



**COMMUNITY AND ECONOMIC DEVELOPMENT
DEPARTMENT**

**CASE NO.: PRC2019-00004
CASE NAME: KIOWA-52 SOLAR**

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**COMMUNITY AND ECONOMIC DEVELOPMENT
DEPARTMENT STAFF REPORT**

Board of County Commissioners

October 15, 2019

CASE No.: **PRC2019-00004**

CASE NAME: **Kiowa-52 Solar**

Owner's Name:	Dennis Edward & Beth Ann Smialek
Applicant's Name:	Kiowa Solar, LLC
Applicant's Address:	1710 29 th Street, #1068, Boulder, CO 80301
Location of Requests:	Southeast corner of E 56 th Avenue & Converse Road
Nature of Requests:	1) A conditional use permit to allow a solar energy facility in the Agricultural-3 (A-3) zone district; 2) A conditional use permit to allow a utility substation in the Agricultural-3 zone district
Zone Districts:	Agricultural-3 (A-3)
Comprehensive Plan:	Agriculture
Site Size:	Approximately 600 acres
Proposed Uses:	Solar Energy System, Utility Substation
Existing Use:	Vacant
Hearing Date(s):	PC: September 26, 2019 / 6:00 p.m. BOCC: October 15, 2018 / 9:30 a.m.
Report Date:	October 9, 2019
Case Manager:	Greg Barnes 
PC Recommendation:	APPROVAL with 8 Findings-of-Fact, 6 Conditions, and 2 notes

SUMMARY OF APPLICATION

Background

Kiowa Solar LLC, a subsidiary of Juwi Inc., is requesting two conditional use permits to build a 600-acre solar facility and an associated utility substation on private land owned by Dennis & Beth Ann Smialek. The development is proposed to be located southeast of the intersection of East 56th Ave & Converse Road and west of the intersection of Highway 79 (Kiowa-Bennett Road) and East 48th Avenue (See Exhibit 2.1). Electricity generated from the proposed solar system would be connected directly to an existing Intermountain Rural Electrical Association (IREA) substation west of Converse Road and would have the capacity to produce 80 megawatts of power.

If approved, the proposed conditional use permit will cover approximately 600 acres of the overall site. The applicant and the property owner have signed a 35-year agreement to allow the property to be used as a solar project for the duration of the permit. The energy from the project would be sold to IREA. A small storage shed (360-572 square feet) is planned on the property. The storage shed would house replacement parts and spare materials and is proposed to be located at the site entrance on Converse Road.

The Board of County Commissioners approved a similar request for a conditional use permit for a solar facility on October 17, 2017, which expired after one year since it was not acted upon. The applicant has submitted for a new approval of this request. Earlier this year, the applicant filed a land survey plat to combine the four affected parcels into a single parcel.

Site Characteristics:

The property is located on approximately 600 acres of agriculturally utilized land. The site is bordered by Converse Road to the west, East 56th Avenue to the north, Highway 79 (Kiowa-Bennett Road) to the east, and East 38th Avenue to the south. Access to the site will be provided from Converse Road. The subject request is located approximately four miles east of the Colorado Air and Space Port.

Development Standards and Regulations Requirements:

Per Section 3-07-01 of the Adams County Development Standards and Regulations, a conditional use permit is required for solar energy facilities and utility substations in the Agriculture-3 (A-3) zone district.

Solar Energy Facility

Section 4-03-03-02-10 of the County's Development Standards and Regulations outlines performance standards for solar energy facilities. These performance standards regulate height and setbacks for solar panels. The maximum permitted height for solar panels is 15 feet. According to the materials submitted with the application, the proposed solar panels will not exceed six (6) feet in height. In addition, the panels will conform to all setback requirements of the A-3 zone district, which include a 50-foot front setback (along public roadways), a 10-foot side setback, a 20-foot rear setback, and a 120-foot section line setback. The site plan submitted with the application shows the panels conform to all other required setbacks.

Per Section 4-16-17 of the County's Development Standards, visual mitigation, such as fencing and landscaping, may be required; however, as the proposed solar panels are located approximately 50 feet from the closest right-of-way, and water availability for irrigation is limited on the site, the applicant is requesting to develop the solar energy facility with no landscaping. According to the site plan, a six-foot-tall chain-link fence is proposed along the perimeter of the facility.

Utility Substation

Section 4-08-02-07-04 of the County's Development Standards and Regulations outlines performance standards for utility substations. These performance standards regulate screening of utility substations. The applicant has proposed a 15' wide landscape buffer and solid masonry

wall along portions of the utility substation site that have visibility along public roadways and adjoining properties. The proposed screening conforms to the Type-C bufferyard requirement in Section 4-16-16-01 of the County's Development Standards.

Future Land Use Designation/Goals of the Comp-Plan for the Area

The future land use designation on the property is Agriculture. Per Chapter 5 of the Adams County Comprehensive Plan, the Agriculture designation is intended for land holdings of at least 35 acres, and for preservation of agricultural areas for long-term farming. The future land use areas designated for agriculture are also to conserve environmentally sensitive areas.

The request to use the property for a solar energy facility is consistent with the Comprehensive Plan designation of Agriculture. The use of the property supports energy production in an area where low-density development is expected. Additionally, the production of energy from the property may be used to support future development of the surrounding areas.

Surrounding Zoning Designations and Existing Use Activity:

Northwest A-3 Agriculture / Vacant	North A-3 Agriculture /Residential	Northeast A-3 Agriculture / Vacant
West A-3 Agriculture/ Substation	Subject Property A-3 Vacant / Agriculture	East A-3 Residential
Southwest A-3 Agriculture / Vacant	South A-3 Agriculture / Vacant	Southeast A-3, A-2 Agriculture / Vacant/ Residential

Compatibility with the Surrounding Land Uses:

Most of the area surrounding the site is comprised of agricultural and some residential uses. The area surrounding the site is predominately zoned A-3. The property to the west of the site is currently used as a solar facility and an electrical substation. The solar facility was approved by the Board of County Commissioners in 2016 (Case RCU2016-00006). The substation was approved by the Board of County Commissioners in 2008 (Case PRJ2008-00016). Properties to the north and east are primarily used for agriculture and some single-family homes. The closest home is over five-hundred feet away from the solar panels. The proposed use of the property will not generate additional traffic, pollution, noise, or lighting or glare to surrounding properties.

PLANNING COMMISSION UPDATE

The Planning Commission (PC) considered this case on September 26, 2019 and voted (7-0) to recommend approval of the requests. The applicant spoke at the meeting and had no concerns with the staff report or presentation. There was no one from the public to speak in favor or in opposition to the request.

Staff Recommendations:

Based upon the application, the criteria for approval of a conditional use permit, and a recent site visit, staff recommends approval of the request with 8 findings-of-fact, 6 conditions, and 2 notes.

RECOMMENDED FINDINGS-OF-FACT:

1. The conditional use is permitted in the applicable zone district.
2. The conditional use is consistent with the purposes of these standards and regulations.
3. The conditional use will comply with the requirements of these standards and regulations, including but not limited to, all applicable performance standards.
4. The conditional use is compatible with the surrounding area, harmonious with the character of the neighborhood, not detrimental to the immediate area, not detrimental to the future development of the area, and not detrimental to the health, safety, or welfare of the inhabitants of the area and the County.
5. The conditional use permit has addressed all off-site impacts.
6. The site is suitable for the proposed conditional use including adequate usable space, adequate access, and absence of environmental constraints.
7. The site plan for the proposed conditional use will provide the most convenient and functional use of the lot including the parking scheme, traffic circulation, open space, fencing, screening, landscaping, signage, and lighting.
8. Sewer, water, storm water drainage, fire protection, police protection, and roads are to be available and adequate to serve the needs of the conditional use as designed and proposed.

RECOMMENDED CONDITIONS OF APPROVAL:

1. This conditional use permits shall expire on October 15, 2041 (22 years).
2. The applicant shall construct the site in conformance with the approved site and landscape plans illustrated in Exhibit 3.2.
3. A building permit shall be required for any fence associated with the site.
4. The solar panels on-site shall be removed when the conditional use permit expires, unless an extension or renewal is granted.
5. The applicant shall comply with all the requirements specified by the Colorado Department of Natural Resources' Division of Parks & Wildlife provided in their letter dated May 20, 2019, including surveying the site for nesting birds, swift foxes, prairie dogs, and burrowing owls if installation of panels occurs between March 15th and July 31st of the year.
6. The applicant shall comply with all the requirements specified by the Tri-County Health Department provided in their letter dated May 28, 2019, including the use of portable bathroom facilities and trash enclosures during construction.

Recommended Notes to the applicant:

1. This conditional use permit shall expire within one year of approval (October 15, 2020), if a building permit is not obtained for the development.
2. All applicable building, zoning, health, engineering, and fire codes shall be adhered to with this request.

PUBLIC COMMENTS

Notices Sent	Number of Responses
52	4

Property owners within a half-mile of the site were notified of the subject request. As of writing this report, staff has received four comments from the public. One comment was provided by the property owner supporting the request. Three comments provided by nearby property owners cited public safety concerns and loss of wildlife habitat.

REFERRAL AGENCY COMMENTS

Staff sent the request to various referral agencies and there were no objections. Several agencies recommended best management practices, such as installation of temporary facilities for sanitation during panel installation, weed management practices, and surveying for wildlife at times of year. The Colorado Division of Wildlife requested a survey of the property for prairie dogs, burrowing owls, and swift foxes, if installation occurs between March 15th and July 31st. Staff has recommended several conditions of approval to ensure compliance with these comments.

Responding with Concerns:

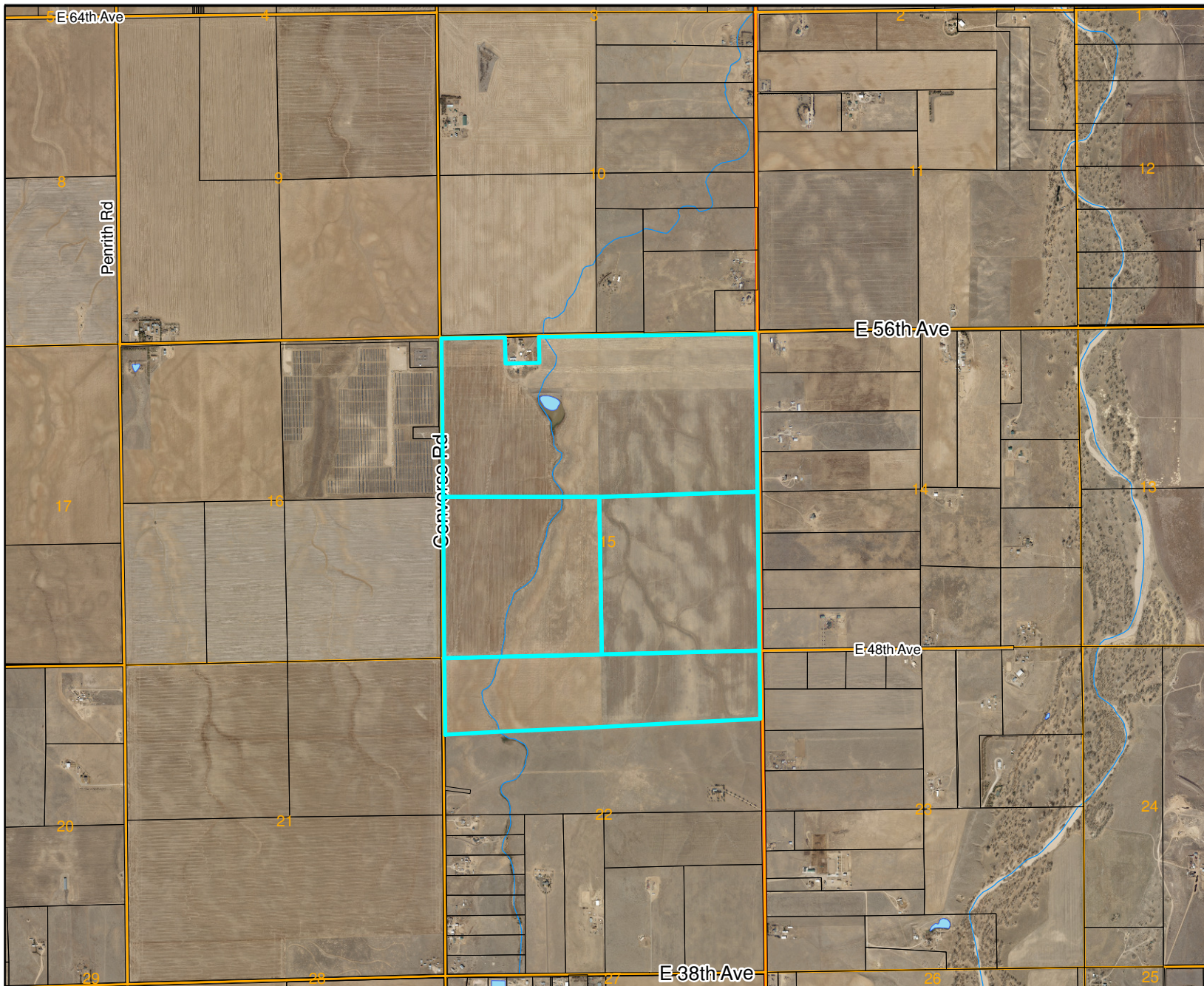
Colorado Department of Natural Resources - Division of Parks & Wildlife
Tri-County Health Department

Responding without Concerns:

Colorado Department of Natural Resources - Division of Water Resources
Colorado Geological Survey
Xcel Energy

Notified but not Responding / Considered a Favorable Response:

Bennett Fire & Rescue
Bennett Parks & Recreation District
Bennett School District 29J
Century Link
Colorado Department of Natural Resources - Division of Mining & Reclamation Safety
Comcast
IREA
US Postal Service
US Environmental Protection Agency



Legend

- +— Railroad
- Major Water
- Zoning Line
- Sections



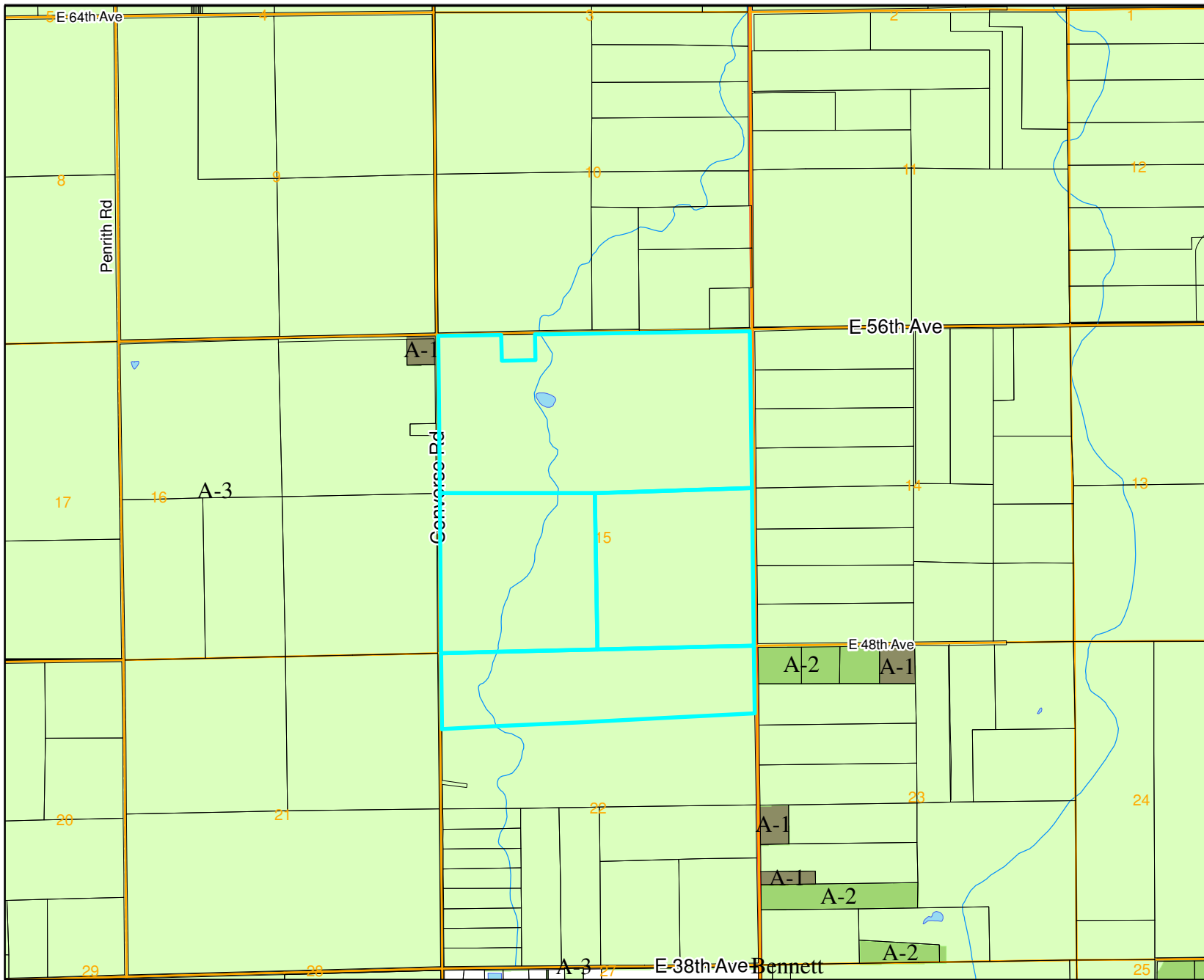
ADAMS COUNTY
COLORADO

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responsibility for its accuracy

Kiowa-52 Solar
PRC2019-00004



For display purposes only.



Legend

- Railroad
- Major Water
- Zoning Line
- Sections

Zoning Districts

- A-1
- A-2
- A-3
- R-E
- R-1-A
- R-1-C
- R-2
- R-3
- R-4
- M-H
- C-0
- C-1
- C-2
- C-3
- C-4
- C-5
- I-1
- I-2
- I-3
- CO
- PL
- AV
- DIA
- P-U-D
- P-U-D(P)

Kiowa-52 Solar

PRC2019-00004

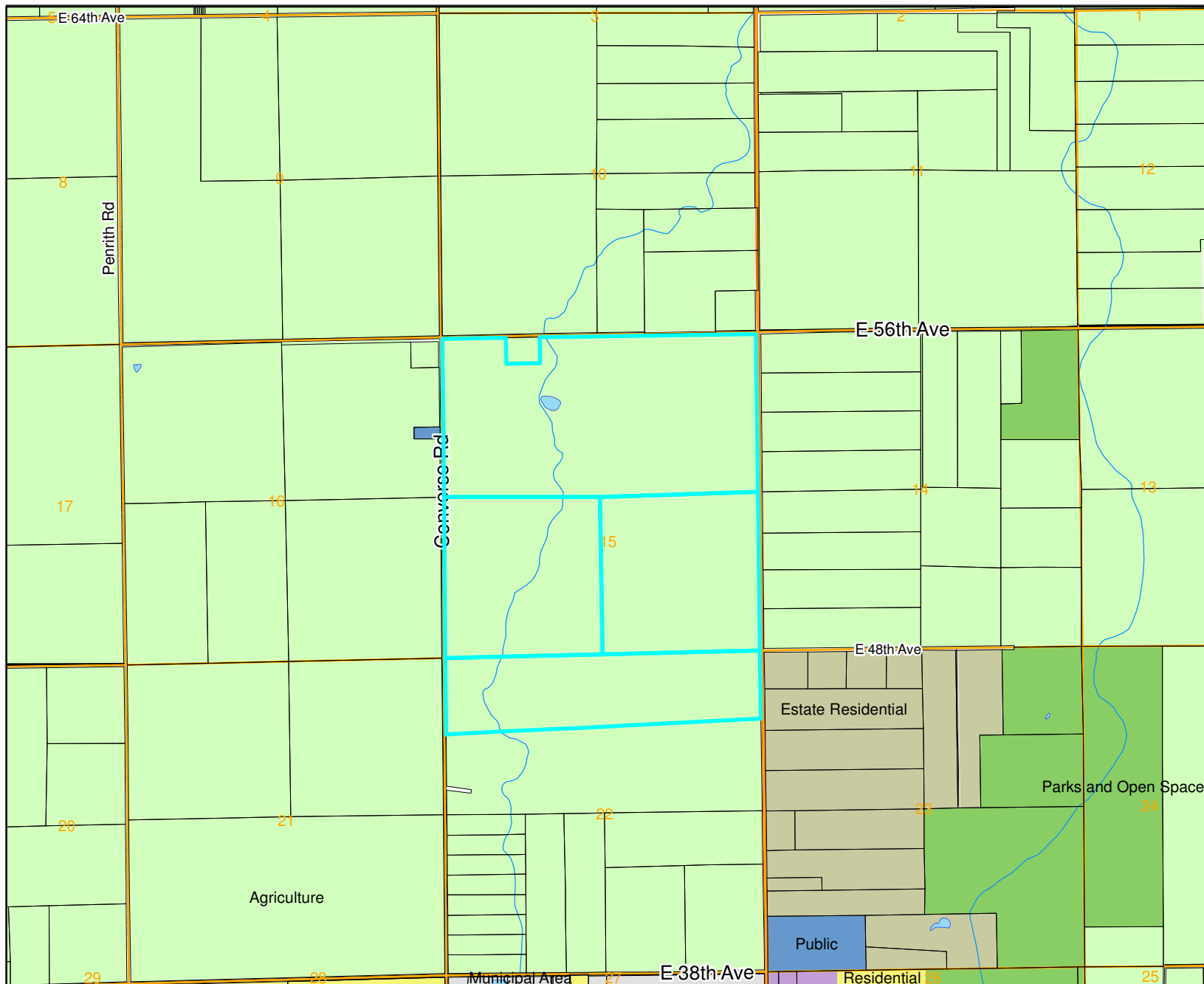


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ADAMS COUNTY
COLORADO

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Legend

- +— Railroad
- Major Water
- Zoning Line
- Sections

Kiowa-52 Solar
PRC2019-00004

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WRITTEN EXPLANATION OF PROJECT

Project Overview

juwi Inc, a Colorado solar facility development and construction company, is pursuing the design, build, and operation of the Kiowa Solar Project for generating and selling (to an electric utility) solar photovoltaic generated power, coupled potentially with battery storage of energy for optimal use and generation.

Kiowa Solar LLC (the “Company”), a subsidiary of juwi Inc, is seeking a Conditional Use Permit to build the Kiowa Solar Project (the “Project”) on land owned by Dennis and Beth Ann Smialek. The Project would be adjacent to the Intermountain Rural Electric Association (IREA)-owned Victory Substation and the existing Victory Solar Project, and would be located on Parcel Numbers 0181500000246, 0181500000034, 0181500000032, and 0181500000051; they are contiguous parcels of land located south of East 56th Ave, east of North Converse Road, and west of Highway 79 (Kiowa-Bennett Road), in Adams County, CO. Electricity from the project will be interconnected directly to the adjacent electric transmission line along North Converse Road or at the Victory Substation, both owned by IREA.

The economic impact of Kiowa Solar, though not readily quantifiable, will be substantive. Whether in the form of local construction spending, locally-sourced construction labor, or local services contracts, significant monetary expenditures and revenue can be anticipated within Adams County, the Town of Bennett, and surrounding environs.

The Project will utilize approximately 600 acres of land, and will have the capacity to produce approximately 64 Megawatts AC (MWac) of power. The land inside the perimeter fence will be used solely for the purposes of the solar project. An agreement between the electric utility company and the Project will be pursued in the near future, which will provide for a maximum expected facility life of 35 years. A site location map is included with this CUP application as an attachment.

Kiowa Solar was granted a CUP by the Adams County Board of County Commissioners, under Case #RCU2017-00028, on October 17, 2017 with a unanimous vote of approval. Unfortunately, the Company was not able to meet the fourth Condition of Approval, namely the issuance of a building permit from Adams County within one year following the CUP approval date. Construction feasibility, however, is now in sight and as such the Company feels confident in pursuing a CUP for a second time on this exciting opportunity for both the County and the Company.



Vegetation Plan

Kiowa Solar Project

Adams County, Colorado

July 16, 2019



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APPENDICES

- A KIOWA SOLAR GRASS SEED MIX
- B EXAMPLES OF ACCEPTABLE AND NON-ACCEPTABLE VEGETATION
MANAGEMENT

1.0 GENERAL SITE INFORMATION

1.1 *Site Description & Ownership*

The subject site is located between Converse Road, State Highway 79 (Kiowa – Bennett Road), and East 56th Avenue just north of Bennett, Colorado. The site comprises portions of Adams County Parcel #s 181500000246, 181500000034, 181500000032, and 181500000051; all four parcels are owned by Dennis and Beth Ann Smialek and are being aggregated into one single parcel called the Smialek Subdivision as a part of the Kiowa-52 Solar Conditional Use Permit; a licensed professional surveying firm is presently preparing the survey plat, which will be filed with the County shortly. The subject site consists of an approximately 600-acre area of land that is currently under active agriculture.

The Kiowa Solar Project (“Project”) is located in an area that can generally be described as rural agricultural farm land, zoned by Adams County as A-3. The Project site will be bounded on the north by active agricultural land; ~1600’ to the north lies East 56th Avenue. On the west, the site is adjacent to North Converse Road. The site is bounded on the south by agricultural farm land (Parcel #181500000052). Finally, the east side faces – and is separated at a distance of ~250’ – Colorado Highway 79 (aka Kiowa – Bennett Road); this portion will serve as an active agricultural buffer from Highway 79. Additionally, across Converse Road to the northwest lies the Intermountain Rural Electric Association (IREA)-owned Victory Substation and appurtenant high-voltage IREA electric transmission lines.

The area encompassed by the Project slopes generally northerly at a low gradient, transected by two drainages upon which the Project’s arrays will not be built to avoid both slopes and the natural riparian corridors.

1.2 *Historical and Current Site Use*

The site has historically been an undeveloped piece of property utilized exclusively for farming purposes, including during the 2019 agricultural year.

1.3 *Existing Groundcover Conditions*

The existing groundcover at the site consists of a mixture of various crops or bare ground, as well as volunteer grasses and weeds.

2.0 PLANNED VEGETATION MANAGEMENT

2.1 *Site Preparation*

To prepare for civil construction activities and future solar racking installation, the civil subcontractor will cut the existing vegetative cover, if present, at the site within the lease boundary of the Project. This effort will minimize site preparation issues upon start of construction. The subcontractor will then disc the mowed areas and drill seed the site with a custom seed mix for the Project. Any weeds

or involuntary vegetation will get mowed a second or third time, if needed, prior to the solar racking foundation installation to both combat weeds and to ease installation efforts.

Additionally, several areas of the site will require overlot grading to bring the site into the correct tolerances for the solar racking installation. These disturbed areas as well will be drill-seeded and hydromulched after grading activities are complete.

2.2 *Planned Groundcover*

In 2015-2016, our team has worked diligently with both local landowners and seed suppliers in the area to determine the appropriate groundcover for Victory Solar, our neighboring photovoltaic project to the west across Converse Road. Given the positive experience and learning from Victory Solar, Kiowa Solar will utilize a low growth grass seed mix that includes the following species: Blue Grama, Crested Wheatgrass, Sheep Fescue, Perennial Ryegrass, Chewings Fescue, and Canada Bluegrass. Victory Solar chose this mix given its ability to provide fast growth groundcover initially and to ultimately establish a low growth grass cover that will require less frequent maintenance, yet provide the necessary soil stabilization to combat erosion at the site. These qualities, given the same landscape and climatic conditions at Kiowa Solar, will yield a positive end result. The selected seed mix can be found in Appendix A below.

In the northwestern corner of the project surrounding (and including) the Project's Kiowa Substation, an approximately 3.5 acre area will be treated with road base rock to a depth of approximately 10" as a form of both safety and vegetation management.

All planned groundcover planting and management will conform to Section 16 of Chapter 4 of the Adams County Development Standards & Regulations.

2.3 *Enhanced East Side Fencing*

In light of the exposure of the facility to neighboring residences on the east side of Colorado Highway 79, an upgraded fence – as recommended by the Adams County Board of County Commissioners in Kiowa Solar's 2017 Condition Use Permit – on the eastern side will help to provide a visual best practice alternative. Black vinyl-coated chain-link fencing will be employed along the entire east-facing flank as the recommended and selected fence alternative.

2.4 *Maintenance Schedule*

Kiowa Solar LLC ("Company") plans to mow the site approximately 2 to 5 times per year. Given the low and slow growth characteristics of the selected grass species, this maintenance schedule should suffice; depending on weather and moisture conditions, this rate may fluctuate.

Additionally, given the ground-nesting bird season from May through June, the Company will minimize mowing efforts in order to maintain, on average, a grass height of no less than 10 inches to accommodate local environmental considerations. Additionally, the grass will not be mowed unless it interferes with modules during this season or if the Company determines mowing is necessary for other reasons.

Typical maintenance for the area around the perimeter of the site between the solar arrays and the security fence will include mowing at the same rate and minimizing weed growth. Any larger vegetation in this array-free zone will be sprayed and killed or removed as necessary.

2.5 *Invasive Plant Species Management*

Given the current site conditions, it is assumed that invasive weed species will be an ongoing issue, making it necessary for Kiowa Solar to apply herbicides on an annual basis. Anticipated products to be sprayed at the site, may include, but not limited to, Triplet SF, Vanquish, DuPont™ Throttle® XP herbicide (pre-emergent), arsenal/glyphosate mix (post emergent), and glyphosate/Pin-Dee/2,4-D mix (spot spraying), or equivalent.

2.6 *Maintenance Obligations and Future Coordination*

The Project's Company shall adhere to the guidelines provided within this Vegetation Plan, and as deemed necessary by the Bennett-Watkins Fire Rescue for the ongoing vegetation management of the Project. Furthermore, and for the duration of the solar arrays' operational lifespan, the Company will work with Bennett-Watkins Fire Rescue to meet current IFC requirements as they relate to site maintenance per Section 605.11.4, as well as evaluate and incorporate any substantive changes put forth by the IFC in future code revisions as they pertain to vegetation management of ground-mounted solar arrays. Refer to Appendix B for photos depicting acceptable and non-acceptable conditions for vegetation maintenance.

Appendix A

Kiowa Solar Anticipated Grass Seed Mix:

25.00% Blue Grama

22.50% Crested Wheatgrass, Ephraim

18.75% Sheep Fescue

15.00% Perennial Ryegrass

11.25% Chewings Fescue

7.50% Canada Bluegrass

Application Rate: Drill seed 15 lbs / acre

Appendix B

Examples of Acceptable and Non-Acceptable Vegetation Management



Photo 1. Acceptable Vegetation



Photo 2. Acceptable Vegetation

Appendix B, cont'd



Photo 3. Non-acceptable vegetation management



Photo 4. Non-acceptable vegetation management



Vegetation Plan

Kiowa Project Substation

Adams County, Colorado

July 16, 2019



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APPENDIX

- A EXAMPLES OF ACCEPTABLE AND NON-ACCEPTABLE VEGETATION
MANAGEMENT

1.0 GENERAL SITE INFORMATION

1.1 *Site Description & Ownership*

The subject site is located adjacent to Converse Road, ~1500' south of East 56th Avenue, just north of Bennett, Colorado. The site comprises a small portion of the current Adams County Parcel #181500000246, owned by Dennis and Beth Ann Smialek; however this parcel and three contiguous others are being aggregated into one single parcel called the Smialek Subdivision as a part of the Kiowa-52 Solar Conditional Use Permit; a licensed professional surveying firm is presently preparing the survey plat, which will be filed with the County shortly. The subject site consists of an approximately 1/2-acre area of land that is currently under active agriculture.

The Kiowa Substation ("Project Sub") is located in an area that can generally be described as rural agricultural farm land, zoned by Adams County as A-3. The Project Sub site will be bounded on the north by active agricultural land. On the west, the Project Sub will be adjacent to North Converse Road. Last, the Project Sub will be bounded on the south and east sides by road base rock treatment. Additionally, the Project Sub will be subject to Adams County's Type C Bufferyard standards on the north, south, and west sides of the site.

The area encompassed by the Project Sub slopes generally northerly at a low gradient; Kiowa Solar LLC ("Company") will prepare the site to be more or less level.

1.2 *Historical and Current Site Use*

The site has historically been an undeveloped piece of property utilized exclusively for farming purposes, including during the 2019 agricultural year.

1.3 *Existing Groundcover Conditions*

The existing groundcover at the site consists of a mixture of various crops or bare ground, as well as volunteer grasses and weeds.

2.0 PLANNED VEGETATION MANAGEMENT

2.1 *Site Preparation*

To prepare for civil construction activities and future solar racking installation, the civil subcontractor will cut the existing vegetative cover, if necessary, at the site within the lease boundary of the Project Sub. Additionally, the site likely will require overlot grading to bring it into the correct tolerances for solar substation installation and use.

2.2 *Planned Groundcover*

Road base-type rock will be installed to a depth of ~10" for permanent landscape groundcover, for both safety and security of the Project Sub.

Around the north, west, and south sides of the Project Sub, Adams County Community Development Staff has recommended Type C Bufferyard as a landscape treatment as a best practice. The Company will follow the County's Type C Bufferyard regulation, found in Section 16 of Chapter 4 ("Adams County Design Requirements and Performance Standards") of the County's Development Standards & Regulations, in both landscape selection and maintenance. Prior to the Company's building permit application, the Company will provide a professional landscape plan using plantings, coverage, and maintenance recommended and or required by the County in Section 16 of Chapter 4 of said Adams County Development Standards & Regulations.

2.3 *Enhanced West Side Fencing*

To comply with Adams County development standards for substations, the west side fence of the Project Sub – the side facing Converse Road – will be made of a TBD masonry material typical of substation walls in many areas.

2.4 *Maintenance Schedule*

Given the depth of road base, vegetation maintenance on the majority of the Project Sub is anticipated to be minimal. However, the Company will ensure that vegetation mitigation will be addressed on an as-needed basis, likely not needed more frequently than 5 times per year.

The area of the Project Sub to be crafted into a Type C Bufferyard (the north, south, and west sides) will also be maintained as needed, but will be inspected for plant die off each growing season, with replacement of expired plants installed as per County requirements for a Type C Bufferyard as of the approval date of the Kiowa-52 Solar Conditional Use Permit.

2.5 *Invasive Plant Species Management*

Should invasive weed species take root and grow to a level which necessitates mitigation, the Company will apply herbicides on an as-needed basis, not to exceed once per year. Anticipated products to be sprayed at the site, may include, but not limited to, Triplet SF, Vanquish, DuPont™ Throttle® XP herbicide (pre-emergent), arsenal/glyphosate mix (post emergent), and glyphosate/Pin-Dec/2,4-D mix (spot spraying), or equivalent.

2.6 *Maintenance Obligations and Future Coordination*

The Project Sub's Company shall adhere to the guidelines provided within this Vegetation Plan, and as deemed necessary by the Bennett-Watkins Fire Rescue for the ongoing vegetation management of the Project Sub. Furthermore, and for the duration of the solar arrays' operational lifespan, the Company will work with Bennett-Watkins Fire Rescue to meet current IFC requirements as they relate to site maintenance per Section 605.11.4, as well as evaluate and incorporate any substantive changes put forth by the IFC in future code revisions as they pertain to vegetation management of ground-mounted solar arrays. Refer to Appendix A for photos depicting acceptable and non-acceptable conditions for vegetation maintenance.

Appendix A

Examples of Acceptable and Non-Acceptable Vegetation Management



Photo 1. Acceptable Vegetation



Photo 2. Non-acceptable vegetation management

T:\CO427 - IREA OF - KiowaENGINEERING\Drawings\AutoCAD Proposal Drawings\Site Civil\Solar_Civil\01 - CO427_Civil.dwg Site Plan SP1 10/17/15.dwg



PROPERTY INFORMATION

OWNER: DENNIS AND BETH ANN SMIALEK
DESCRIPTION: SECTION 15 AND NORTH 1/2 OF THE NORTH 1/2 OF SECTION 22, T3S, R63W, 6TH P.M.
PARCEL NO.: CURRENTLY 0181500000246, 0181500000032, 0181500000034, 0181500000051; TBD UPON FILING OF SMIALEK SUBDIVISION PLAT
PARCEL ACREAGE: 798 ACRES
PROJECT ACREAGE: 600 ACRES

APPLICANT INFORMATION

NAME: KIOWA SOLAR LLC
ADDRESS: 1710 28TH STREET, SUITE 1068 BOULDER, CO 80301
PHONE NO.: (303) 440-7430
CONTACT: DAVE KIMMETT, PROJECT PLANNER

PROJECT PHASING

PERMITTING: AUGUST 2019 - NOVEMBER 2019
APPROXIMATE CONSTRUCTION SCHEDULE:
A. CONSTRUCTION: AUGUST 2020 - DECEMBER 2021
B. START OF CONSTRUCTION: AUGUST 2020
C. GRADING, FENCE, ROADS & STAGING AREAS: AUGUST 2020 - DEC. 2020
D. SOLAR RACKING FOUNDATIONS: JANUARY 2021 - MAY 2021
E. SOLAR RACKING INSTALLATION: FEBRUARY 2021 - JULY 2021
F. ELECTRICAL EQUIPMENT AND CABLE: MARCH 2021 - DECEMBER 2021
G. INTERCONNECTION: MARCH 2021 - DECEMBER 2021
H. SITE RESTORATION: SUMMER 2021 & SPRING 2022

SETBACKS

PROPERTY IS ZONED AGRICULTURE - 3, WITH THE FOLLOWING MINIMUM SETBACKS:
FRONT (SECTION LINE ARTERIAL): 120 FEET FROM SECTION LINE
SIDE: 10 FEET
REAR: 20 FEET

THE PROJECT MEETS ALL MINIMUM SETBACKS, REFER TO DIMENSIONS ON THE SITE PLAN REFERRING IMPROVEMENTS TO ALL ADJACENT PROPERTY LINES AND RIGHTS-OF-WAY.

RIGHT-OF-WAY DEDICATION

KIOWA SOLAR LLC WILL DEDICATE AN ADDITIONAL 10 FEET FOR CONVERSE ROAD, AN ADDITIONAL 40 FEET FOR HIGHWAY 79, AND 30 FEET FROM THE CENTERLINE OF EAST 56TH AVENUE.

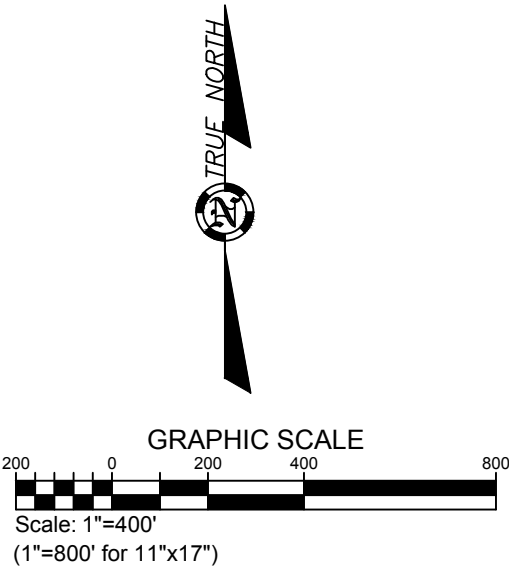
GENERAL NOTES

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3. TRAFFIC MANAGEMENT/FLOW - CONSTRUCTION TRAFFIC WILL ALL COME FROM INTERSTATE 70. THE PREFERRED ROUTE IS NORTH ON HIGHWAY 79 AND WEST ON E. 56TH AVENUE.
4. LIGHTING - SHIELDED LIGHTING FIXTURES WILL BE INSTALLED AT EACH SITE ENTRANCE GATE, THE O&M SHED AND AT EACH POWER STATION LOCATION. THE LIGHT FIXTURE AT THE SITE ENTRANCES WILL BE A MOTION ACTIVATED FLOODLIGHT COMPOSED OF TWO 150W INCANDESCENT FLOODLIGHT BULBS. THE LIGHT FIXTURES AT THE O&M SHED AND POWER STATIONS WILL BE A SWITCH ACTIVATED FLOODLIGHT COMPOSED OF TWO 100W INCANDESCENT FLOODLIGHT BULBS. THERE WILL NOT BE ANY LIGHTING LEFT ON DURING NORMAL OPERATIONS.
5. FOR ELEVATION PLAN SEE SHEET SP2.1 AND SP2.2.
6. FOR SIGN AND FENCE DETAILS SEE SHEET SP3.

LEGEND

- SECTION LINE
- APPROXIMATE PARCEL LINE
- EXISTING FENCE LINE
- TRACKING ARRAY
- EXISTING 1' CONTOURS (OBTAINED FROM DRCOG GIS DATA)
- PROPOSED GRAVEL SITE ACCESS DRIVE
- PROPOSED CONSTRUCTION STAGING AREA/ TEMPORARY PARKING
- PROPOSED SECURITY FENCE
- PROJECT LIMITS
- APPROXIMATE PARCEL LINE DIMENSION

IMPERVIOUS AREAS		
DESCRIPTION	QUANTITY	AREA
O&M SHED (24' x 40')	1	960 S.F.
POWER STATIONS (12' x 32')	19	7,296 S.F.
TOTAL		8,256 S.F.



Revisions	
Rev	Drawn
1	10/17/15

Revisions	
Checked	Reviewed
Approved	Approved

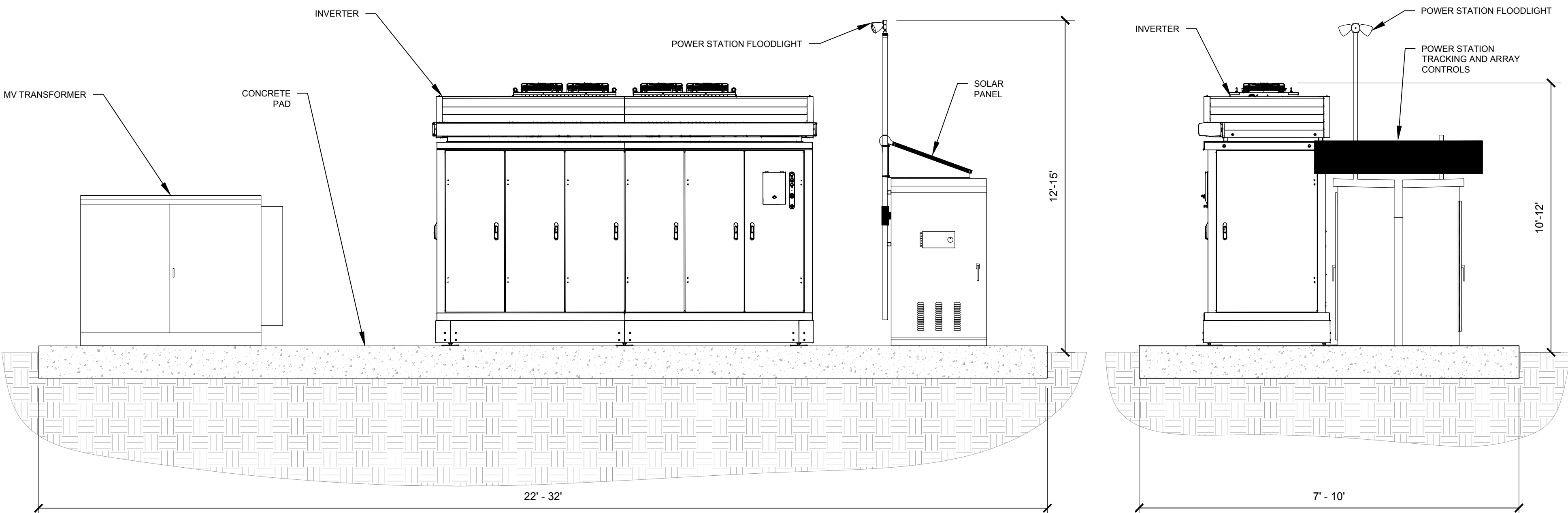
Kiowa - 52 Solar Project
Kiowa Solar Facility, Adams County, Colorado

FOR INFORMATION ONLY

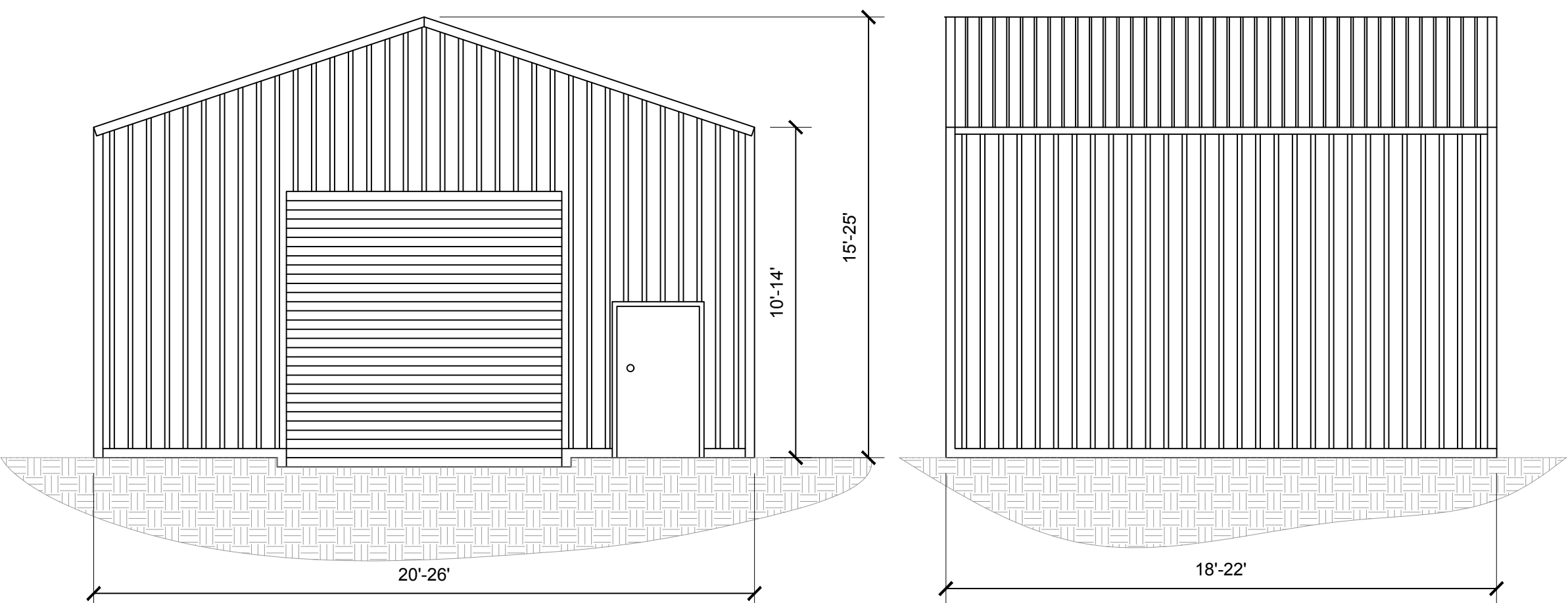
PROPRIETARY AND CONFIDENTIAL
ISSUED BY: KIOWA SOLAR LLC
JOB # CO427
SCALE: 1:400 (22"x34")
DWG #

SP1

DWG TITLE: Site Plan



1 POWER STATION-FRONT AND SIDE ELEVATIONS
SP2.1 SCALE: NTS



2 O&M/STORAGE SHED-FRONT AND SIDE ELEVATIONS
SP2.1 SCALE: NTS

Revisions				
Rev	Drawn	Checked	Reviewed	Approved
A	10/09/2019			

Kiowa- 52 Solar Project
Kiowa Solar Facility, Adams County, Colorado

FOR
INFORMATION
ONLY

PROPRIETARY AND CONFIDENTIAL
ISSUED BY: KIOWA SOLAR, LLC
JOB #: C0427
SCALE: NTS
DWG #:

SP2.1

DWG TITLE:

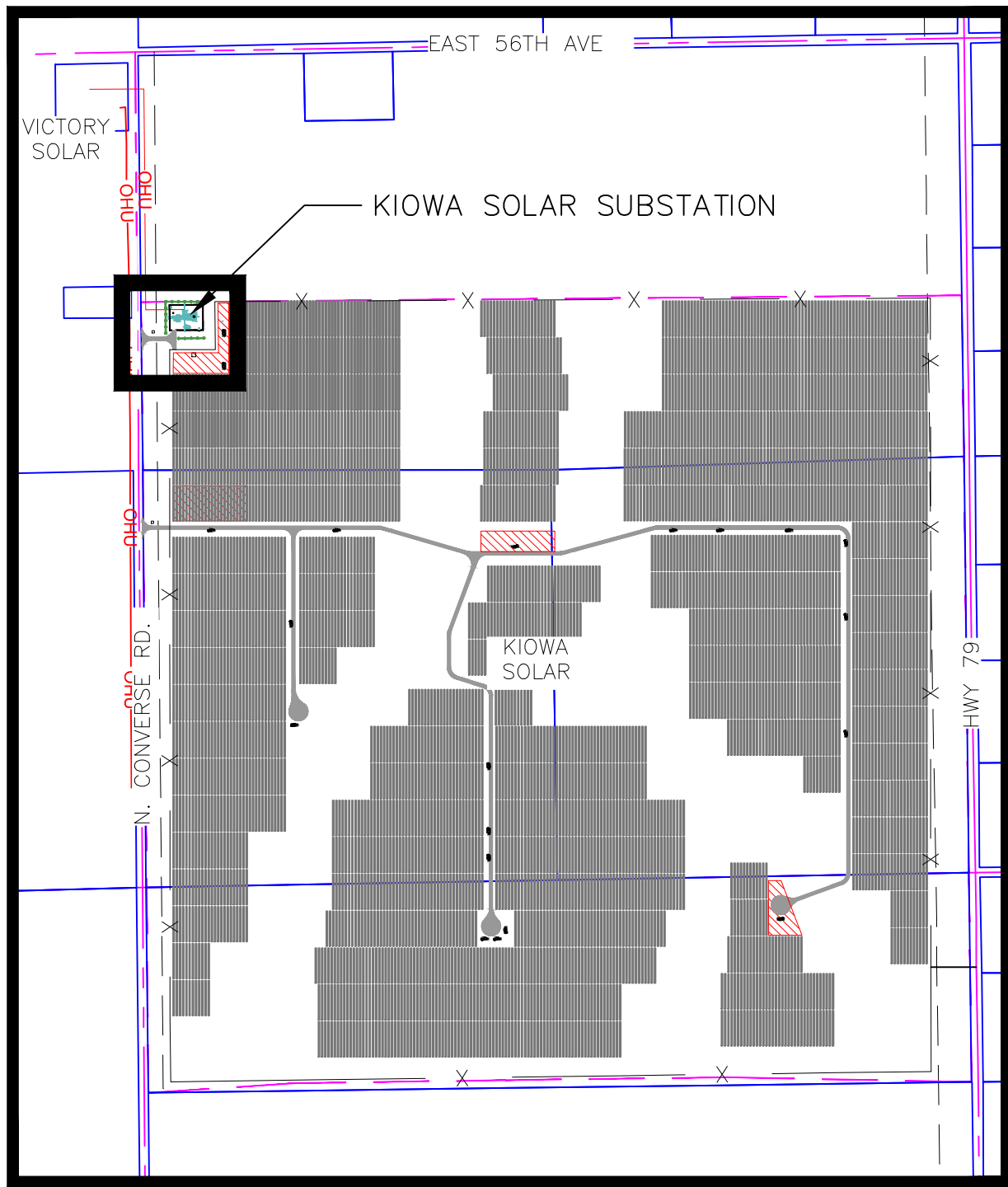
Site Plan Elevations



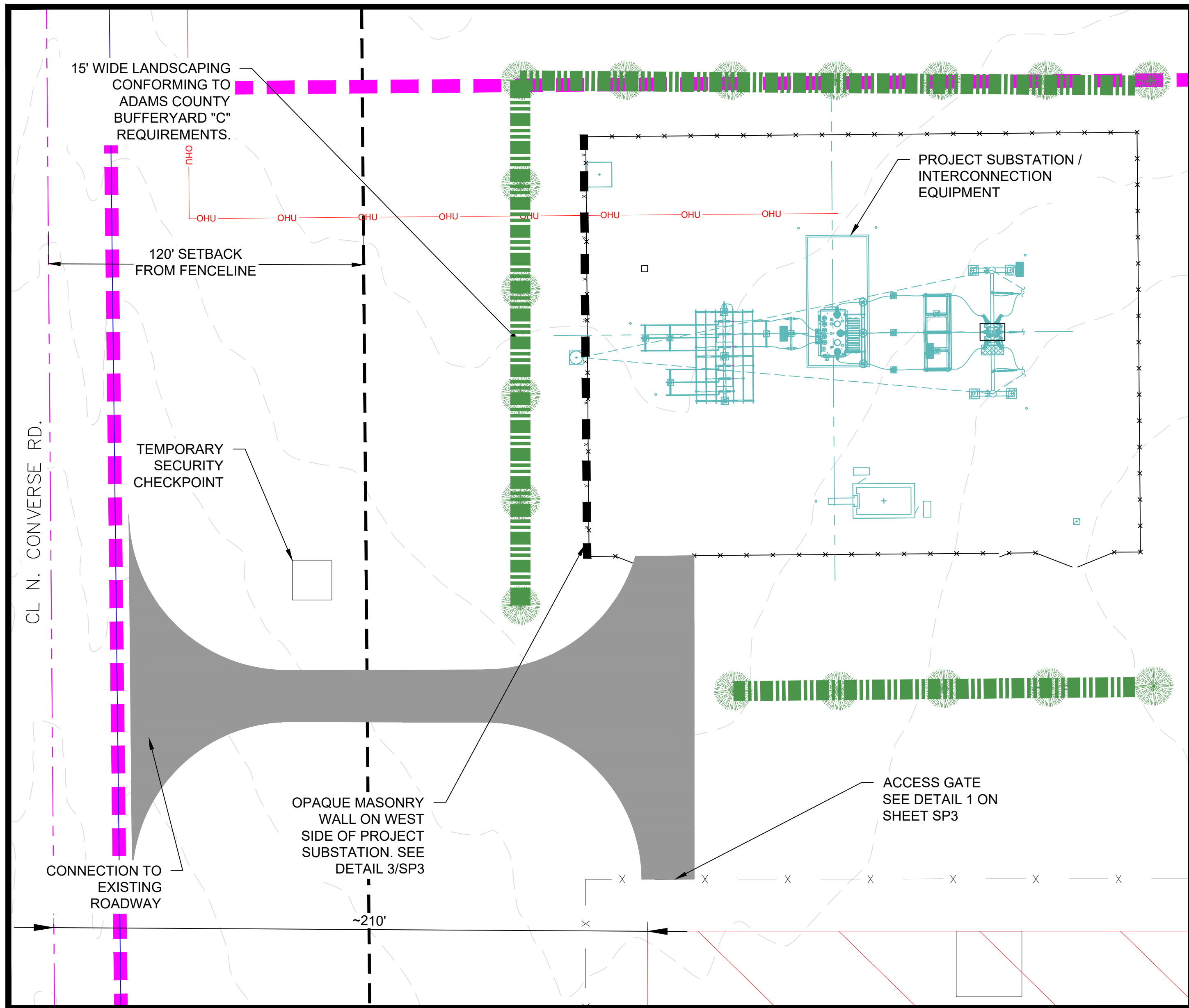
Kiowa - 52 Solar Project

Site Plan Elevations

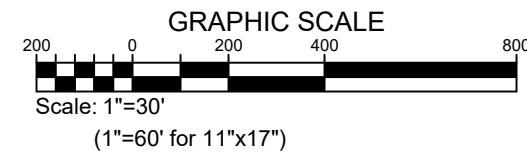
T:\C0427 - BEA_02 - Kiowa\ENGINEERING\01 Drawings\08 Autocad\Proposed Drawings\02 Civil\Substation_CIP Site Plan SP1 190715.dwg



1
SP1
KEY MAP
SCALE: 1"=1000'



1
SP1
SITE SUBSTATION PLAN
SCALE: 1"=30'



PROPERTY INFORMATION

OWNER: DENNIS AND BETH ANN SMIALEK
DESCRIPTION: SECTION 15 AND NORTH 1/2 OF THE NORTH 1/2 OF SECTION 22, T3S, R63W, 6TH P.M.
PARCEL NO.: CURRENTLY 0181500000246, 0181500000032, 0181500000034, 0181500000051, TBD UPON FILING OF SMIALEK SUBDIVISION PLAT
PARCEL ACREAGE: 798 ACRES
PROJECT ACREAGE: 1.25 ACRES

NAME: KIOWA SOLAR LLC
ADDRESS: 1710 29TH STREET, SUITE 1068
BOULDER, CO 80301
(303) 440-7430
CONTACT: DAVE KIMMETT, PROJECT PLANNER

PROJECT PHASING

PERMITTING: AUGUST 2019 - NOVEMBER 2019
APPROXIMATE CONSTRUCTION SCHEDULE:
A. CONSTRUCTION: AUGUST 2020 - DECEMBER 2021
B. START OF CONSTRUCTION: AUGUST 2020
C. GRADING, FENCE, ROADS & STAGING AREAS: AUGUST 2020 - DEC. 2020
D. SOLAR RACKING FOUNDATIONS: JANUARY 2021 - MAY 2021
E. SOLAR RACKING INSTALLATION: FEBRUARY 2021 - JULY 2021
F. ELECTRICAL EQUIPMENT AND CABLE: MARCH 2021 - DECEMBER 2021
G. INTERCONNECTION: MARCH 2021 - DECEMBER 2021
H. SITE RESTORATION: SUMMER 2021 & SPRING 2022

SETBACKS

PROPERTY IS ZONED AGRICULTURE - 3, WITH THE FOLLOWING MINIMUM SETBACKS:
FRONT (SECTION LINE ARTERIAL): 120 FEET FROM SECTION LINE
SIDE: 10 FEET
REAR: 20 FEET

THE PROJECT MEETS ALL MINIMUM SETBACKS, REFER TO DIMENSIONS ON THE SITE PLAN REFERRING IMPROVEMENTS TO ALL ADJACENT PROPERTY LINES AND RIGHTS-OF-WAY.

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IMPERVIOUS AREAS		
DESCRIPTION	QUANTITY	AREA
CONTROL BUILDING (13' x 24')	1	312 S.F.
MISC CONCRETE FOUNDATIONS	VARIES	1,680 S.F.
TOTAL		1,992 S.F.

FOR
INFORMATION
ONLY

PROPRIETARY AND CONFIDENTIAL
ISSUED BY: KIOWA SOLAR LLC
JOB #: C0427
SCALE: NTS
DWG #:

SP1

DWG TITLE:

Site Substation
Plan

Kiowa - 52 Solar Project
Project Substation
Adams County, Colorado

Revisions

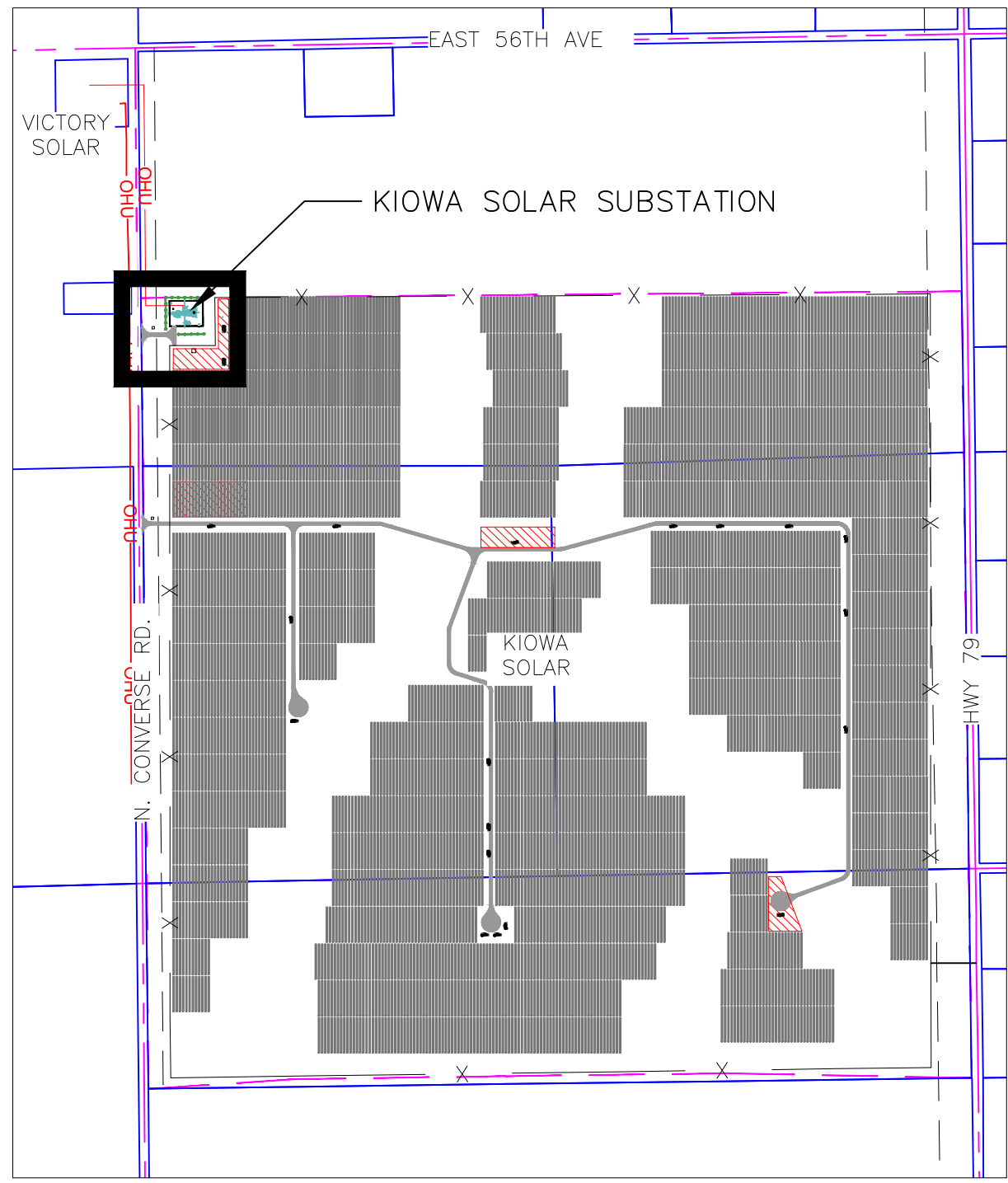
Approved

Checked

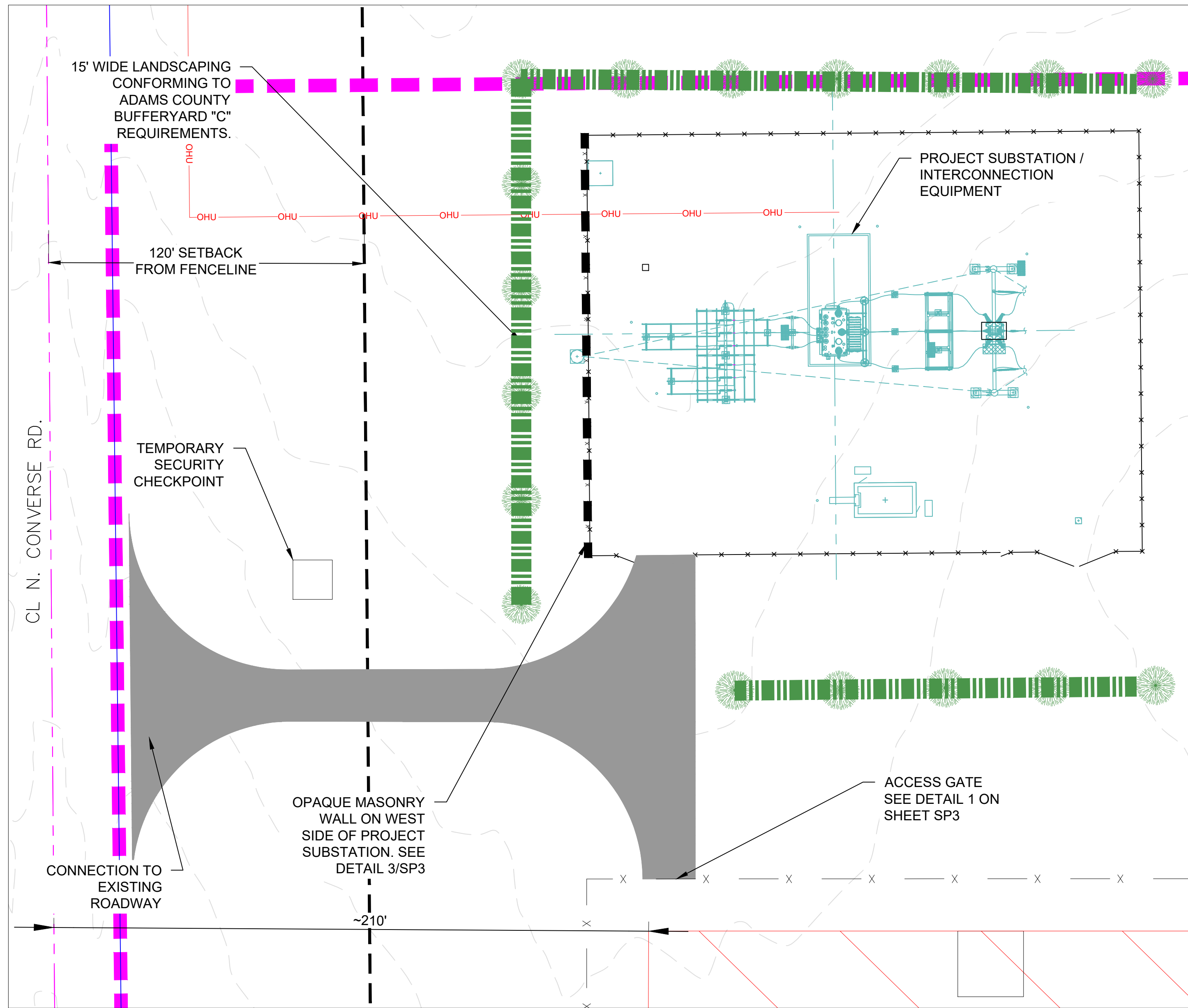
Drawn

Rev

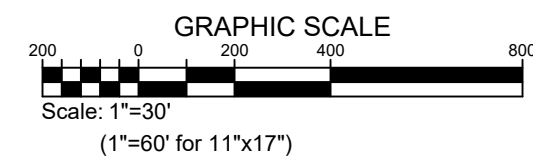
T:\C0427 - BEA_02 - Kiowa\ENGINEERING\01 Drawings\05 AutoCAD\Proposed Drawings\02 Civil\Substation_CIP Site Plan SP1 190715.dwg



1
SP1
KEY MAP
SCALE: 1"=1000'



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SP1
SITE SUBSTATION PLAN
SCALE: 1"=30'



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 - MASONRY OPAQUE WALL
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MISC CONCRETE FOUNDATIONS	VARIES	1,680 S.F.
TOTAL		1,992 S.F.

Revisions

Rev	Drawn	Checked	Reviewed	Approved
1	190715/SP1			

Kiowa - 52 Solar Project

Project Substation

Adams County, Colorado

FOR INFORMATION ONLY

PROPRIETARY AND CONFIDENTIAL

ISSUED BY: KIOWA SOLAR LLC

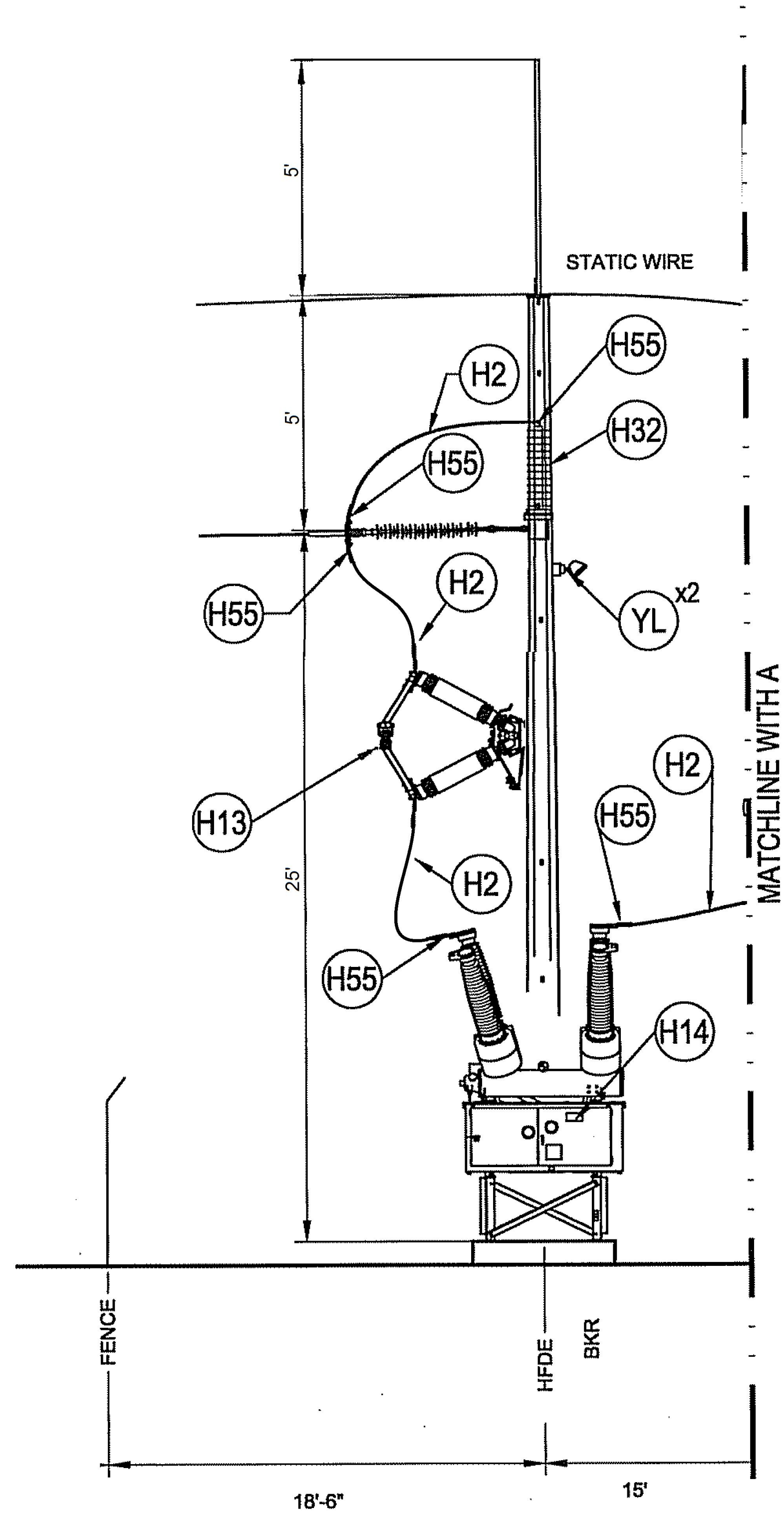
SUB #: C0427

SCALE: NTS

DWG #: SP1

DWG TITLE: Site Substation Plan

\\2\proj\SP2\CO27 - RES OF - Kiowa\ENGINEERING\01 Drawings\BKR AutoCAD Proposal Drawings\CO27 Substation CIPR 115kV Yard Elevations SP2-1.dwg



1 115kV SECTION
SP2-1 SCALE: NTS

FOR
INFORMATION
ONLY

PROPRIETARY AND CONFIDENTIAL

ISSUED BY: KIOWA SOLAR LLC

SUB #: CO27

SCALE: NTS

DWG #: SP2-1

DWG TITLE: 115kV SECTION

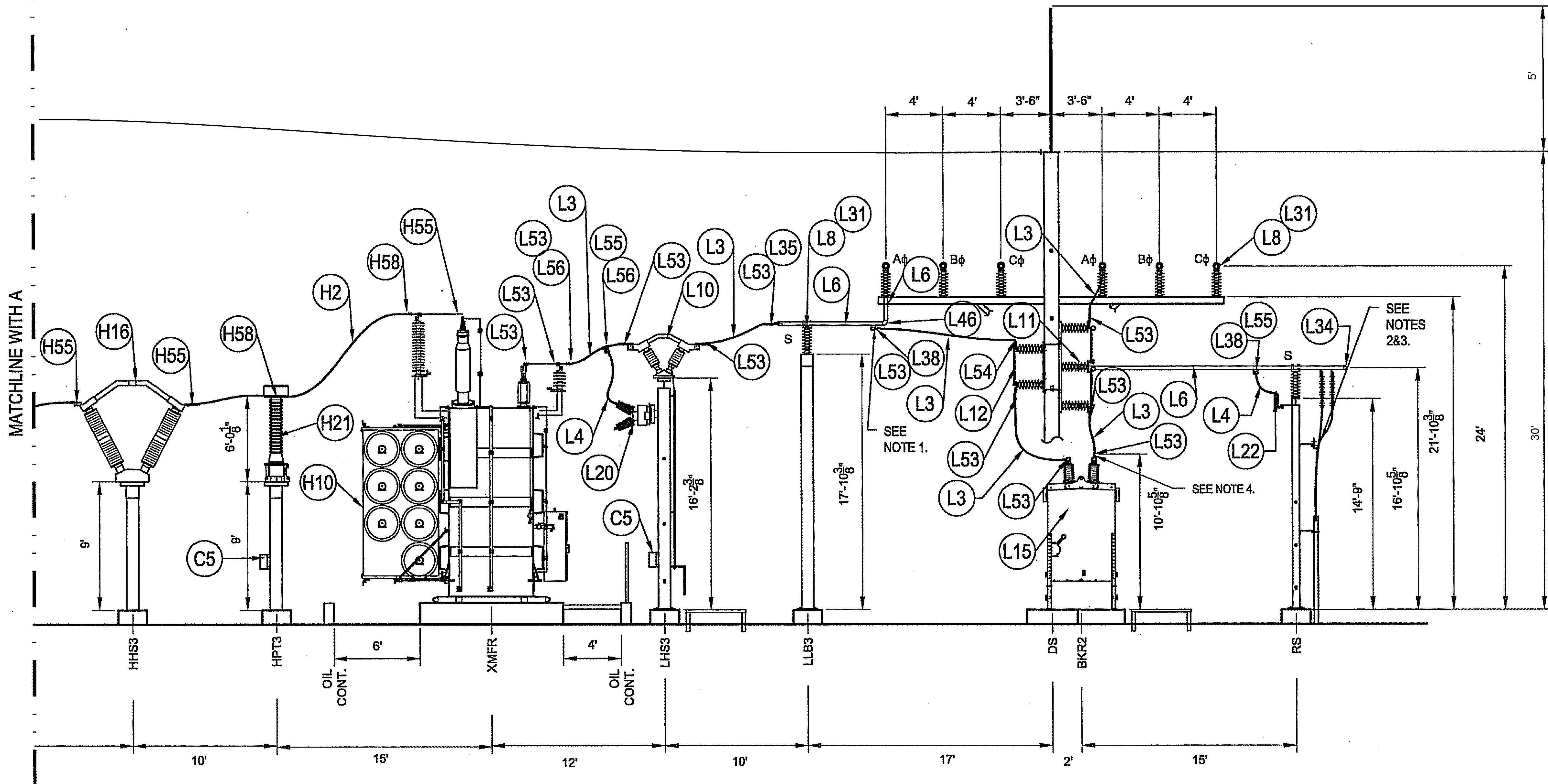
Rev	Drawn	Checked	Reviewed	Approved	Revisions
1	10/2/2018				ISSUE FOR APPROVAL

Kiowa - 52 Solar Project

Project Substation

Adams County, Colorado

\\27proj\proj\SP2-2 - ISSUED BY: KOWA ENGINEERING\01 Drawings\02 Proposed Drawings\02 Substation\02 SP2-2 34.5kV Section.dwg



1 34.5kV SECTION
SP2-2 SCALE: NTS

Rev	Drawn	Checked	Reviewed	Approved	Revisions
1	10/1/18				ISSUED FOR APPROVAL

Kiowa - 52 Solar Project
Project Substation
Adams County, Colorado

FOR INFORMATION ONLY

PROPRIETARY AND CONFIDENTIAL
ISSUED BY: KOWA ENGINEERING
JOB # SP2-2
SCALE: NTS
DWG # SP2-2

DWG TITLE: 34.5kV SECTION

Floor plan of a control room showing equipment layout and dimensions. The room is 12' - 1 1/2" wide and 10' - 2 3/4" deep. The layout includes:

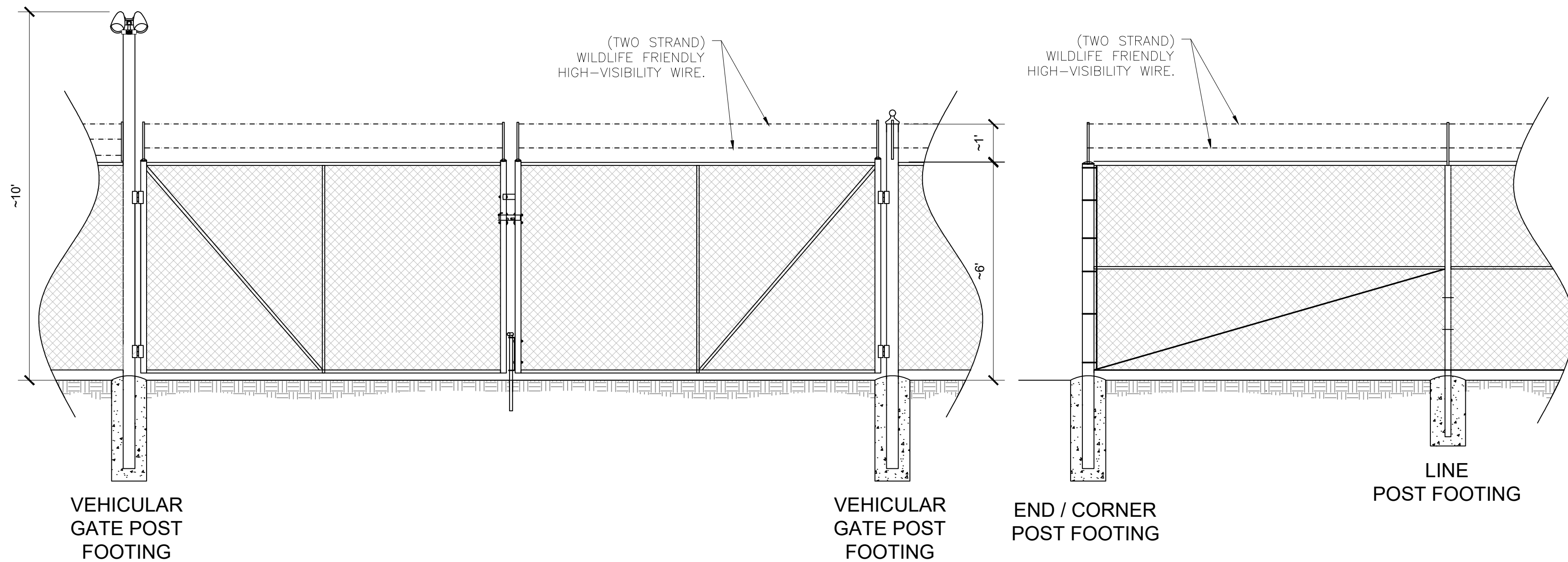
- Service Disconnect Switch Fused @ 200 AMPS NEMA 3-R**: Located on the right wall, 8' - 4 1/4" from the right wall.
- Manual Transfer Switch 225 AMP NEMA 3-R**: Located in the center of the room, 6" from the left wall.
- Alternate Service Disconnect Switch Fused @ 200 AMPS NEMA 3-R**: Located on the left wall, 5' - 0" from the left wall.
- Control Console**: Located on the left wall, 10' - 2 3/4" from the left wall.
- Door**: Located on the right wall, 8' - 4 1/4" from the right wall.
- Dimensions**:
 - Room width: 12' - 1 1/2"
 - Room depth: 10' - 2 3/4"
 - Distance from left wall to Manual Transfer Switch: 6"
 - Distance from Manual Transfer Switch to Service Disconnect Switch: 6"
 - Distance from left wall to Alternate Service Disconnect Switch: 5' - 0"
 - Distance from right wall to Door: 8' - 4 1/4"

<p>FOR INFORMATION ONLY</p>	
<p><u>PROPRIETARY AND CONFIDENTIAL</u></p> <p>ISSUED BY: KOWA SULAR L.L.C. JOB #: C0427 SCALE: N/S DWG #: _____</p> <p>SP2-2</p>	
<p>DWG TITLE:</p> <p>CONTROL BUILDING SECTION</p>	

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Kiowa - 52 Solar Project
Project Substation
Adams County, Colorado

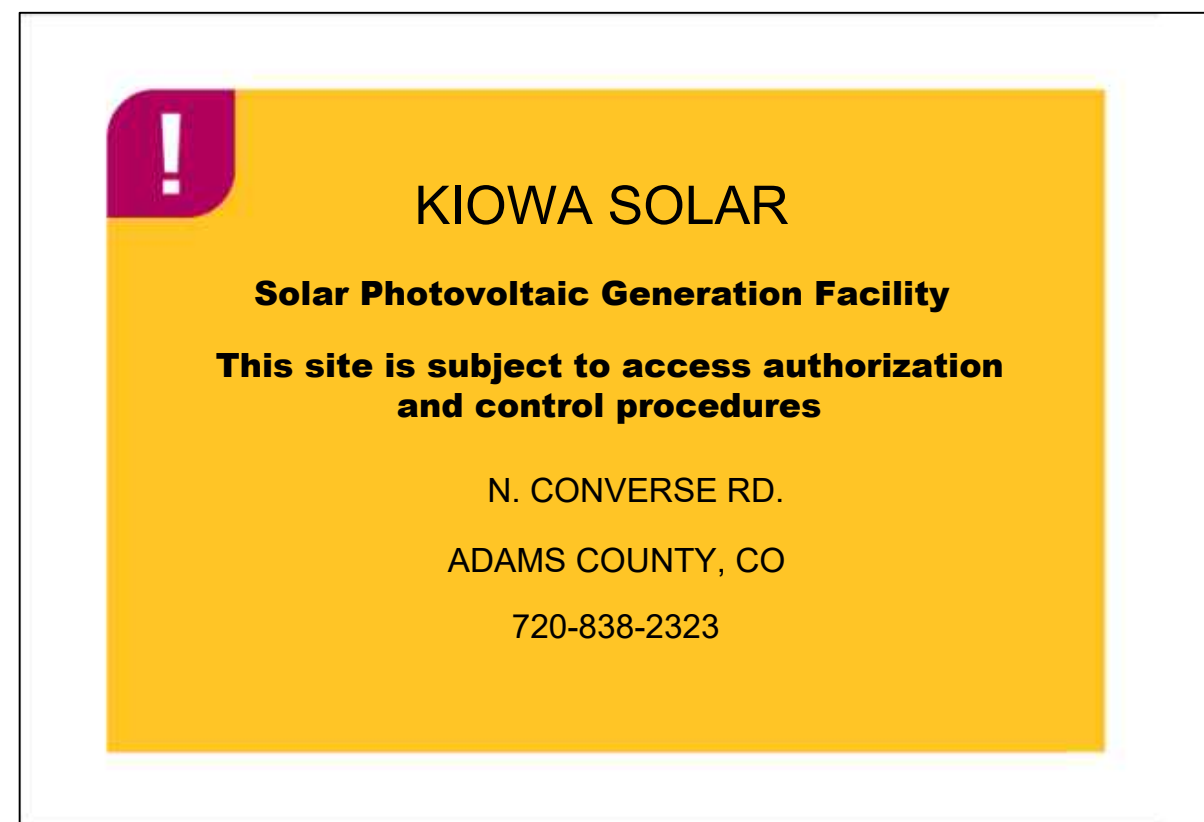
T:\C0027 - KSA OF - KiowaENGINEERING\Drawings\SP3 AutoCAD\Proposed Drawings\02 Calculations\02 Calculations\SP3 Fence Details\SP3 Fence Details.dwg



1 GATE & TYPICAL FENCE DETAILS FOR NORTH, EAST, AND SOUTH SIDES

SP3 SCALE: NTS

- NOTES:
- FENCE WILL BE GALVANIZED CHAIN LINK WITH 2" MESH, 9 GAUGE.
 - TOP TOW WIRES WILL BE HIGH-VISIBILITY FOR WILDLIFE CONSIDERATIONS PER RECOMMENDATION OF COLORADO PARKS AND WILDLIFE.



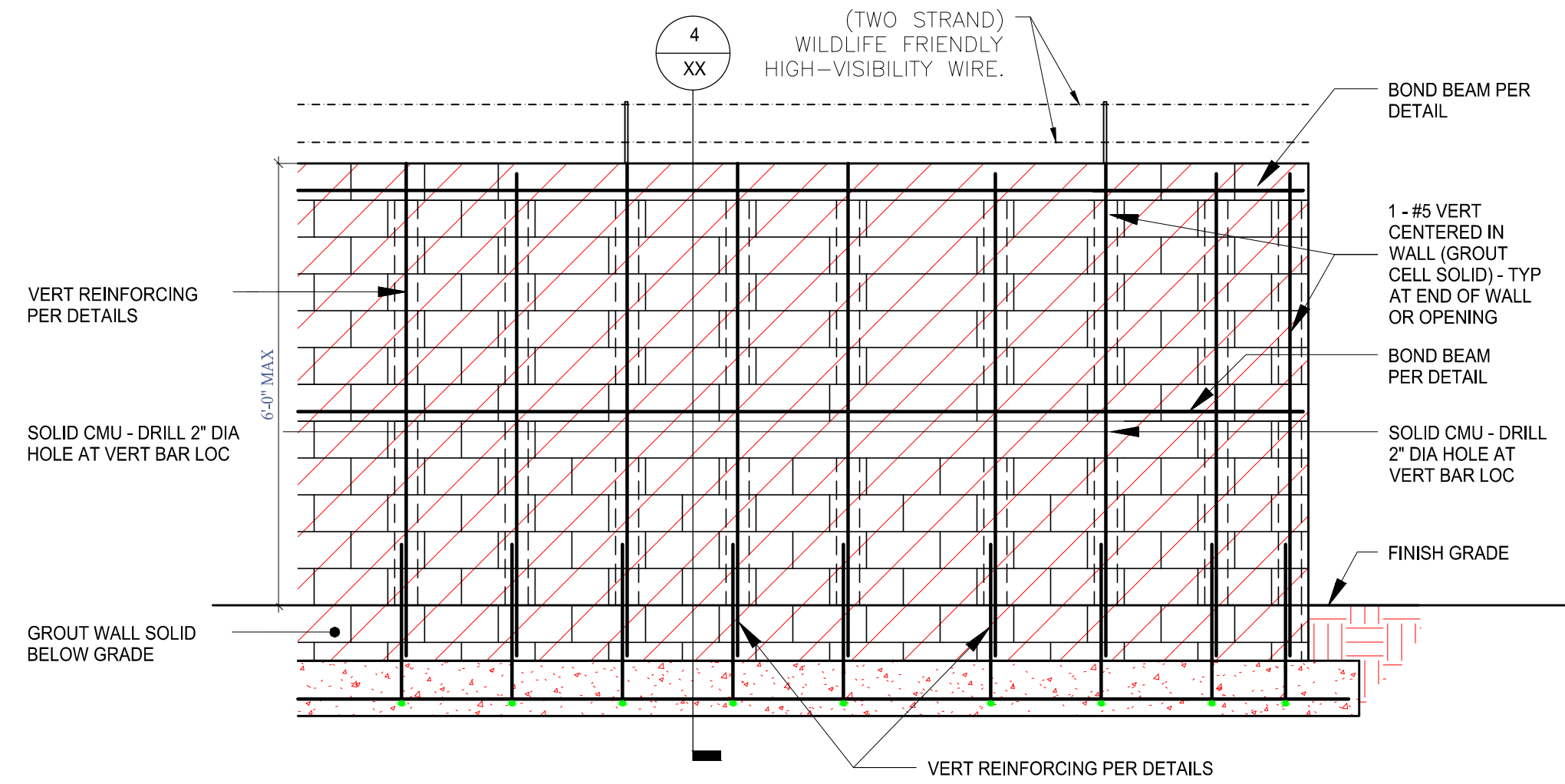
SITE ENTRANCE SIGN
(INSTALLED AT EACH ENTRANCE GATE)



FENCE SAFETY SIGNS
(INSTALLED ON FENCE EVERY 200 FEET)

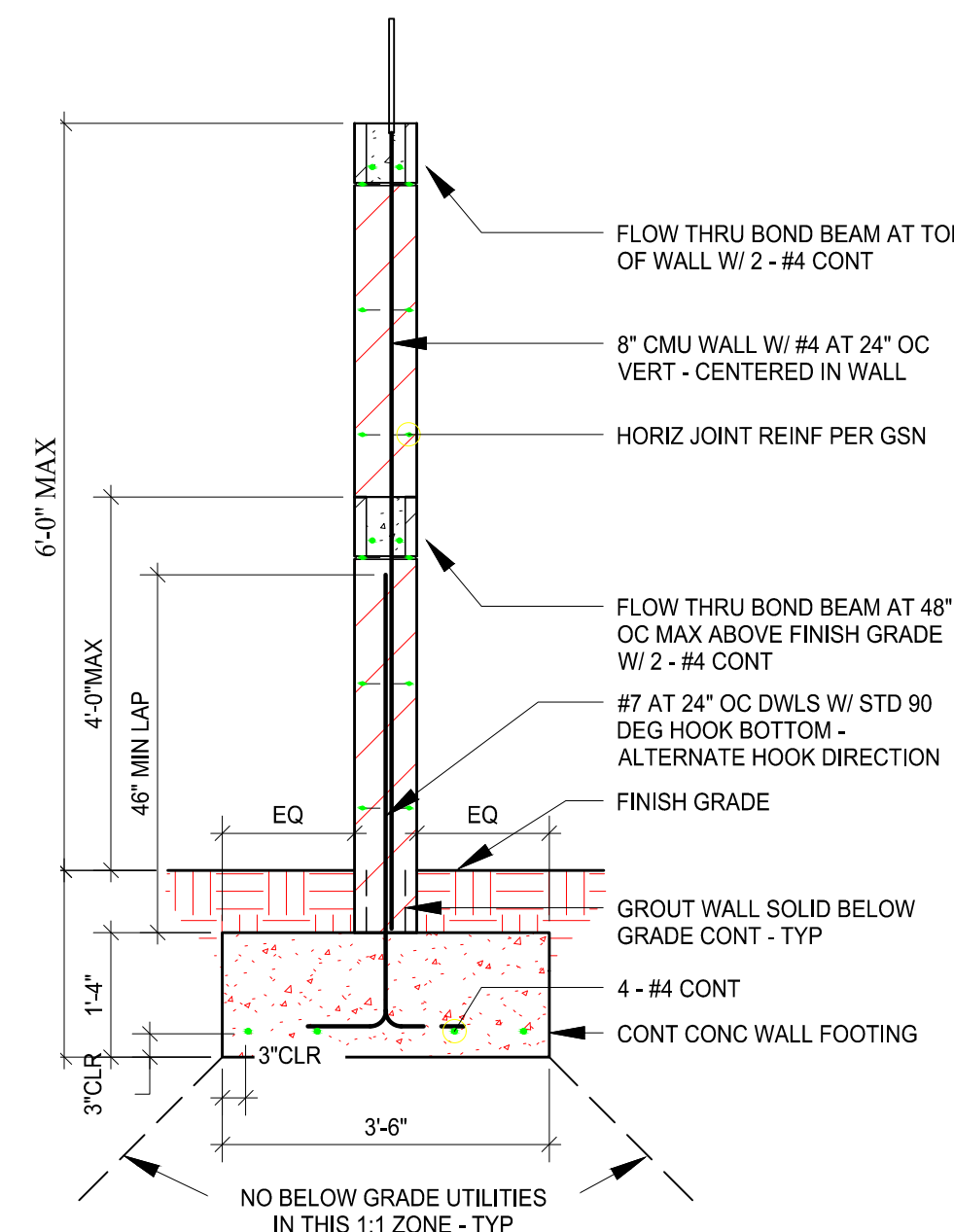
2 SITE SIGNAGE

SP3 SCALE: NTS



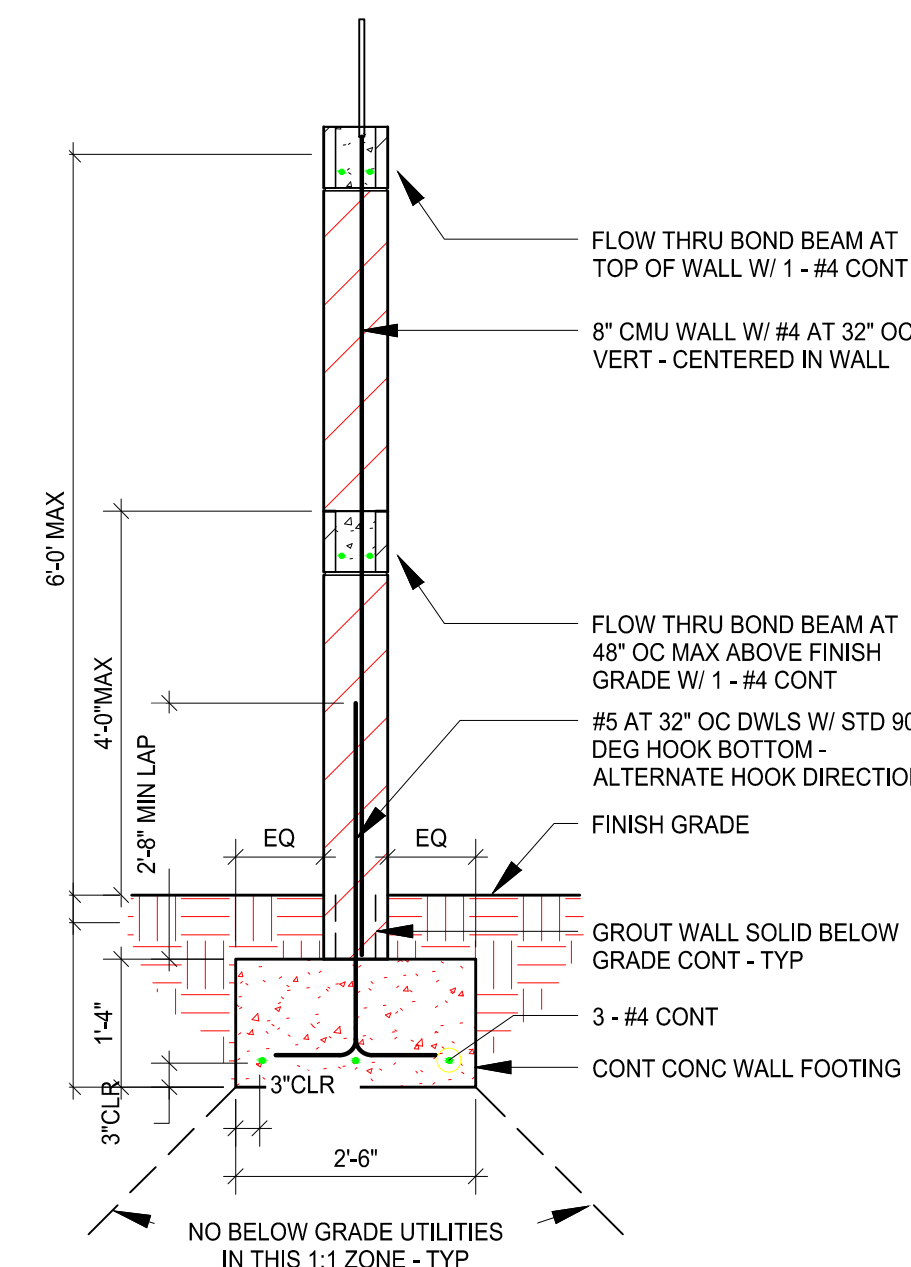
3 PARTIAL WEST WALL ELEVATION

SP3 SCALE: 3/8" = 1'-0"



4 END WALL SECTION

SP3 SCALE: 1/2" = 1'-0"



NOTE:
IN LIEU OF BOND BEAM AT 48" OC PROVIDE 9 GAGE TRUSS STYLE HORIZONTAL REINFORCING AT 16" OC

5 TYP WALL SECTION

SP3 SCALE: 1/2" = 1'-0"

Revisions					Kiowa - 52 Solar Project Project Substation Adams County, Colorado
Rev	Drawn	Checked	Reviewed	Approved	
1	A	10/01/2019			

FOR INFORMATION ONLY	
PROPRIETARY AND CONFIDENTIAL	
ISSUED BY: KIOWA SOLAR LLC	
JOB #: C0027	
SCALE: NTS	
DWG #:	
SP3	
DWG TITLE:	
Site Plan Details	



Development Review Team Comments

Date: 6/17/2019

Project Number: PRC2019-00004

Project Name: Kiowa-52 Solar

Commenting Division: Addressing Review

Name of Reviewer: Marissa Hillje

Date: 05/07/2019

Email: mhillje@adcogov.org

Complete

Commenting Division: ROW Review

Name of Reviewer: Marissa Hillje

Date: 05/07/2019

Email: mhillje@adcogov.org

Resubmittal Required

ROW1: Right of way dedication will be required in relation to this case.

ROW2: The exhibit and legal description for the right of way dedication was submitted in 2017 but never finalized. See the redlines attached for corrections to the exhibit. Send corrected exhibits to mhillje@adcogov.org, who will be the main point of contact to get the dedications processed and recorded.

ROW3: A title commitment should be secured to determine the location of any existing easements especially in area to be covered by solar energy hardware. The title commitment should be sent to the County with the building permit application. Both Designer and County should study it to determine if the proposed site encroaches on any existing easement. If so then the location of the solar panels on the property may need some adjustment.

Commenting Division: Planner Review

Name of Reviewer: Greg Barnes

Date: 06/17/2019

Email: gjbarnes@adcogov.org

Resubmittal Required

PLN01: You must meet the minimum setbacks for the A-3 zone district. It appears that your proposal straddles lines. Setbacks are required from those interior lot lines.

PLN02: Wildlife friendly fencing is preferred by Adams County and the Division of Parks and Wildlife.

PLN03: Please provide an elevation of panels including dimensions.

PLN04: Please provide a landscaping plan and landscape maintenance details. There are required buffers along the street frontage of the utility substation.

PLN05: What is the maximum height of structures within the substation?

Commenting Division: Development Engineering Review

Name of Reviewer: Greg Labrie

Date: 05/31/2019

Email: glabrie@adcogov.org

Complete

ENG1: Flood Insurance Rate Map – FIRM Panel # (08001C0720H), Federal Emergency Management Agency, January 20, 2016. According to the above reference, the project site is NOT located within a delineated 100-year flood hazard zone; A floodplain use permit will not be required.

ENG2: The applicant shall be responsible to ensure compliance with all Federal, State, and Local water quality construction requirements. The project site is not within the County's MS4 Stormwater Permit area. The installation of erosion and sediment control BMPs are expected.

ENG3: Although the solar panels are not considered an increase in impervious area, the drip line of the panels is known to cause erosion below the panels. The construction plans will need to include a BMP to mitigate any erosion at the drip line of the panels.

ENG4: All access to the site will require permitting through Adams County. Converse Road is classified as a Section Line Arterial roadway and Highway 79 is classified as a Principal Arterial. The county will allow access onto Converse Road but, access will be limited to one per parcel, unless additional access is required by emergency services. The applicant must obtain a permit from CDOT to access Highway 79.

ENG5: The applicant will be required to obtain Adams County construction permits (in addition to building permits for the panels) for all site improvements.

ENG6: Prior to the issuance of any building permits for the panel/foundations, the developer is required to submit for review and receive approval of all construction documents (construction plans and reports).

Construction documents shall include, at a minimum, onsite and public improvements construction plans, drainage report, traffic impact study. All construction documents must meet the requirements of the Adams County Development Standards and Regulations. The developer shall submit to the Adams County Development Review Engineering division the following: Engineering Review Application, Engineering Review Fee, two (2) copies of all construction documents. The development review fee for an Engineering Review is dependent on the type of project and/or the size of the project. The Development Review fee can be found in the Development Services Fee Schedule, located on the following web page:

<http://www.adcogov.org/one-stop-customer-center>.

Commenting Division: Addressing Review

Name of Reviewer: Marissa Hillje

Date: 05/07/2019

Email: mhillje@adcogov.org

Comment

The owner should apply for a culvert permit. An address will be assigned during that review. Addresses are based on approved access location.



COLORADO

Parks and Wildlife

Department of Natural Resources

Northeast Regional Office

6060 Broadway

Denver, CO 80216

P 303.291.7227

May 20, 2019

Greg Barnes
Adams County
Community and Economic Development Department
4430 South Adams County Parkway, Suite W2000A
Brighton, CO 80601-8216

RE: Two conditional use permit applications to allow: 1) utility substation in the Agricultural-3 zone district (RCU2019-00023); 2) solar energy facility in the Agricultural-03 zone district (RCU2019-00024).

Dear Mr. Barnes:

Thank you for the opportunity to comment on the Kiowa-52 Solar energy facility and utility substation conditional use permits. The mission of Colorado Parks and Wildlife (CPW) is to perpetuate the wildlife resources of the state, to provide a quality state parks system, and to provide enjoyable and sustainable outdoor recreation opportunities that educate and inspire current and future generations to serve as active stewards of Colorado's natural resources. Our goal in responding to land use proposals such as this is to provide complete, consistent, and timely information to all entities who request comment on matters within our statutory authority.

The proposed Kiowa-52 Solar project will utilize 600-acres of land and will have the capacity to produce approximately 64 Megawatts AC (MWac) of power. The proposed Kiowa-52 Solar energy facility is adjacent to the Intermountain Rural Electrical Association (IREA) and the existing Victory Solar Project. The proposed site is approximately south of East 56th Avenue, east of Converse Road, and west of Highway 79, in Adams County, Colorado (parcel numbers 0181500000032, 0181500000034, 0181500000051, and 0181500000246).

District Wildlife Manager Serena Rocksund recently analyzed this site. The main impacts to wildlife from this development include fragmentation and loss of habitat. Fragmentation of wildlife habitat has been shown to impede the movement of big game species across the landscape. Open space areas are more beneficial to wildlife if they connect to other natural areas. The areas of wildlife habitat that most closely border human development show heavier impact than do areas on the interior of the open space. However, when open space areas are smaller in size, the overall impact of the fragmentation is greater (Odell and Knight, 2001). By keeping open space areas contiguous and of larger size the overall benefit to wildlife increases dramatically.

CPW would expect a variety of wildlife species to utilize this site on a regular basis, most notably, small to mid-sized mammals, songbirds, and raptors. The potential also exists for large mammals such as deer and pronghorn to frequent this site. Raptors and other migratory birds are protected from take, harassment, and nest disruption at both the state and federal

levels. If an active nest is discovered within the development area, CPW recommends that buffer zones around nest sites be implemented during any period of activity that may interfere with nesting season. This will prevent the intentional or unintentional destruction of an active nest.

For further information on this topic, a copy of the document “Recommended Buffer Zones and Seasonal Restrictions for Colorado Raptors,” is available from your local District Wildlife Manager or located at <https://cpw.state.co.us/Documents/WildlifeSpecies/LivingWithWildlife/RaptorBufferGuidelines2008.pdf>.

Following the recommendations outlined in this document will decrease the likelihood of unintentional take through disturbance.

If a prairie dog colony is discovered within the project area, the potential may also exist for the presence of burrowing owls. Burrowing owls live on flat, treeless land with short vegetation, and nest underground in burrows dug by prairie dogs, badgers, and foxes. These raptors are classified as a state threatened species and are protected by both state and federal laws, including the Migratory Bird Treaty Act. These laws prohibit the killing of burrowing owls or disturbance of their nests. Therefore, if any earth-moving will begin between March 15th and October 31st, a burrowing owl survey should be performed. Guidelines for performing a burrowing owl survey can also be obtained from your local District Wildlife Manager or found at <https://cpw.state.co.us/Documents/WildlifeSpecies/LivingWithWildlife/RecommendedSurveyOwls.pdf>.

If prairie dog colonies are present, CPW would recommend they either be captured alive and moved to another location or humanely euthanized before any earth-moving occurs. The possibility of live-trapping and donating to a raptor rehabilitation facility or the black-footed ferret recovery program may also exist. If interested, please contact the local District Wildlife Manager. Be aware that a permit and approval from county commissioners may be required for live relocation.

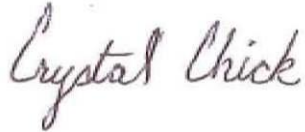
CPW recommends all site lights be motion-activated and downward-directed to minimize light pollution for active nocturnal or resting diurnal wildlife species.

CPW recommends the installation of an exclusionary fence to prevent deer from accessing the solar facility. Exclusionary fence should be at least seven-feet in height, with round-capped posts for wildlife safety, plus the addition of two strands of top wire, at least six-inches apart, for a total fence height of at least eight feet. This design is to prevent wildlife from impaling themselves or entanglement if they attempt to cross into the solar facility. The bottom of the fence shall also be four inches or less from the ground. CPW has developed a document, <https://cpw.state.co.us/Documents/LandWater/PrivateLandPrograms/FencingWithWildlifeInMind.pdf>, to assist with choosing the correct type of fencing to allow or restrict wildlife movement.

Also, CPW requests that the solar garden facility is checked at least every few days, in the unlikely event a deer or other wildlife become trapped in the facility, and can be released. CPW also requests that solar garden facilities monitor birds that may have died within the facility and submit an annual list to the District Wildlife Manager.

Thank you again for opportunity to comment on the Kiowa-52 Solar energy facility conditional use permits in Adams County. Please do not hesitate to contact us again about ways to continue managing the facility in order to maximize wildlife value while minimizing potential conflicts. If you have any further questions, please contact District Wildlife Manager Serena Rocksund at (303) 291-7132 or serena.rocksund@state.co.us.

Sincerely,

A handwritten signature in cursive script that reads "Crystal Chick".

Crystal Chick
Area 5 Wildlife Manager

Cc: M. Leslie, T. Kroening, S. Rocksund



COLORADO

Division of Water Resources

Department of Natural Resources
Colorado Ground Water Commission

May 30, 2019

Greg Barnes
Adams County Community and Economic Development Department
Transmitted via email:
GJBarnes@adcogov.org

RE: PRC2019-00004, Kiowa-52 Solar, Conditional Use Permit
Part of Secs. 15 and 22, T3S, R63W, 6th P.M.,
Lost Creek Designated Ground Water Basin
Lost Creek Ground Water Management District
Water Division 1, Water District 1

Dear Mr. Barnes:

We have received your May 13, 2019 referral concerning the above-referenced application for a conditional use permit to allow a utility station (RCU2019-00023) and solar facility (RCU2019-00024) in the Agricultural-3 zone district.

This referral does not appear to qualify as a “subdivision” as defined in Section 30-28-101(10)(a), C.R.S. Therefore, pursuant to the State Engineer’s March 4, 2005 and March 11, 2011 memorandums to county planning directors, this office will only perform a cursory review of the referral information and provide informal comments. The comments do not address the adequacy of the water supply plan for this project or the ability of the water supply plan to satisfy any County regulations or requirements. In addition, the comments provided herein cannot be used to guarantee a viable water supply plan or infrastructure, the issuance of a well permit, or physical availability of water.

There is no water demand for the proposed solar facility and utility substation.

A review of our records found well permit no. 101222 located on the parcel in Section 22. Well permit no. 101222 was issued pursuant to C.R.S. 37-90-105 for domestic and livestock use.

This office has no objection to the proposal, so long as well permit no. 101222 operates according to the permitted terms and conditions. If you, or the applicant, have any questions, please contact Ailis Thyne at 303-866-3581 ext. 8216.

Sincerely,

Keith Vander Horst
Chief of Water Supply, Basins

Cc: Division 1

PRC2019-00004_Kiowa-52 Solar.docx



COLORADO GEOLOGICAL SURVEY

1801 Moly Road
Golden, Colorado 80401



June 3, 2019

Karen Berry
State Geologist

Greg Barnes
Adams County
Community & Economic Development
4430 S. Adams County Parkway, Suite W2000A
Brighton, CO 80601

Location:
Section 15 and N½ N½ Section 22,
T3S, R63W of the 6th P.M.
39.7865, -104.4238

Subject: Kiowa-52 Solar (PRC2019-00004)
Adams County, CO; CGS Unique No. AD-19-0025

Dear Mr. Barnes:

Colorado Geological Survey has reviewed the Kiowa-52 Solar CUP referral for a solar collector facility and a substation on approximately 600 acres located southwest of Kiowa-Bennett Road and E. 56th Avenue, north of Bennett.

The site does not contain steep slopes, is not undermined, is located within an “area of minimal flood hazard,” and is not exposed to or located within any identified geologic hazard areas that would preclude the proposed solar collector and substation uses. **CGS therefore has no objection to approval.**

Mineral resource potential. According to the Atlas of Sand, Gravel, and Quarry Aggregate Resources, Colorado Front Range Counties (Schwochow et al, Colorado Geological Survey Special Publications 5-A and 5-B, 1974, Plate 2, and Bennett Quadrangle, respectively), the subject property is not mapped as containing a sand, gravel, or aggregate resource.

Thank you for the opportunity to review and comment on this project. If you have questions or require additional review, please call me at (303) 384-2643, or e-mail carlson@mines.edu.

Sincerely,

A handwritten signature in black ink, appearing to read "Jill Carlson", is written over a horizontal line.

Jill Carlson, C.E.G.
Engineering Geologist



May 28, 2019

Greg Barnes
Adams County Community and Economic Development
4430 South Adams County Parkway, Suite W2000A
Brighton, CO 80601

RE: Kiowa-52 Solar, RCU2019-00004
TCHD Case No. 5618

Dear Mr. Barnes,

Thank you for the opportunity to review and comment on a Conditional Use Permit application for a solar garden and utility substation located at the southeast corner of 56th Avenue and Converse Road. Tri-County Health Department (TCHD) staff has reviewed the application for compliance with applicable environmental and public health regulations and principles of healthy community design. After reviewing the application, TCHD has the following comments.

Renewable Energy

Alternative energy supplies generally do not contribute to air and water pollution and can have a positive impact on the environment. TCHD commends the applicant for bringing forward a proposal that promotes the use of renewable energy.

Wastewater Service during Construction

TCHD has no objection to the use of portable toilets, provided the units are properly cleaned and maintained. While TCHD cannot require the use of hand sinks, we recommend that the applicant provide those for the workers, as it will reduce the potential for the transmission of disease.

Solid Waste

Rodents, such as mice and rats, carry diseases which can be spread to humans through contact with rodents, rodent feces, urine, or saliva, or through rodent bites. As rodents are attracted to trash, TCHD strongly recommends that all trash dumpsters on site during construction are equipped with a closeable lid and with regular collection and disposal at an approved landfill.

Please feel free to contact me at 720-200-1575 or kboyer@tchd.org if you have any questions on TCHD's comments.

Sincerely,

A handwritten signature in black ink, appearing to read "K Boyer", with a long horizontal line extending to the right.

Kathy Boyer, REHS
Land Use and Built Environment Specialist III

cc: Sheila Lynch, Dylan Garrison, TCHD



Right of Way & Permits
1123 West 3rd Avenue
Denver, Colorado 80223
Telephone: **303.571.3306**
Facsimile: 303. 571.3284
donna.l.george@xcelenergy.com

May 31, 2019

Adams County Community and Economic Development Department
4430 South Adams County Parkway, 3rd Floor, Suite W3000
Brighton, CO 80601

Attn: Greg Barnes

Re: Kiowa-52 Solar, Case # PRC2019-00004

Public Service Company of Colorado's Right of Way & Permits Referral Desk has reviewed the conditional use permit plans for **Kiowa-52 Solar** and has **no conflict**.

Donna George
Right of Way and Permits
Public Service Company of Colorado / Xcel Energy
Office: 303-571-3306 – Email: donna.l.george@xcelenergy.com

Greg Barnes

From: Karen [jkkuchenbrod@esrta.com]
Sent: Monday, June 03, 2019 9:07 AM
To: Greg Barnes
Subject: Kiowa-52 Solar Prj# PRC2019-00004

Comments on :

Case Name: Kiowa-52 Solar

Project Number: PRC2019-00004

To whom it may concern,

I have lived here since 1994, I have loved living here and know that change is bound to happen, but in this case I beg you to vote this down and move on to a location that has less houses surrounding it.

I have several concerns:

Health. Do we know what the long term effects of that many solar panels will have on the health of the people residing in the surrounding homes. Can it cause cancer at a faster rate then not being there? Has there been enough time for studies to this affect?

Noise. With that many panels moving will there be noise all day? Will all of the inverters make a lot of noise?

Birds and Animals. What effect will it have on all of the Birds we see in the area?

Housing Market. I feel that our property values will go down because nobody will want to buy our homes when there are all of these problems.

It seems that there is a lot of empty land away from as many homes as surround this project. Why would you want to put us all at risk when you can move this project out into the open plains?

Do you not care about us that are tax paying citizens in your county?

Thank you for letting us say our options and ask these important questions.

Sincerely,

John and Karen Kuchenbrod

5450 N Kiowa-Bennett Rd

Bennett, CO 80102



This email has been checked for viruses by Avast antivirus software.

www.avast.com

Greg Barnes

From: Cindy Ray [scray3@netecin.net]
Sent: Tuesday, May 21, 2019 11:15 AM
To: Greg Barnes
Subject: Kiowa-52 Solar Project PRC2019-0004

Importance: High

We are very disappointed this issue of solar panels right across from our home (on Dennis and Beth Smilek's property) has come up again!!!

Our number one issue is that we plan on selling in the next few years and these solar panels will depreciate the value of our property. No one wants to purchase a home straight across the highway from solar panels.

We are also concerned about accidents. Highway 79 is a very heavily traveled highway. If when a semi or a passenger car crashes into the solar panels will it be safe for first responders to get to them or us if we happen to see the accident?

There have already been two accidents, in the past few years, right in front of our property on that (proposed solar panel) side of the road! We feel that the proposed sight is just TOO close to a very busy highway.

Another concern would be regarding high winds and tornados in the area. No one wants the panels blowing toward their home in pieces or in full sheets!

Once Kiowa Solar Construction finishes their project there will be no one to take care of the fencing, trees, plants or whatever they plan to install to make it more presentable. For example, there are a few solar panel sights on Imbodine Road and the fences are falling down. The trees are dead or dying. You have to admit that if anyone, including yourselves, had a home near solar panels and had to look at fallen down fences, dead trees or SOLAR PANELS it would not be pleasant!!!

We are deeply and sincerely against this solar energy facility being built so close to our home.

There are acres of open land that don't have homes near it. Please, Try and move these solar panels to that area!

*Stan and Cindy Ray
5250 Highway 79
Bennett CO 80102*

June 3, 2019

Adams County Planning Commission
Brighton, Colorado 80601-8218

Dennis Smialek
47770 E 56th Ave
Bennett, Colorado 80102

RE: Kiowa Solar LLC/JSI Construction Group LLC
David Kimmett
1710 29th Street
Boulder, CO 80301

Dear Adams County Planning Commission;

I am sending this letter in response to the application for the conditional use permits for a solar project on ground north of Bennett, RCU2019-00023 and RCU2019-00024. My name is Dennis Smialek and my wife Beth Smialek and I own the property that the solar project is to be erected on. We have our entire adult life on this property and the property in question has been in Beth's family since the early 1930's.

With our area experiencing constant growth and development from residential projects, the aspect of a farming community continually decreases. Therefore in an attempt to develop our farm, we chose the route of developing our ground into a renewable energy source. We know that the direct impact to our neighbors on the east side of the project along Highway 79 is minimal. Only directly affecting approximately five homes that have been built on the ridge that will be higher than the land the solar project will be built on. This project will not interfere with the direct line of vision for these residents of the mountains to the west of them. There are not any residents to the north, west and south of the project.

The project has many direct positive aspects for the community. These include significant tax revenue for both the Bennett School District 29J and the Bennett Fire Department without any significant financial burdens such that development of a residential project would have on the area. The school district would not have to expend one dime to facilitate students since this project doesn't generate one student for the district. The same argument goes for the Bennett Fire District as the project will not generate any significant structures that would require any significant upgrades to their equipment needs.

Therefore we feel that this solar project is a sound and positive project for the community. We hope that you will concur and approve this project. Thank you for your time and attention.

Greg Barnes

From: Mary Ward [mw1dw2@aol.com]
Sent: Thursday, May 16, 2019 3:03 PM
To: Greg Barnes
Cc: mw1dw2@aol.com
Subject: Kiowa-52 Solar / PRC2019-00004

GJ Barnes,

My name is Mary Ward, I reside at 5350 Highway 79 property owners where Kiowa Solar is proposing this Solar project.

The main reason we bought our home in this area 22 year ago was for the view of the Rocky Mountains

That stretches for miles across a landscape dominated be hayfields and farmlands, we share this scenery with a dozen or so other homeowners and it will be lost if a proposed project of solar panels come to fruition. This will also impact wildlife in the area.

The new plans that have been submitted are not the same one that they proposed a year and a half ago, the plan that was submitted had trees and bushes along the fence line, plus was 150 feet back from the road. The plan that was sent this time by the Adams County shows none of this. The Vegetation mitigation proposed in the last plan was problematic because it only addresses one fence line and it is unclear how the long-term perimeter fencing grounds maintenance will be performed.

I have nothing against Solar Farms I just do not understand why it has to be built in front of our homes when there is plenty of properties in the area that have no housing. most of these properties are up for sales at this time, and not very far from this proposed plan.

I also sent pictures of the wildlife in the area that will also be impacted. if they need to be sent to you again I can do that.

We have Whooping Cranes and Sand Hill Cranes that land on that property twice a year, along with the Bullfrogs that are on the land. with many other types of wildlife.

We requested last time that the planning commission direct Juwi to engage a qualified biologist to study the Cranes migration behavior for at least 2 years (4 migration seasons) and a baseline for a Crane mitigation plan. and it also identifies that it was an on-site key food source, the Cranes eat the Bullfrogs, we never did get a memo

Our Retirement & Property Value, Kiowa Solar will negatively affect our retirement and retirement assets.

Thank you, commissioner, for your time and consideration.

Sincerely,
Mary Ward
mw1dw2@aol.com



Request for Comments

Case Name: Kiowa-52 Solar
Project Number: PRC2019-00004

May 13, 2019

The Adams County Planning Commission is requesting comments on the following applications: **Two conditional use permit applications at allow: 1) utility substation in the Agricultural-3 zone district (RCU2019-00023); 2) solar energy facility in the Agricultural-03 zone district RCU2019-00024).** The Assessor's Parcel Numbers are: 0181500000032, 0181500000034, 0181500000051, 0181500000246.

Applicant Information: KIWOW SOLAR LLC/JSI CONSTRUCTION GROUP LLC
DAVID KIMMETT
1710 29TH ST
#1068
BOULDER, CO 80301

Please forward any written comments on this application to the Community and Economic Development Department at 4430 South Adams County Parkway, Suite W2000A Brighton, CO 80601-8216, or call (720) 523-6800 by 06/03/2019 in order that your comments may be taken into consideration in the review of this case. If you would like your comments included verbatim please send your response by way of e-mail to GJBarnes@adcogov.org.

Once comments have been received and the staff report written, the staff report and notice of public hearing dates may be forwarded to you for your information. The full text of the proposed request and additional colored maps can be obtained by contacting this office or by accessing the Adams County web site at www.adcogov.org/planning/currentcases.

Thank you for your review of this case.

Greg Barnes
Planner II

BOARD OF COUNTY COMMISSIONERS

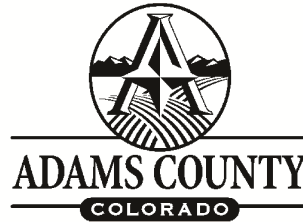
Eva J. Henry
DISTRICT 1

Charles "Chaz" Tedesco
DISTRICT 2

Emma Pinter
DISTRICT 3

Steve O'Dorisio
DISTRICT 4

Mary Hodge
DISTRICT 5



Public Hearing Notification

Case Name:	Kiowa-52 Solar
Case Number:	PRC2019-00004
Planning Commission Hearing Date:	9/26/2019 at 6:00 p.m.
Board of County Commissioners Hearing Date:	10/15/2019 at 9:30 a.m.

September 11, 2019

A public hearing has been set by the Adams County Planning Commission and the Board of County Commissioners to consider the following requests:

Two conditional use permit applications at allow: 1) utility substation in the Agricultural-3 zone district (RCU2019-00023); 2) solar energy facility in the Agricultural-03 zone district RCU2019-00024).

This request is located on Assessor's Parcel Numbers: 0181500000032, 0181500000034, 0181500000051, and 0181500000246.

Applicant Information: KIOWA SOLAR LLC/JSI CONSTRUCTION GROUP, LLC
DAVID KIMMETT
1710 29TH ST, #1068
BOULDER, CO 80301

The hearing will be held in the Adams County Hearing Room located at 4430 South Adams County Parkway, Brighton CO 80601-8216. This will be a public hearing and any interested parties may attend and be heard. The Applicant and Representative's presence at these hearings is requested. If you require any special accommodations (e.g., wheelchair accessibility, an interpreter for the hearing impaired, etc.) please contact the Adams County Community and Economic Development Department at (720) 523-6800 (or if this is a long distance call, please use the County's toll free telephone number at 1-800-824-7842) prior to the meeting date.

For further information regarding this case, please contact the Department of Community and Economic Development, 4430 S Adams County Parkway, Brighton, CO 80601, 720-523-6800. This is also the location where maps and/or text certified by the Planning Commission may be viewed.

BOARD OF COUNTY COMMISSIONERS

Eva J. Henry
DISTRICT 1

Charles "Chaz" Tedesco
DISTRICT 2


Emma Pinter
DISTRICT 3

Steve O'Dorisio
DISTRICT 4

Mary Hodge
DISTRICT 5

The full text of the proposed request and additional colored maps can be obtained by contacting this office or by accessing the Adams County web site at www.adcogov.org/planning/currentcases.

Thank you for your review of this case.

A handwritten signature in black ink, appearing to read "Greg Barnes". The signature is fluid and cursive, with the first name "Greg" and last name "Barnes" clearly distinguishable.

Greg Barnes

Planner III

PUBLICATION REQUEST

Kiowa-52 Solar

Case Number:

PRC2019-00004

Planning Commission Hearing Date:

9/26/2019 at 6:00 p.m.

Board of County Commissioners Hearing Date:

10/15/2019 at 9:30 a.m.

Location of Hearings:

**4430 S. Adams County Pkwy.
Brighton, CO 80601**

Requests: Conditional use permit applications at allow: 1) utility substation in the Agricultural-3 zone district (RCU2019-00023); 2) solar energy facility in the Agricultural-3 zone district RCU2019-00024).

Location of Request: Southeast of the intersection of East 56th and Converse Road

Parcel Number(s): 0181500000032, 0181500000034, 0181500000051, 0181500000246

Case Manager: Greg Barnes

**Applicant: KIOWA SOLAR, LLC/JSI CONSTRUCTION GROUP, LLC
DAVID KIMMETT
1710 29TH ST., #1068
BOULDER, CO 80301**

**Owner: SMIALEK, DENNIS EDWARD & BETH ANN
47770 E 56TH AVE
BENNETT, CO 801029106**

Legal Description:

N ½ Section 15 (Excepting Parcel No 01815000000245 2 Acres +/-), Township 3S, Range 63W



Referral Listing
Case Number PRC2019-00004
Kiowa-52 Solar

Agency	Contact Information
Adams County Attorney's Office	Christine Fitch CFitch@adcogov.org 4430 S Adams County Pkwy Brighton CO 80601 720-523-6352
Adams County CEDD Addressing	Marissa Hillje PLN 720.523.6837 mhillje@adcogov.org
Adams County CEDD Development Services Engineer	Devt. Services Engineering 4430 S. Adams County Pkwy. Brighton CO 80601 720-523-6800
Adams County CEDD Right-of-Way	Marissa Hillje 4430 S. Adams County Pkwy. Brighton CO 80601 720-523-6837 mhillje@adcogov.org
Adams County Construction Inspection	Gordon .Stevens 4430 S. Adams County Pkwy Brighton CO 80601 720-523-6965 gstevens@adcogov.org
Adams County Development Services - Building	Justin Blair 4430 S Adams County Pkwy Brighton CO 80601 720-523-6825 JBlair@adcogov.org
Adams County Parks and Open Space Department	Aaron Clark mpedrucci@adcogov.org (303) 637-8005 aclark@adcogov.org
Adams County Sheriff's Office: SO-HQ	Rick Reigenborn (303) 654-1850 rreigenborn@adcogov.org
Adams County Sheriff's Office: SO-SUB	SCOTT MILLER 720-322-1115 smiller@adcogov.org

Agency	Contact Information
Adams County Treasurer	Lisa Culpepper 4430 S Adams County Pkwy Brighton CO 80601 720.523.6166 lculpepper@adcogov.org
BENNETT FIRE DISTRICT #7	Captain Caleb J Connor 825 SHARIS CT BENNETT CO 80102 303-532-7733 303-644-3572 CalebConnor@BennettFireRescue.org
BENNETT FIRE DISTRICT #7	CHIEF EARL CUMELY 825 SHARIS CT BENNETT CO 80102 303-644-3434 ecumley941@aol.com
BENNETT PARK AND RECREATION	Chris Raines PO BOX 379 455 S. 1ST ST. BENNETT CO 80102-0379 303-644-5041 Director@bennettrec.org
BENNETT SCHOOL DISTRICT 29J	Robin Purdy 615 7TH ST. BENNETT CO 80102 303-644-3234 Ext: 8203 robinp@bsd29j.com
Century Link, Inc	Brandyn Wiedreich 5325 Zuni St, Rm 728 Denver CO 80221 720-578-3724 720-245-0029 brandyn.wiedrich@centurylink.com
Code Compliance Supervisor	Eric Guenther eguenther@adcogov.org 720-523-6856 eguenther@adcogov.org
COLO DIV OF MINING RECLAMATION AND SAFETY	ANTHONY J. WALDRON - SENIOR ENV DEPT. OF NATURAL RESOURCES 1313 SHERMAN ST, #215 DENVER CO 80203 303-866-4926 tony.waldron@state.co.us
COLO DIV OF WATER RESOURCES	Joanna Williams OFFICE OF STATE ENGINEER 1313 SHERMAN ST., ROOM 818 DENVER CO 80203 303-866-3581 joanna.williams@state.co.us

Agency	Contact Information
COLO DIV OF WATER RESOURCES	Joanna Williams OFFICE OF STATE ENGINEER 1313 SHERMAN ST., ROOM 818 DENVER CO 80203 303-866-3581 joanna.williams@state.co.us
COLORADO DIVISION OF WILDLIFE	Eliza Hunholz Northeast Regional Engineer 6060 BROADWAY DENVER CO 80216-1000 303-291-7454 eliza.hunholz@state.co.us
COLORADO DIVISION OF WILDLIFE	Serena Rocksund 6060 BROADWAY DENVER CO 80216 3039471798 serena.rocksund@state.co.us
COLORADO GEOLOGICAL SURVEY	Jill Carlson 1500 Illinois Street Golden CO 80401 303-384-2643 303-384-2655 CGS_LUR@mines.edu
Colorado Geological Survey: CGS_LUR@mines.edu	Jill Carlson Mail CHECK to Jill Carlson 303-384-2643 303-384-2655 CGS_LUR@mines.edu
COMCAST	JOE LOWE 8490 N UMITILLA ST FEDERAL HEIGHTS CO 80260 303-603-5039 thomas_lowe@cable.comcast.com
IREA	Brooks Kaufman PO Box Drawer A 5496 North US Hwy 85 Sedalia CO 80135 303-688-3100 x105 bkaufman@intermountain-rea.com
NS - Code Compliance	Gail Moon gmoon@adcogov.org 720.523.6833 gmoon@adcogov.org
TRI-COUNTY HEALTH DEPARTMENT	Sheila Lynch 6162 S WILLOW DR, SUITE 100 GREENWOOD VILLAGE CO 80111 720-200-1571 landuse@tchd.org
TRI-COUNTY HEALTH DEPARTMENT	MONTE DEATRICH 4201 E. 72ND AVENUE SUITE D COMMERCE CITY CO 80022 (303) 288-6816 mdeatrich@tchd.org

Agency

Contact Information

Tri-County Health: Mail CHECK to Sheila Lynch

Tri-County Health
landuse@tchd.org
.

UNITED STATES POST OFFICE

MARY C. DOBYNS
56691 E COLFAX AVENUE
STRASBURG CO 80136-8115
303-622-9867
mary.c.dobyns@usps.gov

US EPA

Stan Christensen
1595 Wynkoop Street
DENVER CO 80202
1-800-227-8917
christensen.stanley@epa.gov

Xcel Energy

Donna George
1123 W 3rd Ave
DENVER CO 80223
303-571-3306
Donna.L.George@xcelenergy.com

ADAMS COUNTY
4430 S ADAMS COUNTY PKWY 5TH FLOOR
BRIGHTON CO 80601-8222

GREENWALD MONTE P SR
825 HANOVER ST
AURORA CO 80010-3948

ATTEBERRY MERLYN C AND
ATTEBERRY CORINNE A
4320 HIWAY 79
BENNETT CO 80102

HEAD REBECCA ANN
3300 MEADOW VISTA ST
BAKERSFIELD CA 93306

CARDENAS LINO
CARDENAS ANDREA
50000 E 56TH AVE
BENNETT CO 80102-9024

HUNKER DO RENE JOAN UND 1/2 INT AND
SUTTON TINA & SNETZSINGER TRENDIA UND 1/2 INT
48353 E 38TH AVE
BENNETT CO 80102-8150

CARDENAS LINO AND
CARDENAS ANDREA
56380 E 41ST AVE
STRASBURG CO 80136-8095

INTERMOUNTAIN RURAL ELECTRIC ASSOCIATION
PO BOX A
SEDALIA CO 80135-0220

CARDENAS LINO AND
CARDENAS ANDREA
50000 E 56TH AVE
BENNETT CO 80102-9024

INTERMOUNTAIN RURAL ELECTRIC ASSOCIATION
5496 N US HIWAY 86
SEDALIA CO 80135

CLAIR JOHN W
47289 E 38TH
BENNETT CO 80102-8148

KUCHENBROD KAREN L AND
KUCHENBROD JOHN M
PO BOX 449
BENNETT CO 80102-0449

CLAIR JOHN W
47289 E 38TH AVE
BENNETT CO 80102-8148

LANCASTER LEE E AND
LANCASTER THERESA
4000 HIWAY 79
BENNETT CO 80102-8919

CLAIR SHARON A
1213 N TENAYA WAY
LAS VEGAS NV 89128-3250

LANCASTER LEE E AND
LANCASTER THERESA L
4000 HIWAY 79
BENNETT CO 80102

COX TRUDY WYNNE
7665 SAINT MARLO COUNTRY CLUB PKWY
DULUTH GA 30097-1632

LOSTAK MARY SUSAN
7665 ST MARLO CC PKWY
DULUTH GA 30097

ERIC AND BERNO LLC
12420 MCGREGOR PALMS DR
FORT MYERS FL 33908-3052

MEYER RICHARD W FAMILY TRUST THE
C/O TIM MEYER
PO BOX 303
KIOWA CO 80117-0303

RAY STANLEY A
5250 HIWAY 79
BENNETT CO 80102

WARD DALE R AND WARD MARY L
5350 HWY 79
BENNETT CO 80102

ROOT JAMES C TRUST AND
ROOT KATHY L TRUST
49191 E 48TH AVE
BENNETT CO 80102

WILLIAMS DAVID R AND
WILLIAMS CAROL C
5670 U S HIWAY 79
BENNETT CO 80102

SMIALEK DENNIS EDWARD AND
SMIALEK BETH ANN
47770 E 56TH AVE
BENNETT CO 80102-9106

ALEN DEBORAH A
OR CURRENT RESIDENT
4160 CONVERSE RD
BENNETT CO 80102-8145

SMIALEK DOUGLAS J AND
SMIALEK DARETH
3535 N HARBACK RD
BENNETT CO 80102-8856

CASH JAMES A AND CASH ALICE R
OR CURRENT RESIDENT
4100 CONVERSE RD
BENNETT CO 80102-8145

SMITH RONALD F AND
SMITH MARJORIE A
2304 COMBURG CASTLE WAY
AUSTIN TX 78748

EBSEN HEIDI
OR CURRENT RESIDENT
5755 HIGHWAY 79
BENNETT CO 80102-9020

SMITH RONALD FRANK
2304 COMBURG CASTLE WAY
AUSTIN TX 78748-5214

FLOYD DEBORAH A
OR CURRENT RESIDENT
48910 E 48TH AVE
BENNETT CO 80102-9007

STEFFEN BETTY J TRUST THE
PO BOX 215
BENNETT CO 80102-0215

MILLER TODD AND
MILLER SHARON
OR CURRENT RESIDENT
48155 E 56TH AVE
BENNETT CO 80102-9109

STONE DALE B AND
STONE DEBRA K
PO BOX 251
BENNETT CO 80102

NANNEY DEBORAH M
OR CURRENT RESIDENT
4020 HIGHWAY 79
BENNETT CO 80102

TRUPP FAMILY FARM LLLP
45815 E 56TH AVE
BENNETT CO 80102-9107

PRIETO CARLOS AND
PRIETO VIOLETA
OR CURRENT RESIDENT
5150 HIGHWAY 79
BENNETT CO 80102-8947

TRUPP REAL ESTATE III LLLP
45815 E 56TH AVE
BENNETT CO 80102-9107

ROOT JAMES C TRUST
OR CURRENT RESIDENT
49191 E 48TH AVE
BENNETT CO 80102-9007

SANDVIK CARL D AND
SANDVIK CONNIE P
OR CURRENT RESIDENT
49000 E 56TH AVE
BENNETT CO 80102

CURRENT RESIDENT
45820 E 56TH AVE
BENNETT CO 80102-9107

SHEELY KATHLEEN T REVOCABLE TRUST
OR CURRENT RESIDENT
48065 E 38TH AVE
BENNETT CO 80102-8150

CURRENT RESIDENT
45945 E 56TH AVE
BENNETT CO 80102-9107

SMIALEK DENNIS E AND
SMIALEK BETH ANN
OR CURRENT RESIDENT
47770 E 56TH AVE
BENNETT CO 80102-9109

TRUPP FAMILY FARM LLLP
OR CURRENT RESIDENT
45815 E 56TH AVE
BENNETT CO 80102-9107

WILSON JEFFREY L AND
WILSON STEPHANIE L
OR CURRENT RESIDENT
4180 CONVERSE RD
BENNETT CO 80102-8145

CURRENT RESIDENT
47289 E 38TH AVE
BENNETT CO 80102-8148

CURRENT RESIDENT
48351 E 38TH AVE
BENNETT CO 80102-8150

CURRENT RESIDENT
5450 N KIOWA BENNETT RD
BENNETT CO 80102-8907

CURRENT RESIDENT
4000 HIGHWAY 79
BENNETT CO 80102-8919

CURRENT RESIDENT
5250 HIGHWAY 79
BENNETT CO 80102-8937

CERTIFICATE OF POSTING



I, J. Gregory Barnes do hereby certify that I posted the subject property on September 3, 2019 in accordance with the requirements of the Adams County Development Standards and Regulations.

J. Gregory Barnes