAT OF MIDTOWN AT CLEAR CREEK-FILING NO. 7 A SUBDIVISION PLAT RECORDED AT RECEPTION NO. 2016000009355, IN SAID RECORDS AND THE POINT OF BEGINNING;

THENCE ALONG SAID SOUTHERLY RIGHT-OF-WAY OF WEST 68TH AVENUE, SOUTH 89°48'22" EAST, A DISTANCE OF 556.53 FEET TO THE WESTERLY RIGHT-OF-WAY OF NAVAJO STREET AS DEDICATED ON SAID PLAT OF MIDTOWN AT CLEAR CREEK-FILING NO. 7;

THENCE ALONG SAID WESTERLY RIGHT-OF-WAY OF NAVAJO STREET, SOUTH 00°16'34" WEST, A DISTANCE OF 219.54 FEET TO THE NORTHERLY RIGHT-OF-WAY OF WEST 67TH PLACE AS DEDICATED ON THE PLAT OF MIDTOWN AT CLEAR CREEK-FILING NO. 10 RECORDED AT RECEPTION NO. 2018000004010, IN SAID RECORDS;

THENCE ALONG SAID NORTHERLY RIGHT-OF-WAY OF WEST 67TH PLACE AND THE WESTERLY RIGHT-OF-WAY OF OSAGE STREET AS DEDICATED ON SAID PLAT OF MIDTOWN AT CLEAR CREEK-FILING NO. 10 THE FOLLOWING THREE (3) COURSES:

1. NORTH 89°43'26" WEST, A DISTANCE OF 209.50 FEET TO THE BEGINNING OF A TANGENT CURVE CONCAVE SOUTHEASTERLY HAVING A RADIUS OF 148.50 FEET;
2. SOUTHWESTERLY ALONG SAID CURVE THROUGH A CENTRAL ANGLE OF 90°00'00", AN ARC LENGTH OF 233.26 FEET;
3. TANGENT TO SAID CURVE, SOUTH 00°16'34" WEST, A DISTANCE OF 370.30 FEET TO THE NORTHERLY RIGHT-OF-WAY OF WEST 67TH AVENUE AS DEDICATED ON THE PLAT OF MIDTOWN AT CLEAR CREEK-FILING NO. 5 RECORDED AT RECEPTION NO. 2014000091485, IN SAID RECORDS;

THENCE ALONG SAID NORTHERLY RIGHT-OF-WAY OF WEST 67TH AVENUE THE FOLLOWING THREE (3) COURSES:

1. SOUTH 84°33'32" WEST, A DISTANCE OF 22.07 FEET;
2. NORTH 89°43'26" WEST, A DISTANCE OF 175.19 FEET;
3. NORTH 45°07'55" WEST, A DISTANCE OF 25.20 FEET TO THE EASTERLY RIGHT-OF-WAY OF PECOS STREET AS DESCRIBED IN BOOK 3658 AT PAGE 687, IN SAID RECORDS;

THENCE ALONG SAID EASTERLY RIGHT-OF-WAY OF PECOS STREET, NORTH 00°00'15" EAST, A DISTANCE OF 702.03 FEET;

THENCE CONTINUING ALONG SAID EASTERLY RIGHT-OF-WAY, NORTH 45°05'57" EAST, A DISTANCE OF 28.24 FEET TO THE POINT OF BEGINNING.

CONTAINING AN AREA OF 5.584 ACRES, (243,236 SQUARE FEET), MORE OR LESS.

Adams County
Attn: Planning Addressing
PLN

COLORADO GEOLOGICAL SURVEY
Attn: Jill Carlson
1500 Illinois Street
Golden CO 80401

Adams County Construction Inspection
Attn: PWCI .
PWCI

Colorado Geological Survey: CGS_LUR@mines.edu
Attn: Jill Carlson
Mail CHECK to Jill Carlson

Adams County Development Services - Building
Attn: Justin Blair
4430 S Adams County Pkwy
Brighton CO 80601

COMCAST
Attn: JOE LOWE
8490 N UMITILLA ST
FEDERAL HEIGHTS CO 80260

Adams County Fire Protection District
Attn: Chris Wilder
8055 N. WASHINGTON ST.
DENVER CO 80229

COUNTY ATTORNEY- Email
Attn: Christine Fitch
CFitch@adcogov.org

Adams County Treasurer: Send email
Attn: Adams County Treasurer
bgrimm@adcogov.org

Crestview Water & Sanitation
Attn: Patrick Stock
7145 Mariposa St
PO Box 21299
Denver CO 80221-0299

Century Link, Inc
Attn: Brandyn Wiedreich
5325 Zuni St, Rm 728
Denver CO 80221

Engineering Department - ROW
Attn: Transportation Department
PWE - ROW

Code Compliance Supervisor
Attn: Eric Guenther
eguenther@adcogov.org

Engineering Division
Attn: Transportation Department
PWE

COLO DIV OF WATER RESOURCES
Attn: Joanna Williams
OFFICE OF STATE ENGINEER
1313 SHERMAN ST., ROOM 818
DENVER CO 80203

Hyland Hills Park & Recreation District
Attn: Terry Barnhert
8801 Pecos St
Denver CO 80260

COLO DIV OF WATER RESOURCES
Attn: Joanna Williams
OFFICE OF STATE ENGINEER
1313 SHERMAN ST., ROOM 818
DENVER CO 80203

MAPLETON SCHOOL DISTRICT #1
Attn: CHARLOTTE CIANCIO
591 E. 80TH AVE
DENVER CO 80229

COLORADO DEPT OF TRANSPORTATION
Attn: Steve Loeffler
2000 S. Holly St.
Region 1
Denver CO 80222

METRO WASTEWATER RECLAMATION
Attn: CRAIG SIMMONDS
6450 YORK ST.
DENVER CO 80229

North Pecos Water & Sanitation District
Attn: Russell Traska
6900 Pecos St
Denver CO 80221

UNITED STATES POST OFFICE
Attn: MARY C. DOBYNS
56691 E COLFAX AVENUE
STRASBURG CO 80136-8115

NS - Code Compliance
Attn: Kerry Gress
kgress@adcogov.org

WESTMINSTER SCHOOL DISTRICT #50
Attn: Jackie Peterson
7002 Raleigh Street
WESTMINSTER CO 80030

Parks and Open Space Department
Attn: Nathan Mosley
mpedrucci@adcogov.org
aclark@adcogov.org

Xcel Energy
Attn: Donna George
1123 W 3rd Ave
DENVER CO 80223

PERL MACK NEIGHBORHOOD GROUP
Attn: DAN MICEK - PRESIDENT
7294 NAVAJO ST.
DENVER CO 80221

Xcel Energy
Attn: Donna George
1123 W 3rd Ave
DENVER CO 80223

REGIONAL TRANSPORTATION DIST.
Attn: CHRIS QUINN
1560 BROADWAY SUITE 700
DENVER CO 80202

SHERIFF'S OFFICE: SO-HQ
Attn: MICHAEL McINTOSH
nblair@adcogov.org, aoverton@adcogov.org; mkaiser@adcog
snielson@adcogov.org

Sheriff's Office: SO-SUB
Attn: SCOTT MILLER
TFuller@adcogov.org, smiller@adcogov.org
aoverton@adcogov.org; mkaiser@adcogov.org

TRI-COUNTY HEALTH DEPARTMENT
Attn: MONTE DEATRICH
4201 E. 72ND AVENUE SUITE D
COMMERCE CITY CO 80022

TRI-COUNTY HEALTH DEPARTMENT
Attn: Sheila Lynch
6162 S WILLOW DR, SUITE 100
GREENWOOD VILLAGE CO 80111

Tri-County Health: Mail CHECK to Sheila Lynch
Attn: Tri-County Health
landuse@tchd.org

1501 W 69TH LLC 1/2 INT AND
SWARTZENDRUBER KRISTA UND 1/2 INT
PO BOX 7249
GOLDEN CO 80403-0101

CLEAR CREEK STATION METROPOLITAN
C/O MSI LLC
11002 BENTON ST
WESTMINSTER CO 80020-3200

1741 LLC
15163 W 32ND DR
GOLDEN CO 80401-1369

CLEAR CREEK STATION METROPOLITAN DISTRICT NO
1
C/O MSI LLC
11002 BENTON ST
WESTMINSTER CO 80020-3200

ALARCON MARGARITA S
1401 W 69TH AVE
DENVER CO 80221-7017

CORDOVA MARIA S
7027 OTIS ST
ARVADA CO 80003-3601

AN KEDONG
3010 N SPEER BLVD
DENVER CO 80211

COUNTY OF ADAMS THE
4430 SOUTH ADAMS COUNTY PKWY
BRIGHTON CO 80601-8204

BANUELOS MARIA
PO BOX 21144
DENVER CO 80221-0144

FOX ENTERPRISES LTD
PO BOX 1713
EASTLAKE CO 80614-1713

BLANCO TYLER AND
BLANCO JACQUELINE
1407 W 66TH PL
DENVER CO 80221-2598

FREDRICK CHRISTY AND
SHORES CARRIE
1393 E 66TH AVE
DENVER CO 80229-7222

BLUME KYLE
7165 NEWTON ST STE A
WESTMINSTER CO 80030-6009

H BRASHIER MANAGEMENT LLC
PO BOX 81189
LAFAYETTE LA 70598-1189

BOARD OF COUNTY COMMISSIONERS OF
ADAMS COUNTY
4430 SOUTH ADAMS COUNTY PKWY
BRIGHTON CO 80601-8204

HARDIN-KREMHELLER JESSICA AND
KREMHELLER RYAN
1401 W 66TH PL
DENVER CO 80221-2598

BREHMER WANDA ROBINSON
15278 W AUBURN AVE
LAKEWOOD CO 80228-4100

HOUSING AUTHORITY OF THE COUNTY OF ADAMS
7190 COLORADO BLVD
COMMERCE CITY CO 80022

BRICK GARAGE LLC
1550 LARIMER ST UNIT 256
DENVER CO 80202-1643

HSB ENTERPRISES LLC
8452 ZEPHYR ST
ARVADA CO 80005

KEKAKE HALE LLC
ATTN HALEY AND COMPANY
230 S HOLLAND STREET
LAKEWOOD CO 80226

MORMOOSE PROPERTIES LLC
8588 E KETTLE PL
CENTENNIAL CO 80112-2709

L AND H LLC
6899 PECOS ST UNIT C
DENVER CO 80221

OSAGE COUNTY LLC
7648 E SEVERN DR
DENVER CO 80230-6113

LESHEM ELAD AND
LESHEM SHIRLEY
18842 E DORADO PL
AURORA CO 80015-5123

PETTY KRISTIN A
1361 E 66TH AVE
DENVER CO 80229-7222

MACHINAL LOIS JUNE AND
MACHINAL DARLENE
801 W 70TH PLACE
DENVER CO 80221

PFEIFER JODY
1415 W 66TH PL
DENVER CO 80221-2598

MARTIN MARIETTA MATERIALS INC
C/O BADEN TAX MANAGEMENT
FORT WAYNE IN 46898-8040

PLONIS THEODORE J
9079 E PANORAMA CIR
ENGLEWOOD CO 80112-3561

MAYER VANESSA AND
MAYER JORDAN
6769 RARITAN DR
DENVER CO 80221-2613

PRIETO TOLEDO JOSE SAUL AND
PRIETO TOLEDO SILVIA
298 S 14TH AVE
BRIGHTON CO 80601-2306

MC CARTHY SCOTT M AND
MC CARTHY SUZANNE
9539 ROLLING RIDGE DR
TRAVERSE CITY MI 49686-9296

RAMIREZ JOSE
6510 NEWTON ST
ARVADA CO 80003-6449

MIDTOWN LLC
6465 GREENWOOD PLAZA BLVD STE 700
ENGLEWOOD CO 80111-7103

REYNIERS ROELAND
1571 E 66TH AVE
DENVER CO 80229-7223

MIDTOWN RESIDENTIAL LLC
6465 GREENWOOD PLAZA BLVD STE 700
ENGLEWOOD CO 80111-7103

SADOWSKI KATHERINE
6850 NAVAJO ST
DENVER CO 80221-7031

MIDTOWN RESIDENTIAL LLC
6465 GREENWOOD PLAZA BLVD STE 700
CENTENNIAL CO 80111-7103

SALAZAR DANTE G
2204 HUNTINGTON AVE
ALEXANDRIA VA 22303-1528

SONRISA HOLDING LLC
2420 W 26TH AVE APT D-300
DENVER CO 80211-5301

ALARCON MARGARITA S
OR CURRENT RESIDENT
1401 W 69TH AVE
DENVER CO 80221-7017

TIMBER RIDGE APARTMENTS LLC
C/O UNITED MANAGEMENT
712 S PEARL ST
DENVER CO 80209-4213

ALEMAN TITO L AND
ALEMAN NELLIE
OR CURRENT RESIDENT
1289 W 69TH AVE
DENVER CO 80221-7013

VILLALOBOS ELEAZAR AND
ANDRADE MARLENE YOLANDA
7620 ELMWOOD LN
DENVER CO 80221-3263

ALKER ALISSA C
OR CURRENT RESIDENT
6643 PECOS ST
DENVER CO 80221-2195

WEEKLEY HOMES LLC
3600 S YOSEMITE ST STE 350
DENVER CO 80237-1839

ALQUIST DEREK AND
ALQUIST MAGDALEN A
OR CURRENT RESIDENT
6742 MARIPOSA CT
DENVER CO 80221

YOUNG SANDRA JO AND
YOUNG JACK M
PO BOX 621211
LITTLETON CO 80162-1211

ALVIZU DANIEL ANTHONY AND
MORGAN TOINI NATASHA
OR CURRENT RESIDENT
6738 ALAN DR
DENVER CO 80221-2500

ZAGAR BRANDON
1377 E 66TH AVE
DENVER CO 80229-7222

AMISSAH ADOLPHUS G
OR CURRENT RESIDENT
1765 W 66TH AVE
DENVER CO 80221-2192

6661 OSAGE LLC
OR CURRENT RESIDENT
6661 OSAGE ST
DENVER CO 80221-2673

ANDREWS MARY LOU
OR CURRENT RESIDENT
6850 PECOS ST
DENVER CO 80221-7002

ACKERMAN CARLYN AND
ACKERMAN JOSEPH
OR CURRENT RESIDENT
1429 W 67TH AVE
DENVER CO 80221-2699

ARFSTEN MARGARET A
OR CURRENT RESIDENT
1301 W 68TH AVE
DENVER CO 80221-7007

ADAMS TARYNE AND
ADAMS JOSEPH
OR CURRENT RESIDENT
1354 W 68TH AVE
DENVER CO 80221

ARMSTRONG JENNIFER/GINGER AND
ADAMS GREG
OR CURRENT RESIDENT
6601 PECOS ST
DENVER CO 80221

ADRIAN TODD JAMES AND
BERGER MONIKA LEE
OR CURRENT RESIDENT
1646 W 67TH AVE
DENVER CO 80221-2610

BACHMAN JEFFREY A/BACHMAN JOHN Q
BACHMAN KARA H
OR CURRENT RESIDENT
1653 W 66TH AVE
DENVER CO 80221-2175

BALLINA FELIPE A AND
MYHAVER KALLY L
OR CURRENT RESIDENT
1812 W 68TH AVE
DENVER CO 80221-2506

BEVAN SEAN P AND
BOSAK MELISSA D
OR CURRENT RESIDENT
1385 W 66TH AVE
DENVER CO 80222

BARNETT/BISTLINE LLC
OR CURRENT RESIDENT
6851 PECOS ST
DENVER CO 80221-7001

BEVILACQUA ROBERT
OR CURRENT RESIDENT
1795 W 67TH PL
DENVER CO 80221-2617

BARRILLEAUX ANDREW
BARRILLEAUX REBECCA
OR CURRENT RESIDENT
1532 W 66TH AVE
DENVER CO 80221-2155

BIEKER THOMAS J
OR CURRENT RESIDENT
1696 W 66TH AVE
DENVER CO 80221-2175

BARRON MICHELLE AND
BARRON GREGORY
OR CURRENT RESIDENT
6710 MARIPOSA ST
DENVER CO 80221

BLAKE SARAH
OR CURRENT RESIDENT
6739 RARITAN DR
DENVER CO 80221-2613

BARRY STANLEY AND
BARRY LANN
OR CURRENT RESIDENT
6597 PECOS ST
DENVER CO 80221-2417

BLANCHARD BENJAMIN
OR CURRENT RESIDENT
1362 W 67TH AVE
DENVER CO 80221

BASLER STEVEN A AND
FARR PAUL L
OR CURRENT RESIDENT
1330 W 68TH AVE
DENVER CO 80221-2686

BOELEN SALLY U AND
WRONA JEFFREY T
OR CURRENT RESIDENT
6639 PECOS ST
DENVER CO 80221-2195

BEASLEY HUDSON AND
BEASLEY MARISSA
OR CURRENT RESIDENT
1794 W 67TH PL
DENVER CO 80221-2617

BONNER DANIEL J
OR CURRENT RESIDENT
1480 W 69TH AVE
DENVER CO 80221-7018

BENDINELLI NATALIE G
OR CURRENT RESIDENT
6638 ALAN DR
DENVER CO 80221-2193

BONNET KELLY AND
BONNET JULIE
OR CURRENT RESIDENT
1740 W 66TH AVE
DENVER CO 80221-2192

BERGMANN ANDREAS W AND
BOOG SANDRA
OR CURRENT RESIDENT
6714 ALAN DR
DENVER CO 80221

BOWLBY TRAVIS M AND
STEELE BRETT
OR CURRENT RESIDENT
1360 W 68TH AVE
DENVER CO 80221

BEST BRANDON FREDERICK AND
BEST ELIZABETH ANN
OR CURRENT RESIDENT
1765 W 67TH PL
DENVER CO 80221

BOX BOBBI J
OR CURRENT RESIDENT
1362 W 66TH PL
DENVER CO 80221-2593

BRAUN HEATHER C
OR CURRENT RESIDENT
6655 RARITAN DR
DENVER CO 80221-2690

BUSTILLOS LUIS CARLOS AND
BUSTILLOS SANDRA
OR CURRENT RESIDENT
6871 OSAGE ST
DENVER CO 80221-7034

BROWN BRENDA LEE
OR CURRENT RESIDENT
6758 NAVAJO ST
DENVER CO 80221-2689

CARDWELL KAREN E
OR CURRENT RESIDENT
6722 ALAN DR
DENVER CO 80221-2500

BROWN NATHANIEL AND
BROWN LAURA
OR CURRENT RESIDENT
6761 MARIPOSA ST
DENVER CO 80221-2688

CARTWRIGHT BROOKE MICHELLE AND
CARTWRIGHT WESLEY THOMAS
OR CURRENT RESIDENT
1424 W 66TH PL
DENVER CO 80221-2598

BROWN REBECCA
OR CURRENT RESIDENT
1555 W 66TH AVE
DENVER CO 80221

CASTILLO ROSALIO
OR CURRENT RESIDENT
1725 W 66TH AVE
DENVER CO 80221-2192

BRYANT HARRY A JR AND
BROWN ANN MARIAH
OR CURRENT RESIDENT
6871 MARIPOSA ST
DENVER CO 80221-7081

CASTRO MATTHEW V
OR CURRENT RESIDENT
6762 ALAN DR
DENVER CO 80221-2500

BRYANT PETER R
OR CURRENT RESIDENT
6760 MARIPOSA CT
DENVER CO 80221

CASTRO PETER MATTHEW AND
CASTRO KATHERINE CALLAWAY HART
OR CURRENT RESIDENT
6796 NAVAJO ST
DENVER CO 80221-2689

BRYERS KEVIN J
OR CURRENT RESIDENT
6654 ALAN DR
DENVER CO 80221-2193

CHAE CHONG H
OR CURRENT RESIDENT
6797 MARIPOSA ST
DENVER CO 80221

BUHRMEISTER LYNN P AND
BUHRMEISTER MARA A
OR CURRENT RESIDENT
6654 PECOS ST
DENVER CO 80221

CHANG PATRICK AND
JOHNSTON JESSICA
OR CURRENT RESIDENT
6787 MARIPOSA ST
DENVER CO 80221-2688

BULMAN WILLIAM J III AND
BULMAN CATHERINE M
OR CURRENT RESIDENT
6731 RARITAN DR
DENVER CO 80221-2613

CHARLAND KRISTIE L AND
FRY STEPHEN D
OR CURRENT RESIDENT
1408 W 67TH AVE
DENVER CO 80221

BURNETT DERRICK AND
BURNETT NICHOLE
OR CURRENT RESIDENT
1451 W 67TH AVE
DENVER CO 80221-2699

CHILDS MICHAEL E AND
SINIK LENKA
OR CURRENT RESIDENT
6708 ALAN DR
DENVER CO 80221-2500

CICHOSZ CRAIG R AND
CICHOSZ SUSAN R
OR CURRENT RESIDENT
1664 W 67TH AVE
DENVER CO 80221

CROCKETT CLINTON C AND
CROCKETT CAROLYN
OR CURRENT RESIDENT
1449 W 66TH PL
DENVER CO 80221

CLARK STEPHEN BRUCE AND
CAVIGLIA ELLEN
OR CURRENT RESIDENT
1764 W 67TH AVE
DENVER CO 80221-2609

CROUCH KRISTA ANN AND
CROUCH CODY B
OR CURRENT RESIDENT
1466 W 67TH PL
DENVER CO 80221-2757

CONSONNI MICHAEL II AND
CASTRO TERESITA
OR CURRENT RESIDENT
1531 W 66TH AVE
DENVER CO 80221

CYTRYN ZACHARY E AND
FELSTEIN SUZANNE
OR CURRENT RESIDENT
6599 PECOS ST
DENVER CO 80221-2417

COOVER TIFFANY R
OR CURRENT RESIDENT
6651 OSAGE ST
DENVER CO 80221-2673

DAMATO TIMOTHY A II AND
KING ALLISON K
OR CURRENT RESIDENT
6735 MARIPOSA CT
DENVER CO 80221-2687

CORDOVA ANTHONY A AND
CORDOVA PATSY K
OR CURRENT RESIDENT
1020 W 68TH CT
DENVER CO 80221-7054

DANIELS MARC A AND
SULLIVAN CAITLIN M
OR CURRENT RESIDENT
1783 W 67TH PL
DENVER CO 80221-2617

COSTAR SCOT AND
COSTAR COLEEN
OR CURRENT RESIDENT
6758 OSAGE ST
DENVER CO 80221-2758

DARHUMB KINYA AND
DARHUMB ALISON
OR CURRENT RESIDENT
1682 W 66TH AVE
DENVER CO 80229-7432

COVINGTON BENNIE S III AND
COVINGTON KRYSTAL N
OR CURRENT RESIDENT
6618 OSAGE ST
DENVER CO 80221-2673

DAUW JACQUELINE P
OR CURRENT RESIDENT
1416 W 67TH AVE
DENVER CO 80221

COX BRANDON
BEHRAD ANAHITA
OR CURRENT RESIDENT
6702 NAVAJO ST
DENVER CO 80221-2689

DAVIDSON DEE ELLEN (LIFE ESTATE)
OR CURRENT RESIDENT
6800 NAVAJO ST
DENVER CO 80221-7031

CREAMEAN JESSIE MARIE AND
PROLA NICHOLAS JAMES
OR CURRENT RESIDENT
6781 MARIPOSA ST
DENVER CO 80221

DAWISKIBA SEBASTIAN AND
SIROHI MICHAEL
OR CURRENT RESIDENT
1706 W 66TH AVE
DENVER CO 80229-7434

CREAMER KELLEY AND
WALKER RICHARD
OR CURRENT RESIDENT
6648 RARITAN DR
DENVER CO 80221-2690

DE LA TORRE JACOBO C AND
DE LA TORRE BRENNICA LYNN
OR CURRENT RESIDENT
1690 W 67TH AVE
DENVER CO 80221-2610

DEBNATH SANTANU AND
DEBNATH MANDA
OR CURRENT RESIDENT
1308 W 67TH AVE
DENVER CO 80221-2682

ESTRADA ALFREDO
OR CURRENT RESIDENT
6713 MARIPOSA CT
DENVER CO 80221-2687

DECHANT GARY M AND
DECHANT JOYCE L
OR CURRENT RESIDENT
6860 OSAGE ST
DENVER CO 80221-7035

EVANS AUSTIN LEE
OR CURRENT RESIDENT
6631 RARITAN DR
DENVER CO 80221-2690

DENT KELLY AND
DENT ROBERT
OR CURRENT RESIDENT
6745 MARIPOSA CT
DENVER CO 80221-2687

FABI LISA A
OR CURRENT RESIDENT
1755 W 67TH AVE
DENVER CO 80221-2609

DIORENZO STEVEN AND
DIORENZO MARIA
OR CURRENT RESIDENT
6776 NAVAJO ST
DENVER CO 80221-2689

FANG MIN
OR CURRENT RESIDENT
1554 W 67TH AVE
DENVER CO 80221-2670

DITIRRO PHILLIP A
OR CURRENT RESIDENT
6785 MARIPOSA ST
DENVER CO 80221

FARMER KATE AND
RJOAS ALBERTO
OR CURRENT RESIDENT
6720 MARIPOSA CT
DENVER CO 80221-2687

DOUGLASS LOLA LASHAY/DOUGLASS RICHARD LANE
DOUGLASS ALEXANDRA
OR CURRENT RESIDENT
6655 PECOS ST
DENVER CO 80221-2195

FEAR BRIDGETT L
OR CURRENT RESIDENT
6855 SANTA FE DR
DENVER CO 80221-7059

EGAN MICHAEL KENNEDY AND
MEYER SARAH M
OR CURRENT RESIDENT
1775 W 66TH AVE
DENVER CO 80221-2192

FIORENTINO JACOB AND
FIORENTINO RACHEL
OR CURRENT RESIDENT
6720 NAVAJO ST
DENVER CO 80221-2689

ELLIS JEANNE
ELLIS BENNY J
OR CURRENT RESIDENT
6752 NAVAJO ST
DENVER CO 80221-2689

FISHER AMY AND
FISHER DAMON
OR CURRENT RESIDENT
1401 W 66TH PL
DENVER CO 80221-2598

ENGLUND-ROHLF JESSE AND
ROHLF MARK
OR CURRENT RESIDENT
6840 MARIPOSA ST
DENVER CO 80221-7027

FITZJARRALD AMANDA K AND
FITZJARRALD ANITA K
OR CURRENT RESIDENT
1726 W 66TH AVE
DENVER CO 80221

ESPELIEN JOHN R AND
BEJECEK ELIZABETH A
OR CURRENT RESIDENT
6707 MARIPOSA CT
DENVER CO 80221-2687

FLEAGLE CATHERINE C AND
KEIFER ERIC A
OR CURRENT RESIDENT
1580 W 66TH AVE
DENVER CO 80221-2155

FLYNN THOMAS
OR CURRENT RESIDENT
1746 W 67TH PL
DENVER CO 80221

GALLEGOS JOE A
OR CURRENT RESIDENT
6831 NAVAJO ST
DENVER CO 80221-7030

FLYNN TIMOTHY E AND
FLYNN TRICIA A
OR CURRENT RESIDENT
6821 MARIPOSA ST
DENVER CO 80221-7026

GARCIA MANUEL
OR CURRENT RESIDENT
6840 SANTA FE DR
DENVER CO 80221

FORD KEVIN B AND
KORZUN ASHLEY M
OR CURRENT RESIDENT
1340 W 68TH AVE
DENVER CO 80221-2686

GIBBONS RANDOLPH AND
GIBBONS SUSAN
OR CURRENT RESIDENT
6734 NAVAJO ST
DENVER CO 80221-2689

FOY PHIL AND
ELLIS ERICA
OR CURRENT RESIDENT
1325 W 67TH AVE
DENVER CO 80221

GIERSCH MEREDITH
OR CURRENT RESIDENT
1345 W 67TH AVE
DENVER CO 80221

FRASER GENEVIEVE AND
FRASER GARY
OR CURRENT RESIDENT
1658 W 66TH AVE
DENVER CO 80221

GIGANTI PAUL JACOB AND
KOE CYNTHIA MARIE
OR CURRENT RESIDENT
1407 W 66TH PL
DENVER CO 80221-2598

FREDRICKY CATHERINE E AND
FREDRICKY ANDREW R
OR CURRENT RESIDENT
1350 W 68TH AVE
DENVER CO 80221

GILLOGLEY BRIDGET
MCGINNIS MICHAEL
OR CURRENT RESIDENT
6735 MARIPOSA ST
DENVER CO 80221-2688

FRIGO MICHAEL A AND
PASCARELLA STEPHANIE N
OR CURRENT RESIDENT
6660 PECOS ST
DENVER CO 80221

GOERGEN JORDAN A AND
GOERGEN NATHAN J
OR CURRENT RESIDENT
1377 W 66TH PL
DENVER CO 80221-2593

FRY STEPHEN AND
CHARLAND KRISTIE
OR CURRENT RESIDENT
1436 W 67TH PL
DENVER CO 80221-2757

GOLDBLUM BARBARA
OR CURRENT RESIDENT
1433 W 66TH PL
DENVER CO 80221

FULTON THOMAS
OR CURRENT RESIDENT
6668 OSAGE ST
DENVER CO 80221-2673

GONZALES SHANTEL DOMINIQUE
OR CURRENT RESIDENT
1441 W 66TH AVE
DENVER CO 80221-2598

GALLAGHER ANNE M AND
SEMPLE LARURA E
OR CURRENT RESIDENT
6655 MARIPOSA CT
DENVER CO 80221

GONZALEZ RAFAEL AND
TAGUE SUSAN E
OR CURRENT RESIDENT
1468 W 66TH AVE
DENVER CO 80229-7242

GOODWIN THOMAS LIVING TRUST THE UND 50% INT
AND
GOODWIN DEANNA LIVING TRUST THE UND 50% INT
OR CURRENT RESIDENT
1370 W 68TH AVE
DENVER CO 80221-2686

GUTIERREZ SHAWN M
OR CURRENT RESIDENT
6895 NAVAJO ST
DENVER CO 80221-7030

GOTH ADAM AND
GOTH JULIA
OR CURRENT RESIDENT
6742 OSAGE ST
DENVER CO 80221-2758

GWYN RACHEL AND
CARLTON GRANT
OR CURRENT RESIDENT
6791 MARIPOSA ST
DENVER CO 80221

GRANDT DAVID M AND
GRANDT LOIS ANN
OR CURRENT RESIDENT
6890 NAVAJO ST
DENVER CO 80221-7031

HAASE RICHARD
OR CURRENT RESIDENT
6631 MARIPOSA CT
DENVER CO 80221-2158

GREENE CORNELL III AND
GREENE JANEANN ELIZABETH
OR CURRENT RESIDENT
1585 W 66TH AVE
DENVER CO 80221-2155

HAGERMAN ERIN E
OR CURRENT RESIDENT
1354 W 67TH AVE
DENVER CO 80221

GREENGRASS JAMES AND
LACROIX JONATHAN
OR CURRENT RESIDENT
1734 W 66TH AVE
DENVER CO 80221

HAJJAJ IBRAHIM S AL HAJJAJ
OR CURRENT RESIDENT
1764 W 67TH PL
DENVER CO 80221-2617

GREENWOOD JOHN C
OR CURRENT RESIDENT
1416 W 66TH AVE
DENVER CO 80221-2153

HALL DYLAN J
OR CURRENT RESIDENT
6647 RARITAN DR
DENVER CO 80221-2690

GRIFFIN MORGAN E AND
GRIFFIN WILLIAM T
OR CURRENT RESIDENT
6751 MARIPOSA ST
DENVER CO 80221-2688

HALL RICHARD MATTHEW AND
HALL DIANA GLAZIER
OR CURRENT RESIDENT
1345 W 67TH PL
DENVER CO 80221-2685

GRISMER STEPHANIE AND
GRISMER BENTON
OR CURRENT RESIDENT
1691 W 66TH AVE
DENVER CO 80221-2175

HARO JOSE AND
HARO MARIA DOLORES
OR CURRENT RESIDENT
6870 OSAGE ST
DENVER CO 80221-7035

GROSS ALFRED J JR AND
GROSS ALYSSA A
OR CURRENT RESIDENT
6740 NAVAJO ST
DENVER CO 80221-2689

HARO RICHARD
OR CURRENT RESIDENT
1279 W 69TH AVE
DENVER CO 80221

GUIERREZ HENRY BENJAMIN
OR CURRENT RESIDENT
6680 MARIPOSA ST
DENVER CO 80221-2684

HARPER SYDNEY B UND 39% INT AND
HARPER BERRET UND 39% INT AND BLEAKLY DOUGLA
S C UND 22% INT
OR CURRENT RESIDENT
6771 RARITAN DR
DENVER CO 80221-2613

HAUS KYLE VIRGIL AND
HANNAM KATIE CHRISTINA
OR CURRENT RESIDENT
1361 W 66TH PL
DENVER CO 80221-2593

JACKSON JULIA A AND
JACKSON BRIAN T
OR CURRENT RESIDENT
6746 ALAN DR
DENVER CO 80221

HERNANDEZ RAUL
OR CURRENT RESIDENT
1385 W 66TH PL
DENVER CO 80221-2593

JACOBSON ERIC S AND
SCHULTZ ERIKA C
OR CURRENT RESIDENT
6723 RARITAN DR
DENVER CO 80221-2613

HERNANDEZ TASOS AND HERNANDEZ
JUAN AND HERNANDEZ ANDREA
OR CURRENT RESIDENT
1364 W 68TH AVE
DENVER CO 80221-2686

JIMENEZ WEHKING DAWN
OR CURRENT RESIDENT
1434 W 66TH AVE
DENVER CO 80221-2153

HILL MATTHEW J
OR CURRENT RESIDENT
6793 RARITAN DR
DENVER CO 80221-2613

JOHNSON ASHLEY ELIZABETH
OR CURRENT RESIDENT
6763 RARITAN DR
DENVER CO 80221-2613

HOELSCHER ANDREW
OR CURRENT RESIDENT
1796 W 68TH AVE
DENVER CO 80221-2521

JOHNSON NICHOLAS D AND
VICKERS CHRISTINE M
OR CURRENT RESIDENT
6728 MARIPOSA CT
DENVER CO 80221-2687

HOLCOMB PETER
OR CURRENT RESIDENT
6638 RARITAN DR
DENVER CO 80221-2690

JONES SHAUN MICHAEL AND
JONES ERIN KATHLEEN
OR CURRENT RESIDENT
6841 NAVAJO ST
DENVER CO 80221-7030

HOLTGREWE NATALIE C AND
HOLTGREWE TODD P
OR CURRENT RESIDENT
1365 W 67TH PL
DENVER CO 80221

JONES TOMMY CURTIS II
OR CURRENT RESIDENT
1440 W 66TH PL
DENVER CO 80221-2598

HUNTER MATTHEW B AND
HUNTER LAUREN E
OR CURRENT RESIDENT
1580 W 67TH AVE
DENVER CO 80221-2670

JORGENSEN JEFF AND
JORGENSEN BETH
OR CURRENT RESIDENT
6619 MARIPOSA CT
DENVER CO 80221

HURTADO ALFRED
OR CURRENT RESIDENT
6820 SANTA FE DR
DENVER CO 80221-7060

KADIRI LEELA KRISHNA
OR CURRENT RESIDENT
6644 PECOS ST
DENVER CO 80221

ITO RICHARD
ITO KATHLEEN
OR CURRENT RESIDENT
6727 MARIPOSA ST
DENVER CO 80221-2688

KAHLER CHRISTOPHER K AND
KAHLER RANEE A
OR CURRENT RESIDENT
1419 W 67TH AVE
DENVER CO 80221-2699

KAYLOR RACHEL AND
POPP JEFFREY
OR CURRENT RESIDENT
6682 OSAGE ST
DENVER CO 80221-2673

KOEDEL KELLIE G REVOCABLE LIVING TRUST
OR CURRENT RESIDENT
6606 OSAGE ST
DENVER CO 80221-2673

KELLOW LEILA
OR CURRENT RESIDENT
6694 OSAGE ST
DENVER CO 80221-2673

KOEHLER LINDSEY B AND
MOORE MATTHEW J
OR CURRENT RESIDENT
1312 W 67TH PL
DENVER CO 80221

KELLY PAIGE AND
KELLY PATRICK
OR CURRENT RESIDENT
6754 ALAN DR
DENVER CO 80221

KOSTUR COLBY
OR CURRENT RESIDENT
6747 RARITAN DR
DENVER CO 80221-2613

KIFER MEGAN A
OR CURRENT RESIDENT
6821 NAVAJO ST
DENVER CO 80221-7030

KRAEFT JESSICA J AND
DANDEO JASON
OR CURRENT RESIDENT
1756 W 67TH AVE
DENVER CO 80221-2609

KINCHIN CHRISTOPHER
OR CURRENT RESIDENT
1338 W 67TH PL
DENVER CO 80221

KRUPCZAK LINDSEY AND
KRUPCZAK COLIN M
OR CURRENT RESIDENT
1361 W 67TH PL
DENVER CO 80221

KING HOWARD G/REED GARY/HOEFFNER RENE L
TRUSTEES/CHURCH OF GOD OF PROPHECY
OR CURRENT RESIDENT
1020 W 69TH AVE
DENVER CO 80221

KUGE ANN S
OR CURRENT RESIDENT
1570 W 67TH AVE
DENVER CO 80221-2670

KING WAYNE D
OR CURRENT RESIDENT
6820 NAVAJO ST
DENVER CO 80221-7031

LAMB LAUREN AND
AQUINO THOMAS J
OR CURRENT RESIDENT
1315 W 67TH AVE
DENVER CO 80221-2682

KJELLSSEN ALEX AND KJELLSSEN JACLYN AND
ROSANIA JOSEPH G JR
OR CURRENT RESIDENT
1416 W 66TH PL
DENVER CO 80221-2598

LAVERMAN MONICA
OR CURRENT RESIDENT
1443 W 67TH AVE
DENVER CO 80221-2699

KLUDJIAN KYLE
OR CURRENT RESIDENT
6714 NAVAJO ST
DENVER CO 80221-2689

LAWYER LUKE
OR CURRENT RESIDENT
1355 W 67TH PL
DENVER CO 80221

KNIGHT ERIC G
OR CURRENT RESIDENT
6792 NAVAJO ST
DENVER CO 80221-2689

LEATHERS LAURA
OR CURRENT RESIDENT
1735 W 66TH AVE
DENVER CO 80221-2192

LEMBERGER DEBORAH A AND
LEMBERGER ERIN L
OR CURRENT RESIDENT
1423 W 67TH AVE
DENVER CO 80221-2699

MACHADO WILSON AND
WURMNEST ABEL
OR CURRENT RESIDENT
1346 W 67TH AVE
DENVER CO 80221-2682

LEWIS KELSEY AND
LEWIS KIRK C
OR CURRENT RESIDENT
1476 W 67TH PL
DENVER CO 80221-2757

MADRIL MELISSA AND
JACQUEZ JAVIER O
OR CURRENT RESIDENT
6774 NAVAJO ST
DENVER CO 80221-2689

LEWIS KEVIN WILLIAM AND
TRUJILLO KARI NICOLE
OR CURRENT RESIDENT
6639 RARITAN DR
DENVER CO 80221-2690

MAESTAS THOMAS TRUST THE
OR CURRENT RESIDENT
6725 MARIPOSA CT
DENVER CO 80221-2687

LIGHTS OUT TRUST
OR CURRENT RESIDENT
1400 W 66TH AVE
DENVER CO 80221-2153

MAGENIS THOMAS D AND
MAGENIS JENNIFER L
OR CURRENT RESIDENT
1530 W 67TH AVE
DENVER CO 80221-2670

LIPETS GARY
OR CURRENT RESIDENT
6630 ALAN DR
DENVER CO 80221-2193

MALACARNE CHARLES A AND
MALACARNE MELISSA A
OR CURRENT RESIDENT
6900 MARIPOSA ST
DENVER CO 80221

LIU SHARON T
OR CURRENT RESIDENT
1676 W 67TH AVE
DENVER CO 80221-2610

MARQUEZ COLIN AND
ROMERO DENISE
OR CURRENT RESIDENT
1763 W 67TH AVE
DENVER CO 80221-2609

LOKER KRISTEN AND
PERRY LUKAS
OR CURRENT RESIDENT
1393 W 66TH PL
DENVER CO 80221-2593

MASCARENAS JOEY A AND
MASCARENAS SIMONITA
OR CURRENT RESIDENT
6880 NAVAJO ST
DENVER CO 80221-7031

LOWREY ALEC AND
LOWREY ALEXA
OR CURRENT RESIDENT
6777 MARIPOSA ST
DENVER CO 80221-2688

MAZUREK JEFFREY K AND
MAZUREK ALEX W AND MAZUREK THERESA
OR CURRENT RESIDENT
6661 MARIPOSA ST
DENVER CO 80221-2684

LUNA JUAN AND
LUNA ROSALBA
OR CURRENT RESIDENT
1401 W 68TH AVE
DENVER CO 80221-7009

MC NEAL DOUG R AND
LEE LESLIE
OR CURRENT RESIDENT
1556 W 66TH AVE
DENVER CO 80221-2155

LUONG AMANDA AND
CHUONG KELLY
OR CURRENT RESIDENT
1772 W 68TH AVE
DENVER CO 80221-2521

MCGOVERN JOSEPH
OR CURRENT RESIDENT
1677 W 66TH AVE
DENVER CO 80221-2175

MEASTAS STEVE AND
MEASTAS LESLIE L
OR CURRENT RESIDENT
6800 MARIPOSA ST
DENVER CO 80221

MOWREY DAN AND
MOWREY LAUREN
OR CURRENT RESIDENT
1746 W 66TH AVE
DENVER CO 80221-2192

MERIDA MARIO AND
URIZA JEANNETTE
OR CURRENT RESIDENT
1668 W 66TH AVE
DENVER CO 80229-7432

MUELLER SAMANTHA
OR CURRENT RESIDENT
1473 W 67TH AVE
DENVER CO 80221-2699

MERRILL MEREDITH ANN
OR CURRENT RESIDENT
1755 W 66TH AVE
DENVER CO 80221-2192

MULLINS DAVID J AND
CRAIG CHARLES W
OR CURRENT RESIDENT
1743 W 67TH AVE
DENVER CO 80221-2609

MESKER SCOTT A
OR CURRENT RESIDENT
6760 MARIPOSA ST
DENVER CO 80221-2688

MUMFORD AARON P AND
MUMFORD ASHLEY A
OR CURRENT RESIDENT
6728 MARIPOSA ST
DENVER CO 80221-2688

MEYER AMANDA
OR CURRENT RESIDENT
6891 OSAGE ST
DENVER CO 80221-7034

MUNDERLOH GRETCHEN
OR CURRENT RESIDENT
1433 W 66TH AVE
DENVER CO 80221-2598

MINTON MICHAEL M AND
GURWIN ANITA E
OR CURRENT RESIDENT
1678 W 66TH AVE
DENVER CO 80221-2175

MUNDERLOH GRETCHEN A
OR CURRENT RESIDENT
1353 W 66TH AVE
DENVER CO 80221-2110

MITCHLER LEONARD A AND
MITCHLER COURTNEY
OR CURRENT RESIDENT
1351 W 67TH PL
DENVER CO 80221

MUNOZ LUIS AND
PANDO ELIZABETH
OR CURRENT RESIDENT
6815 SANTA FE DRIVE
DENVER CO 80221

MOOSBURGER CURTIS
OR CURRENT RESIDENT
6870 MARIPOSA ST
DENVER CO 80221-7027

MURRAY ADAM AND
MURRAY LISA
OR CURRENT RESIDENT
1702 W 66TH AVE
DENVER CO 80229-7434

MORRIS DAVID K AND
MORRIS WENDY L
OR CURRENT RESIDENT
6788 NAVAJO ST
DENVER CO 80221-2689

NAYAK SHIVALL
OR CURRENT RESIDENT
1652 W 66TH AVE
DENVER CO 80229-7432

MOSS MARISA AND
MOSS JUSTIN
OR CURRENT RESIDENT
1450 W 66TH AVE
DENVER CO 80221

NELSON KATHERINE A AND
NELSON THOMAS H
OR CURRENT RESIDENT
1337 W 67TH PL
DENVER CO 80221

NELSON MARK R AND
ROSE POLLY L
OR CURRENT RESIDENT
6744 MARIPOSA ST
DENVER CO 80221-2688

NORTH PECOS WATER AND
SANITATION DIST
OR CURRENT RESIDENT
6900 PECOS ST
DENVER CO 80221

NEW DIRECTION IRA INC FBO MARTIN LOWREY IRA
90% AND
NEW DIRECTION IRA INC FBO LISA LOWREY IRA 10%
OR CURRENT RESIDENT
6647 PECOS ST
DENVER CO 80221-2195

NOTARY JAMES/LINDA L TRUST THE
OR CURRENT RESIDENT
6881 NAVAJO ST
DENVER CO 80221-7030

NEWCOME BRIAN A AND
MONTGOMERY PATRICK C
OR CURRENT RESIDENT
1330 W 67TH AVE
DENVER CO 80221-2682

NOY KHAMNGUEN/VILAYHONG LUCKY SAILOM AND
SENEBOUTTARATH PRASEUTSAK
OR CURRENT RESIDENT
6801 OSAGE ST
DENVER CO 80221-7034

NEWMAN JENNIFER ANN
OR CURRENT RESIDENT
6646 ALAN DR
DENVER CO 80221-2193

O DELL JEFFREY
O DELL KALI A
OR CURRENT RESIDENT
1754 W 66TH AVE
DENVER CO 80221-2192

NGUYEN JACK C
OR CURRENT RESIDENT
6701 MARIPOSA CT
DENVER CO 80221-2687

OLIVAS ERASMO
OR CURRENT RESIDENT
6900 OSAGE ST
DENVER CO 80221-7037

NGUYEN KIM THUAN
OR CURRENT RESIDENT
1371 W 67TH PL
DENVER CO 80221

OTTEN THOMAS AND
OTTEN CASEY
OR CURRENT RESIDENT
6768 MARIPOSA ST
DENVER CO 80221-2688

NGUYEN NICK AND
NGUYEN MICHAEL
OR CURRENT RESIDENT
1400 W 66TH PL
DENVER CO 80221-2598

PANNIER MICHAEL ROBERT AND
DRABCZYK ANDREA VICTORIA
OR CURRENT RESIDENT
6632 OSAGE ST
DENVER CO 80221-2673

NGUYEN THACH AND
VILLEGAS CARINA
OR CURRENT RESIDENT
1440 W 67TH AVE
DENVER CO 80221

PATAMASUCON PISESPONG AND
PATAMASUCON SIRINIPAR
OR CURRENT RESIDENT
6757 MARIPOSA CT
DENVER CO 80221-2687

NIEDENS ELLIOTT AND
ZELDES INDIA
OR CURRENT RESIDENT
1415 W 66TH PL
DENVER CO 80221-2598

PAULES TAYLOR J AND
PAULES MICHAEL AND PAULES GRETCHEN
OR CURRENT RESIDENT
6755 RARITAN DR
DENVER CO 80221-2613

NIKOLENKO SERGEY I
OR CURRENT RESIDENT
1781 W 64TH LN
DENVER CO 80221-2346

PENNER TREVOR A AND
PENNER ANNALEE D
OR CURRENT RESIDENT
1441 W 66TH PL
DENVER CO 80221-2598

PERSICHITTE NICHOLAS C AND
PERSICHITTE KARLA M
OR CURRENT RESIDENT
6655 OSAGE ST
DENVER CO 80221-2673

RADDATZ ALAN L
OR CURRENT RESIDENT
6752 OSAGE ST
DENVER CO 80221-2758

PETERS SUTTIDA AND
PETERS COLLIN V
OR CURRENT RESIDENT
1540 W 67TH AVE
DENVER CO 80221-2670

RADER FAMILY LIVING TRUST THE
OR CURRENT RESIDENT
1752 W 67TH PL
DENVER CO 80221-2617

PHELPS ROBYN L AND
RECK JORDAN A
OR CURRENT RESIDENT
6768 NAVAJO ST
DENVER CO 80221-2689

RAMEY ADAM
OR CURRENT RESIDENT
6650 PECOS ST
DENVER CO 80221

PICKENS ALEX JR AND
SHELDON STEPHANIE
OR CURRENT RESIDENT
6616 RARITAN DR
DENVER CO 80221-2690

RAMIREZ JOSE L
OR CURRENT RESIDENT
6821 PECOS ST
DENVER CO 80221-7001

PICKERING ROBERT B
OR CURRENT RESIDENT
1331 W 67TH PL
DENVER CO 80221

RATZELL SHAWN S
RATZELL EVELYN E
OR CURRENT RESIDENT
6890 MARIPOSA ST
DENVER CO 80221-7027

POESCHL MICHAEL J AND
POESCHL AMBER
OR CURRENT RESIDENT
6769 MARIPOSA CT
DENVER CO 80221-2687

REA FILIPPO A AND
LAFERRIERE AIMEE REA
OR CURRENT RESIDENT
6762 OSAGE ST
DENVER CO 80221-2758

POPOWSKI MALGORZATA AND
GRAM KARSTEN
OR CURRENT RESIDENT
6773 MARIPOSA CT
DENVER CO 80221-2687

REINKING MARK AND
REINKING ELIZABETH
OR CURRENT RESIDENT
6691 MARIPOSA CT
DENVER CO 80221

PRICE RITA M
MILANO KATHLEEN L
OR CURRENT RESIDENT
6763 MARIPOSA CT
DENVER CO 80221-2687

REYES DINOT V JR AND
REYES TISHA
OR CURRENT RESIDENT
1652 W 67TH AVE
DENVER CO 80221-2610

PROSCH DAKOTA AND
REGUEIRO FERNANDO
OR CURRENT RESIDENT
1493 W 67TH AVE
DENVER CO 80221-2699

RICE ANTHONY S AND
RICE STEVEN J
OR CURRENT RESIDENT
1435 W 67TH AVE
DENVER CO 80221-2699

PUJOL ALEJANDRO AND
RODRIGUEZ MELISSA P
OR CURRENT RESIDENT
6764 NAVAJO ST
DENVER CO 80221-2689

ROACH MEGHAN J AND
SITTNICK MARTIN W
OR CURRENT RESIDENT
1392 W 67TH AVE
DENVER CO 80221

ROBINSON JACK AND
ROBINSON JANET
OR CURRENT RESIDENT
6601 MARIPOSA CT
DENVER CO 80221

SADOWSKI KATHERINE
OR CURRENT RESIDENT
6850 NAVAJO ST
DENVER CO 80221-7031

ROBINSON KATARINA
OR CURRENT RESIDENT
1425 W 67TH AVE
DENVER CO 80221-2699

SAER ALLISON AND
SAER JAMES
OR CURRENT RESIDENT
1354 W 66TH PL
DENVER CO 80221-2593

RODRIGUEZ CARLOS AND
ZAMORA DORINA
OR CURRENT RESIDENT
1440 W 69TH AVE
DENVER CO 80221-7018

SALAMAT JONATHAN AND
SALAMAT TARA
OR CURRENT RESIDENT
6748 OSAGE ST
DENVER CO 80221-2758

RODRIGUEZ DILLON
OR CURRENT RESIDENT
1335 W 67TH AVE
DENVER CO 80221-2682

SALMONS JUSTIN C AND
SALMONS LINDA K
OR CURRENT RESIDENT
1734 W 67TH PL
DENVER CO 80221-2617

ROESSLER TODD J
OR CURRENT RESIDENT
6600 RARITAN DR
DENVER CO 80221-2690

SANDOVAL PABLO A AND
STRYDOM CAREL P
OR CURRENT RESIDENT
1634 W 67TH AVE
DENVER CO 80221-2610

ROHRKE PATRICK P AND
ROHRKE KRISTY A
OR CURRENT RESIDENT
1334 W 68TH AVE
DENVER CO 80221

SANTARELLI JOYCE L
OR CURRENT RESIDENT
6881 OSAGE ST
DENVER CO 80221-7034

ROMAN KATHRYN S AND
ROMAN JAMES T
OR CURRENT RESIDENT
6654 MARIPOSA ST
DENVER CO 80221-2684

SCHMIDT ZACHARY P AND
MARTIN HEATHER
OR CURRENT RESIDENT
6746 OSAGE ST
DENVER CO 80221-2758

RUBIN SCOTT
RUBIN MICHELLE
OR CURRENT RESIDENT
6708 NAVAJO ST
DENVER CO 80221-2689

SCHROEDER NATHAN K
OR CURRENT RESIDENT
1745 W 66TH AVE
DENVER CO 80221-2192

RUBY CHRIS AND
RUBY KIMBERLY
OR CURRENT RESIDENT
6715 RARITAN DR
DENVER CO 80221-2613

SCOGGINS VERONICA E AND
STROUD RYAN S
OR CURRENT RESIDENT
1481 W 67TH AVE
DENVER CO 80221-2699

RUSSELL JENNIFER
OR CURRENT RESIDENT
1449 W 66TH AVE
DENVER CO 80221-2598

SEEFELDT MARK
OR CURRENT RESIDENT
1384 W 67TH AVE
DENVER CO 80221-2664

SELVIG ETHAN D AND
CAMPBELL ELIZABETH K
OR CURRENT RESIDENT
6780 NAVAJO ST
DENVER CO 80221-2689

SOLOMON JOSEPH RYAN AND
SOLOMON KYLENE RENEE
OR CURRENT RESIDENT
6656 OSAGE ST
DENVER CO 80221

SHAW RYAN WILLIAM
OR CURRENT RESIDENT
1392 W 66TH PL
DENVER CO 80221-2593

SONG TIM AND
MARTINEZ MANDY
OR CURRENT RESIDENT
6720 MARIPOSA ST
DENVER CO 80221-2688

SIMON MICHAEL AND
SIMON SARAH
OR CURRENT RESIDENT
1384 W 66TH PL
DENVER CO 80221-2593

SPAETH TRAVIS AND
PATEL SHALVI
OR CURRENT RESIDENT
1712 W 67TH AVE
DENVER CO 80221-2609

SIMUTIS DAVID LEONARD AND
SIMUTIS MICHELLE UTT
OR CURRENT RESIDENT
6700 MARIPOSA ST
DENVER CO 80221-2688

STAMBAUGH WILLIAM T AND JAN S
OR CURRENT RESIDENT
6861 MARIPOSA ST
DENVER CO 80221

SINGH DITTIMAN
OR CURRENT RESIDENT
1484 W 66TH AVE
DENVER CO 80221-2153

STEFIUK STEPHEN III
OR CURRENT RESIDENT
6721 MARIPOSA ST
DENVER CO 80221-2688

SLOAN STANLEY AND
SLOAN ELIZABETH
OR CURRENT RESIDENT
6770 OSAGE ST
DENVER CO 80221-2758

STONEBERG DANIEL K
PARKER KATHERINE M
OR CURRENT RESIDENT
6741 MARIPOSA CT
DENVER CO 80221-2687

SLOYER ERIC
OR CURRENT RESIDENT
6721 MARIPOSA CT
DENVER CO 80221-2687

STRONG DAVID
OR CURRENT RESIDENT
6784 NAVAJO ST
DENVER CO 80221-2689

SMILEY MONICA AND
COLARIC WARREN
OR CURRENT RESIDENT
6768 OSAGE ST
DENVER CO 80221-2758

STROTHER SCOTT G
OR CURRENT RESIDENT
1408 W 66TH PL
DENVER CO 80221-2598

SMITH ANDREW C AND
SMITH HANA L P
OR CURRENT RESIDENT
6752 MARIPOSA ST
DENVER CO 80221-2688

STYLES SAMUEL L AND
STYLES LAURA A
OR CURRENT RESIDENT
1800 W 68TH AVE
DENVER CO 80221-2506

SMITH ERIC KALON AND
SMITH LAUREN KAY
OR CURRENT RESIDENT
6690 MARIPOSA ST
DENVER CO 80221-2684

SUDDS ROBERT S
OR CURRENT RESIDENT
6651 PECOS ST
DENVER CO 80221-2195

SULTANTONO ARMAND H
BENYAMIN NADIA A
OR CURRENT RESIDENT
6753 MARIPOSA CT
DENVER CO 80221-2687

TOWNDROW LYNDA S AND
TOWNDROW DENNIS DEAN
OR CURRENT RESIDENT
6800 OSAGE ST
DENVER CO 80221-7035

SWANSON MICHAEL A
OR CURRENT RESIDENT
1400 W 67TH AVENUE
DENVER CO 80221

TRACY GERARD MAJELLA AND
TRACY CYNTHIA GRAHAM
OR CURRENT RESIDENT
6821 OSAGE ST
DENVER CO 80221-7034

SWERDFEGER RUSSELL C
OR CURRENT RESIDENT
1341 W 68TH AVE
DENVER CO 80221-7007

TRAN CHRISTOPHER
OR CURRENT RESIDENT
6785 RARITAN DR
DENVER CO 80221-2613

TALIFER JOHN
OR CURRENT RESIDENT
1446 W 67TH PL
DENVER CO 80221-2757

TRAN VU D
OR CURRENT RESIDENT
1785 W 66TH AVE
DENVER CO 80221-2192

TANNER RICHARD C AND
HARDY KAREN L
OR CURRENT RESIDENT
6750 MARIPOSA CT
DENVER CO 80221

TRUXAL RYAN AND
DELLEBOVI CHRISTA
OR CURRENT RESIDENT
6764 OSAGE ST
DENVER CO 80221-2758

TAYLOR KEVIN AND
TAYLOR DENISE
OR CURRENT RESIDENT
6675 MARIPOSA CT
DENVER CO 80221

TULLY TRAVIS AND
TULLY TRACY
OR CURRENT RESIDENT
6640 PECOS ST
DENVER CO 80221-2167

TERRELL SHANNON AND
TERRELL DETTRELL
OR CURRENT RESIDENT
1448 W 66TH PL
DENVER CO 80221-2598

VAIL MORGAN AND
FRIEND JEREMY J
OR CURRENT RESIDENT
1688 W 66TH AVE
DENVER CO 80221

TERS ANNA AND
ERTLE KYLE
OR CURRENT RESIDENT
6660 MARIPOSA CT
DENVER CO 80221

VALENTA GRAHAM M AND
BANCROFT AMANDA N
OR CURRENT RESIDENT
6743 MARIPOSA ST
DENVER CO 80221-2688

TERWILLIGER CINDY
OR CURRENT RESIDENT
1787 W 67TH AVE
DENVER CO 80221-2609

VALLERO MARITA J AND
VALLERO NICHOLAS J
OR CURRENT RESIDENT
1448 W 67TH AVE
DENVER CO 80221

THOME JOSEPH AND
HUERTA-THOME CYNTHIA
OR CURRENT RESIDENT
6730 ALAN DR
DENVER CO 80221-2500

VEGA BRYAN
VEGA ANGELA
OR CURRENT RESIDENT
1784 W 68TH AVE
DENVER CO 80221-2521

VEGH JOZSEF AND
HODI KATALIN
OR CURRENT RESIDENT
1665 W 66TH AVE
DENVER CO 80221-2175

WHITCOMB JACKSON J AND
CURTIS LAURA E
OR CURRENT RESIDENT
6779 RARITAN DR
DENVER CO 80221-2613

VILLALOBOS DAVID AND
VILLALOBOS OLGA
OR CURRENT RESIDENT
6670 MARIPOSA ST
DENVER CO 80221-2684

WHITE EMILY T AND
WHITE JAMES ROYAL IV
OR CURRENT RESIDENT
1376 W 66TH PL
DENVER CO 80221-2593

VISSER M JONATHAN AND
VISSER ELIZABETH
OR CURRENT RESIDENT
1541 W 66TH AVE
DENVER CO 80221

WIGGINS JASON
OR CURRENT RESIDENT
1344 W 68TH AVE
DENVER CO 80221

VO TAM AND
VO KELLY E
OR CURRENT RESIDENT
1300 W 67TH PL
DENVER CO 80221-2685

WILLIAMS RACHEL E
OR CURRENT RESIDENT
6645 MARIPOSA CT
DENVER CO 80221

VOIGT JOHN F AND
VOIGT SARA L
OR CURRENT RESIDENT
1320 W 67TH AVE
DENVER CO 80221-2682

WILSON GREGORY AND
GERAGHTY KELLY
OR CURRENT RESIDENT
6726 NAVAJO ST
DENVER CO 80221-2689

VOLKMER SCOTT AND
JURGENS KELSEY
OR CURRENT RESIDENT
6736 MARIPOSA ST
DENVER CO 80221-2688

WILSON KELLI MARIE AND
FLETCHER ERIC REED
OR CURRENT RESIDENT
1425 W 66TH PL
DENVER CO 80221

WAGNER CHAD AND
HENSLEY DANIELLE
OR CURRENT RESIDENT
6639 OSAGE ST
DENVER CO 80221-2673

WILSON PATRICK O AND
MENDEZ-WILSON DEBORAH
OR CURRENT RESIDENT
6665 MARIPOSA CT
DENVER CO 80221

WALD ANDREW J
WALD NATALIE
OR CURRENT RESIDENT
6746 NAVAJO ST
DENVER CO 80221-2689

WILSON TESSA L AND
WILSON ADAM B
OR CURRENT RESIDENT
1376 W 67TH AVE
DENVER CO 80221-2664

WELSH MICHAEL AND
WALEWSKI MATTHEW
OR CURRENT RESIDENT
6736 MARIPOSA CT
DENVER CO 80221

WIMAN JENNIFER M
OR CURRENT RESIDENT
1718 W 66TH AVE
DENVER CO 80221-2192

WELTY DUANE
OR CURRENT RESIDENT
1801 W 67TH PL
DENVER CO 80221-2612

WINCEK AMY AND
WINCEK MATTHEW
OR CURRENT RESIDENT
6655 MARIPOSA ST
DENVER CO 80221-2684

WONG JEFF
LUONG MYVAN
OR CURRENT RESIDENT
1508 W 66TH AVE
DENVER CO 80221-2155

CURRENT RESIDENT
1401 W 66TH AVE
DENVER CO 80221-2153

WOODS JONATHAN AND
WOODS VICTORIA
OR CURRENT RESIDENT
6644 OSAGE ST
DENVER CO 80221-2673

CURRENT RESIDENT
1407 W 66TH AVE
DENVER CO 80221-2153

WYMAN JEFFREY AND
WYMAN MEAGAN
OR CURRENT RESIDENT
6772 OSAGE ST
DENVER CO 80221-2758

CURRENT RESIDENT
1415 W 66TH AVE
DENVER CO 80221-2153

XIAO YANQING
OR CURRENT RESIDENT
6659 PECOS ST
DENVER CO 80221-2195

CURRENT RESIDENT
1425 W 66TH AVE
DENVER CO 80221-2153

YU YA-CHI
OR CURRENT RESIDENT
1353 W 66TH PL
DENVER CO 80221-2593

CURRENT RESIDENT
1571 W 66TH AVE
DENVER CO 80221-2155

ZEDNIK KRISTIN M AND
ZEDNIK STEPHAN T
OR CURRENT RESIDENT
1432 W 67TH AVE
DENVER CO 80221

CURRENT RESIDENT
1741 W 64TH LN
DENVER CO 80221-2346

ZIEGLER SCOTT T AND
ANTON DARCY E
OR CURRENT RESIDENT
1729 W 67TH AVE
DENVER CO 80221-2609

CURRENT RESIDENT
6591 PECOS ST
DENVER CO 80221-2417

CURRENT RESIDENT
1361 W 66TH AVE
DENVER CO 80221-2110

CURRENT RESIDENT
6595 PECOS ST
DENVER CO 80221-2417

CURRENT RESIDENT
1377 W 66TH AVE
DENVER CO 80221-2110

CURRENT RESIDENT
1777 W 68TH AVE
DENVER CO 80221-2565

CURRENT RESIDENT
1393 W 66TH AVE
DENVER CO 80221-2110

CURRENT RESIDENT
1432 W 66TH PL
DENVER CO 80221-2598

CURRENT RESIDENT
1700 W 67TH AVE
DENVER CO 80221-2609

CURRENT RESIDENT
6645 OSAGE ST
DENVER CO 80221-2673

CURRENT RESIDENT
1730 W 67TH AVE
DENVER CO 80221-2609

CURRENT RESIDENT
1301 W 67TH AVE
DENVER CO 80221-2682

CURRENT RESIDENT
1744 W 67TH AVE
DENVER CO 80221-2609

CURRENT RESIDENT
6871 PECOS ST
DENVER CO 80221-7001

CURRENT RESIDENT
1788 W 67TH AVE
DENVER CO 80221-2609

CURRENT RESIDENT
6860 PECOS ST
DENVER CO 80221-7002

CURRENT RESIDENT
1622 W 67TH AVE
DENVER CO 80221-2610

CURRENT RESIDENT
1231 W 68TH AVE
DENVER CO 80221-7005

CURRENT RESIDENT
1690 W 67TH AVE
DENVER CO 80221-2610

CURRENT RESIDENT
1241 W 69TH AVE
DENVER CO 80221-7013

CURRENT RESIDENT
6709 RARITAN DR
DENVER CO 80221-2613

CURRENT RESIDENT
1501 W 69TH AVE
DENVER CO 80221-7019

CURRENT RESIDENT
1771 W 67TH PL
DENVER CO 80221-2617

CURRENT RESIDENT
6831 MARIPOSA ST
DENVER CO 80221-7026

CURRENT RESIDENT
1782 W 67TH PL
DENVER CO 80221-2617

CURRENT RESIDENT
6860 MARIPOSA ST
DENVER CO 80221-7027

CURRENT RESIDENT
1424 W 67TH AVE
DENVER CO 80221-2672

CURRENT RESIDENT
6831 OSAGE ST
DENVER CO 80221-7034

CURRENT RESIDENT
6820 OSAGE ST
DENVER CO 80221-7035

CURRENT RESIDENT
1141 W 69TH AVE APT 102
DENVER CO 80221-7064

CURRENT RESIDENT
1080 W 69TH AVE
DENVER CO 80221-7047

CURRENT RESIDENT
1141 W 69TH AVE APT 103
DENVER CO 80221-7064

CURRENT RESIDENT
6825 SANTA FE DR
DENVER CO 80221-7059

CURRENT RESIDENT
1141 W 69TH AVE APT 104
DENVER CO 80221-7064

CURRENT RESIDENT
6835 SANTA FE DR
DENVER CO 80221-7059

CURRENT RESIDENT
1141 W 69TH AVE APT 201
DENVER CO 80221-7064

CURRENT RESIDENT
1121 W 69TH AVE APT 101
DENVER CO 80221-7063

CURRENT RESIDENT
1161 W 69TH AVE APT 101
DENVER CO 80221-7065

CURRENT RESIDENT
1121 W 69TH AVE APT 102
DENVER CO 80221-7063

CURRENT RESIDENT
1161 W 69TH AVE APT 102
DENVER CO 80221-7065

CURRENT RESIDENT
1121 W 69TH AVE APT 103
DENVER CO 80221-7063

CURRENT RESIDENT
1161 W 69TH AVE APT 103
DENVER CO 80221-7065

CURRENT RESIDENT
1121 W 69TH AVE APT 104
DENVER CO 80221-7063

CURRENT RESIDENT
1161 W 69TH AVE APT 104
DENVER CO 80221-7065

CURRENT RESIDENT
1121 W 69TH AVE APT 201
DENVER CO 80221-7063

CURRENT RESIDENT
1161 W 69TH AVE APT 201
DENVER CO 80221-7065

CURRENT RESIDENT
1141 W 69TH AVE APT 101
DENVER CO 80221-7064

CURRENT RESIDENT
1161 W 69TH AVE APT 202
DENVER CO 80221-7069

CURRENT RESIDENT
1161 W 69TH AVE APT 203
DENVER CO 80221-7069

CURRENT RESIDENT
1141 W 69TH AVE APT 302
DENVER CO 80221-7070

CURRENT RESIDENT
1161 W 69TH AVE APT 204
DENVER CO 80221-7069

CURRENT RESIDENT
1141 W 69TH AVE APT 303
DENVER CO 80221-7070

CURRENT RESIDENT
1161 W 69TH AVE APT 301
DENVER CO 80221-7069

CURRENT RESIDENT
1141 W 69TH AVE APT 304
DENVER CO 80221-7070

CURRENT RESIDENT
1161 W 69TH AVE APT 302
DENVER CO 80221-7069

CURRENT RESIDENT
1121 W 69TH AVE APT 202
DENVER CO 80221-7071

CURRENT RESIDENT
1161 W 69TH AVE APT 303
DENVER CO 80221-7069

CURRENT RESIDENT
1121 W 69TH AVE APT 203
DENVER CO 80221-7071

CURRENT RESIDENT
1161 W 69TH AVE APT 304
DENVER CO 80221-7069

CURRENT RESIDENT
1121 W 69TH AVE APT 204
DENVER CO 80221-7071

CURRENT RESIDENT
1141 W 69TH AVE APT 202
DENVER CO 80221-7070

CURRENT RESIDENT
1121 W 69TH AVE APT 301
DENVER CO 80221-7071

CURRENT RESIDENT
1141 W 69TH AVE APT 203
DENVER CO 80221-7070

CURRENT RESIDENT
1121 W 69TH AVE APT 302
DENVER CO 80221-7071

CURRENT RESIDENT
1141 W 69TH AVE APT 204
DENVER CO 80221-7070

CURRENT RESIDENT
1121 W 69TH AVE APT 303
DENVER CO 80221-7071

CURRENT RESIDENT
1141 W 69TH AVE APT 301
DENVER CO 80221-7070

CURRENT RESIDENT
1121 W 69TH AVE APT 304
DENVER CO 80221-7071

CURRENT RESIDENT
1101 W 69TH AVE APT 2
DENVER CO 80221-7080

CURRENT RESIDENT
1101 W 69TH AVE APT 3
DENVER CO 80221-7080

CURRENT RESIDENT
1101 W 69TH AVE APT 4
DENVER CO 80221-7080

CURRENT RESIDENT
1101 W 69TH AVE APT 1
DENVER CO 80221-8924

CERTIFICATE OF POSTING



I, J. Gregory Barnes do hereby certify that I posted the property at the intersection of West 68th Avenue and Pecos Street on June 25, 2019 in accordance with the requirements of the Adams County Development Standards and Regulations.

J. Gregory Barnes, Planner III