



**COMMUNITY AND ECONOMIC DEVELOPMENT  
DEPARTMENT**

**CASE NAME: PECOS LOGISTICS PARK  
CASE NO.: PRC2020-00002**

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**COMMUNITY AND ECONOMIC DEVELOPMENT  
DEPARTMENT STAFF REPORT**

**Board of County Commissioners**

**June 30, 2020**

<b>CASE No.: PRC2020-00002 CASE NAME: Pecos Logistics Park</b>	
Owner's Name:	Pecos Logistics Park, LLLP
Applicant's Name:	Matt Mitchell, Westfield Co.
Applicant's Address:	4221 Brighton Blvd., Denver, CO 80216
Location of Request:	5751 North Pecos Street
Parcel Numbers:	0182509300023, 0182509300056, 0182509300058, 0182509300063, 0182509300065, 0182509300067, 0182509309001, 0182509312001, 0182509312002, 0182509313002, 0182550934002, 0182509300068, 0182509300069
Nature of Request:	1. Rezoning of approximately 62 acres to Industrial-2 (I-2); 2. Final plat for major subdivision to create three lots on 62 acres; 3. Subdivision Improvements Agreement
Current Zone Districts:	A mix of Industrial-3 (I-3), Industrial-2 (I-2), Industrial-1 (I-1), and Residential-1-C (R-1-C).
Future Land Use:	Industrial
Total Site Area:	Approximately 62 acres
Hearing Date(s):	<b>PC: June 11, 2020 / 6:00 pm</b> <b>BoCC: June 30, 2020 / 9:30 am</b>
Report Date:	June 15, 2020
Case Manager:	Greg Barnes
PC/Staff Recommendations:	APPROVAL with 11 Findings-of-Fact, 1 condition, and 1 note

**SUMMARY OF APPLICATIONS**

**Background:**

The applicant, Westfield, Co., intends to develop a multi-tenant development along the northern portions of West 56<sup>th</sup> Avenue between Vallejo Street and Pecos Street. The proposed development is known as the Pecos Logistics Park and will redevelop an approximately 67-acre site. The site is currently occupied by Rocky Mountain Prestress (a concrete production facility), as well as other light industrial manufacturing, warehousing, office, and single-family residential uses. According to the applicant, seven buildings are anticipated to be constructed on the site,

with full project buildout proposed to include over 1,100,000 square feet of industrial building area. The primary use of the site is expected to be either a heavy logistics center or a business park

Westfield is requesting a rezoning of approximately 62 acres to the Industrial-2 (I-2) zone district. In addition, there is also a pending application for a major subdivision final plat that encompasses 13 existing parcels (approximately 67 acres). The proposed final plat would combine these parcels into three lots and three tracts. Major subdivisions require approval of both preliminary and final plats. On February 11, 2020, the Board of County Commissioners approved the major subdivision preliminary plat for the Pecos Logistics Park.

On August 27, 2019, the Board of County Commissioners approved an associated application for the creation of a special district on the site known as the Pecos Logistics Park Metro District. The creation of the special district allowed the developer to create financing to build infrastructure and provide services that will support the development.

### **Development Standards and Regulations:**

#### **Rezoning:**

Currently, the subject properties of the rezone request are designated as a mix of Residential-1-C (R-1-C), Industrial-1 (I-1), I-2, and Industrial-3 (I-3) (49.6 ac). A majority (approximately 50 acres) of the development area is currently designated in the I-3 zone district, which is the County's most intense industrial zoning. The applicant intends to rezone the entire proposed development to I-2. The proposed rezoning will create a cohesive zone district for the new development and will reduce the industrial intensity in the area. Per Section 3-25-01 of the County's Development Standards and Regulations, the purpose of the I-2 zone district is to accommodate light manufacturing, processing, fabrication, assembly, and storage of non-hazardous material. Uses permitted in the I-2 zone district include the proposed heavy logistics center. The dimensional requirements for the I-2 zone district include a minimum of one-acre lot size and minimum one hundred (100) foot lot width. Upon approval of the associated final plat, the rezoning request will comply with the minimum lot area and width standards of the I-2 zone district. The smallest of the three proposed lots measures approximately 17.8 acres and has a lot width of approximately 550 feet.

#### **Major Subdivision (Final Plat):**

Per Section 2-02-19-04 of the County's Development Standards and Regulations, a final plat must be consistent and conform to an approved preliminary plat. On January 23, 2020, the Board of County Commissioners approved an associated preliminary plat. The subject request conforms to the corresponding section of the approved preliminary plat.

The proposed final plat conforms to the criteria for approval for a major subdivision final plat, as outlined in Section 2-02-19-04-05 of the County's Development Standards. These standards include conformance to the County's Comprehensive Plan, the subdivision design standards, evidence of adequate water and sewer supply, adequate drainage improvements, adequate public infrastructure, and compatibility with the surrounding area. Per Section 5-03-03 of the County's Development Standards and Regulations, subdivision plats and lot dimensions are required to conform to requirements of the zone district in which the property is located. In addition, all lots

created by a subdivision shall have access to a County-maintained right-of-way. The proposed subdivision lots will be served by Denver Water and all lots conform to the minimum dimensional requirements for the proposed I-2 zone district. In addition, all the proposed lots will have access to a public right-of-way.

The applicant has also provided evidence of adequate water and sewer to service the property. The Colorado Division of Water Resources reviewed the project and confirmed the availability of adequate water supply to support the development.

**Future Land Use Designation/Comprehensive Plan:**

The future land use designation on the property is Industrial. Per Chapter 5 of the Adams County Comprehensive Plan, the purpose of the Industrial future land use designation is to provide for a wide range of employment uses, including manufacturing.

The request to create larger lots with larger building envelopes will encourage this type of development in the area. In addition, the creation of a subdivision will enhance the overall infrastructure in the area, which will better serve the long-term goals of the County's Comprehensive Plan.

The proposed use of the property as a heavy logistics center on a 66.6-acre redevelopment site is consistent with the future land use designation, as well as the Clear Creek Valley TOD Plan and the Adams County Comprehensive Plan's vision for redevelopment of the Pecos Junction station. Both plans encourage the development of a mixed-use employment area at the Pecos Junction station, focused primarily on office, commercial, and industrial uses.

**Site Characteristics:**

Much of the subject property is currently occupied by outdoor storage, light manufacturing, warehousing, office, and abandoned single-family dwellings dispersed throughout the properties. Most of the site has been utilized by Rocky Mountain Prestress historically. Two abandoned, unplatted single-family homes that are included within the site were constructed in 1953 and 1957.

The property fronts West 56<sup>th</sup> Avenue to the south (a collector right-of-way), Pecos Street to the east (an arterial right-of-way), Vallejo Street to the west (a local right-of-way), and the Union Pacific Railroad to the north. Tejon Street (a local right-of-way) stretches north past West 56<sup>th</sup> Avenue and dead ends within the site. Access to the existing industrial portions of the site is currently taken from Tejon and Pecos Streets. Access to the existing single-family homes is currently taken from Vallejo Street and West 56<sup>th</sup> Avenue.

**Subdivision Design and Improvements**

The proposed final plat has been reviewed by County staff for consistency with the County's Subdivision Design Standards (Section 5-03). The proposed subdivision has been designed to be appropriate for development, and the lot configuration is suitable for access and emergency services. The approved Pecos Logistics Park Metro District will ensure a cohesive development, which has available infrastructure and services to support the development. The proposed subdivision will be served by the Denver Water and the Berkeley Sanitation District. All



documentation has been provided to ensure conformance with the County's water supply requirements.

Per Section 5-02-05 of the County's Development Standards and Regulations, an SIA is required with a final plat. The SIA allows for construction of infrastructure, such as public streets, curbs, gutters, sidewalks, and storm sewers to be constructed on the property. In addition, non-residential subdivisions, public land dedication is required to support regional parks. Section 5-05-05-04 of the County's Development Standards allows for cash-in-lieu of land dedication. These cash-in-lieu fees will be expected to be paid prior to scheduling the final plat application for public hearings.

The County will be undertaking a Capital Improvement Project along the portions of North Pecos Street that are adjacent to this site. If the project is approved, the applicant will be constructing the western half of these improvements along the subject property's 1,700 linear feet of frontage along North Pecos Street.

**Surrounding Zoning Designations and Existing Use Activity:**

<b>Northwest</b> <u>R-1-C</u> Single-Family Residential	<b>North</b> <u>I-3</u> Union Pacific Railroad	<b>Northeast</b> <u>I-3</u> Union Pacific Railroad
<b>West</b> <u>R-1-C</u> Single-Family Residential	<b>Subject Property</b> <u>I-1, I-2, I-3, and R-1-C</u> Industrial/ Residential	<b>East</b> <u>C-5, I-2, and I-3</u> Commercial/Industrial
<b>Southwest</b> <u>R-1-C</u> Single-Family Residential	<b>South</b> <u>R-1-C</u> Single-Family Residential	<b>Southeast</b> <u>R-1-C</u> Single-Family Residential

**Compatibility with the Surrounding Area:**

The surrounding properties to the west and south are single-family residential dwellings with R-1-C zoning. Most of these homes are within the Clearview and Marion Manor subdivisions. The proposed development has been designed to improve overall compatibility in the area more than the existing site. The northern side of West 56<sup>th</sup> Avenue does not currently have sidewalks and the subject properties are developed with a large wall along the frontage of 56<sup>th</sup> Avenue. The proposed development will include curb, gutter, and sidewalk along this roadway, and a cohesive landscaping design will be required at the time of development. The proposed development has been designed so that the buildings will be approximately ten feet in grade below the street level. This design element will improve the overall views from the residential properties to south to better hide expansive buildings and vehicles. The site has also been designed to restrict vehicular movements of large trucks on West 56<sup>th</sup> Avenue. These design features will encourage truck traffic to use the fully signalized access point along North Pecos Street. Most of the subject site is currently zoned I-3, and the proposed development will reduce the intensity adjacent to residential uses. The industrial uses on-site will be moved from outdoor storage and concrete manufacturing to primarily indoor warehousing and trucking.

The northern and eastern portions of the site are directly adjacent to Union Pacific Railroad lines and commercial and industrial uses. The proposed development will allow moderate industrial development that is compatible with those uses.

The rezoning and final plat applications are compatible with the overall area and are not detrimental to public health and safety. Approval of these requests will improve the compatibility of the area by eliminating nearly 50 acres of I-3 zoning, which is not compatible with nearby properties developed with single-family residential dwellings. Traffic design ensures limited impact on the residential areas to the south and west. The request is also consistent with the character of development activities in the area and will enhance the infrastructure in the area to improve quality of life for residents.

**Staff Recommendation:**

**Based upon the application, the criteria for approval, and a recent site visit, staff recommends approval of this request with 11 findings-of-fact, 1 condition, and 1 note:**

**RECOMMENDED FINDINGS-OF-FACT**

1. The Zoning Map amendment is consistent with the Adams County Comprehensive Plan.
2. The Zoning Map amendment is consistent with the purposes of these standards and regulations.
3. The Zoning Map amendment will comply with the requirements of these standards and regulations
4. The Zoning Map amendment is compatible with the surrounding area, harmonious with the character of the neighborhood, not detrimental to the immediate area, not detrimental to the future development of the area, and not detrimental to the health, safety, or welfare of the inhabitants of the area and the County.
5. The final plat is consistent and conforms to the approved preliminary plat.
6. The final plat is in conformance with the subdivision design standards.
7. The applicant has provided evidence that a sufficient water supply has been acquired in terms of quantity, quality, and dependability for the type of subdivision proposed, as determined in accordance with the standards set forth in the water supply standards.
8. The applicant has provided evidence that a public sewage disposal system has been established and, if other methods of sewage disposal are proposed, adequate evidence indicating that the system complies with state and local laws and regulations.
9. The applicant has provided evidence to show all areas of the proposed subdivision, which may involve soil or topographical conditions presenting hazards or requiring special precautions, have been identified by the applicant and the proposed uses of these areas are compatible with such conditions.
10. The proposed or constructed drainage improvements are adequate and comply with these standards and regulations.
11. Adequate public facilities or infrastructure, or cash-in-lieu, for impacts reasonably related to the proposed subdivision have been constructed or financially guaranteed through cash-in-lieu or a subdivision improvements agreement so the proposed subdivision will not negatively impact the levels of service of the County.

**Recommended Condition of Approval:**

1. The existing on-site wastewater treatment system shall be abandoned in accordance with the Tri-County Health Department's Regulation No. O-17, Section 6.8. The Tri-County Health Department must be notified in writing once the systems have been properly abandoned.

**Recommended Note to the Applicant:**

1. The applicant shall comply with all building, zoning, fire, engineering, and health codes and regulations during the development of the subject site.

**CITIZEN COMMENTS**

Notifications Sent	Comments Received
471	2

All property owners and occupants within 1,000 feet of the subject property were notified of the request. As of writing this report, staff has received two comments on the rezoning and final plat applications. One comment letter addressed complaints on the existing development. The existing users are planning to vacate the property if the Pecos Logistics Park development is approved. The other comment letter had concerns with the maintenance of the nearby Fisher Ditch. Adams County staff provided the commenter with this information.

**COUNTY AGENCY COMMENTS**

Staff reviewed the request and has no outstanding concerns with the proposed applications.

**REFERRAL AGENCY COMMENTS**

The Tri-County Health Department requested that the existing on-site wastewater treatment system be abandoned in accordance with their regulations. Staff has recommended a condition of approval to ensure compliance with this request.

**Responding with Concerns:**

None

**Responding without Concerns:**

Colorado Department of Public Health and Environment

Colorado Department of Transportation

Colorado Div. of Mining Reclamation and Safety

Colorado Division of Water Resources

Denver Water

RTD

TCHD

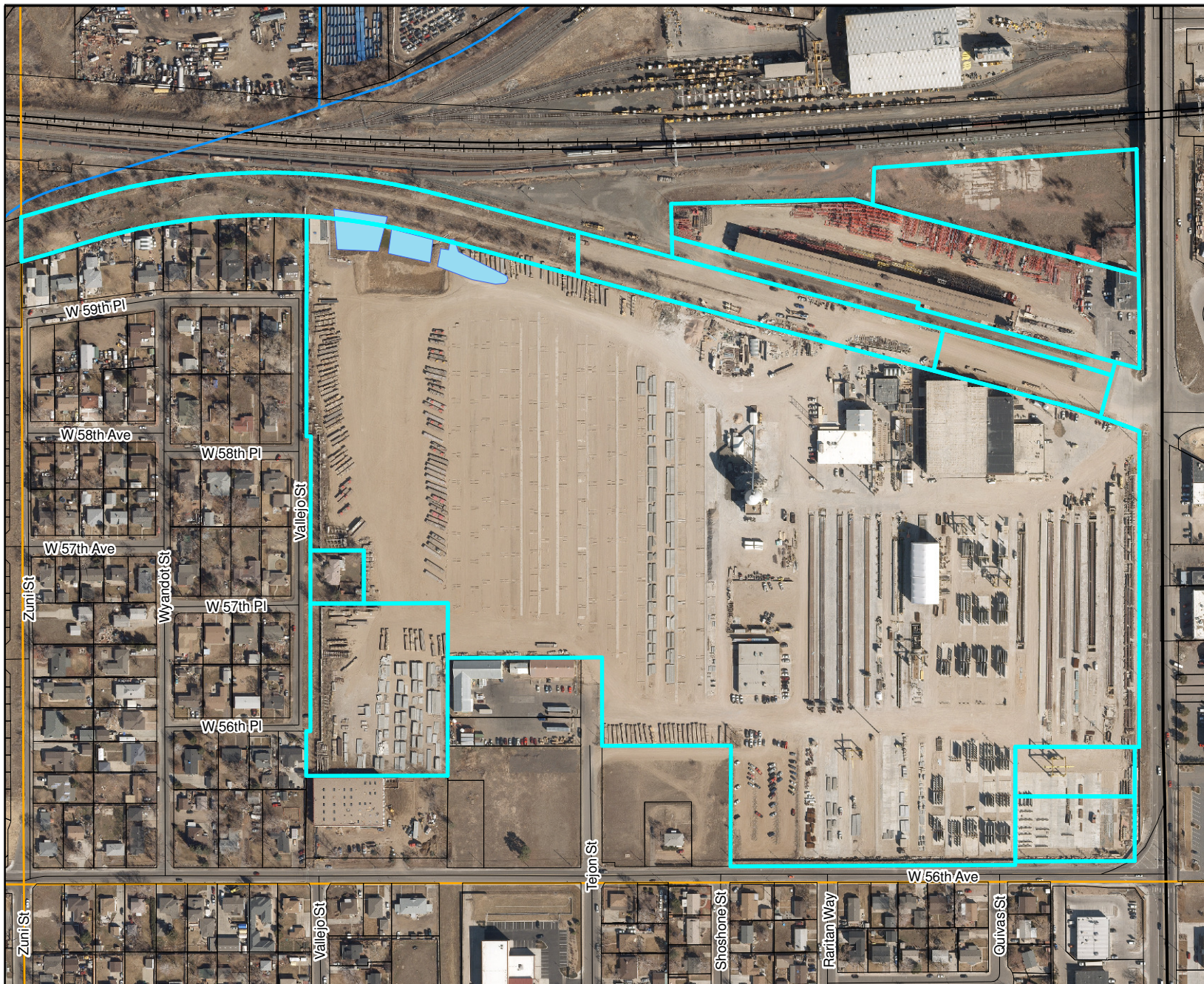
Xcel Energy

**Notified but not Responding / Considered a Favorable Response:**

Adams County Fire

Adams County Sheriff  
Berkeley Neighborhood Association  
Berkeley Sanitation District  
Century Link  
Colorado Division of Parks & Wildlife  
Colorado Geological Survey  
Comcast  
Crestview Water & Sanitation District  
Fisher Ditch Company  
Goat Hill Neighborhood Group  
Mapleton Schools #1  
Metro Wastewater  
Mobile Gardens  
North Lincoln Water & Sanitation District  
North Pecos Water & Sanitation District  
Northridge Estates at Gold Run HOA  
Pecos Logistics Park Metro District  
The TOD Group  
Union Pacific Railroad  
U.S. EPA  
U.S. Post Office  
Westminster School District #50





# Legend

- +— Railroad
- Major Water
- Zoning Line
- ▭ Sections

Pecos Logistics Park

PRC2020-00002



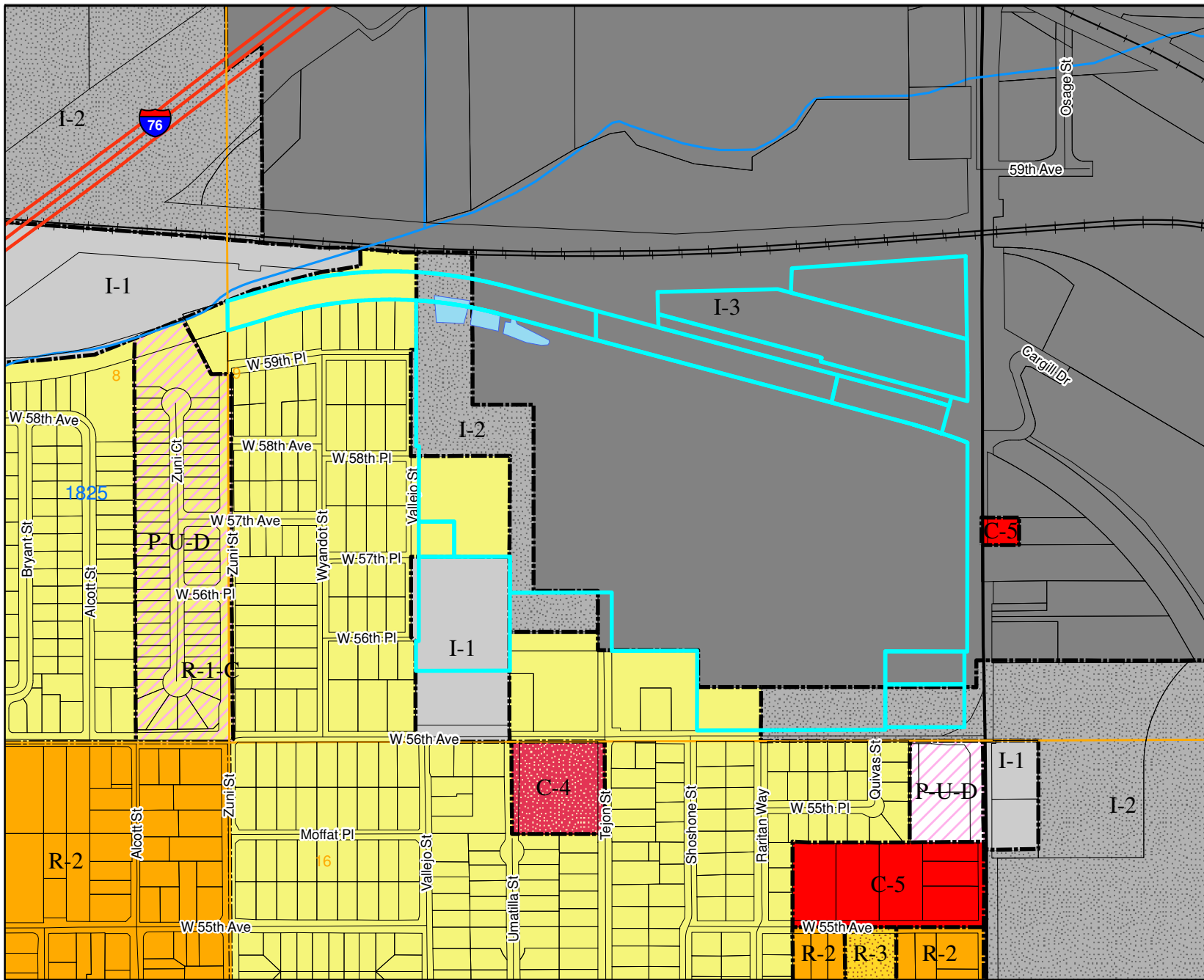
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ADAMS COUNTY  
COLORADO

This map is made possible  
by the Adams County GIS  
group, which assumes no  
responsibility for its accuracy





**Legend**

- Railroad
- Major Water
- Zoning Line
- Sections

**Zoning Districts**

- A-1
- A-2
- A-3
- R-E
- R-1-A
- R-1-C
- R-2
- R-3
- R-4
- M-H
- C-0
- C-1
- C-2
- C-3
- C-4
- C-5
- I-1
- I-2
- I-3
- CO
- PL
- AV
- DIA
- P-U-D
- P-U-D(P)

**Pecos Logistics Park**

**PRC2020-00002**



For display purposes only.



**ADAMS COUNTY**  
COLORADO

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## **CONCEPT NARRATIVE**

(north-west corner of N Pecos St and W 56<sup>th</sup> Ave)

The existing parcels of land are located at north-west corner of N Pecos St and W 56<sup>th</sup> Ave. The portions of the property were platted in the Felch Subdivision in April 1974 and in the Prestressed Con and Prestressed Con 2<sup>nd</sup> Filing in 1981. The portions of the property are unplatted. The subject properties are currently designated Residential Single Family (R-1-C), Industrial I-1, Industrial I-2 and Industrial I-3. The applicant requests to rezone entire property to I-2 Industrial Zone District.

The land is currently used as a manufacturing plant and outside storage yard for precast concrete panels by Rocky Mountain Prestress company. Westfield will develop the Pecos site over three phases. Each phase will include the development of approximately three industrial warehouse buildings consisting of between 380,000 and 470,000 total square feet. Once fully complete, this site will include up to 8 buildings totaling 1.3 million square feet that can accommodate businesses of varying size. Targeted tenants will include service oriented and supplier tenants as well as last-mile distribution and logistics users.

Proposed buildings will have the flexibility for small to large and build-to-suit tenants and can accommodate either front park / rear load or cross dock design. Westfield recently completed the successful HUB25 development at 601 64th Ave. in Adams County and it is our intent to largely replicate that development on this site.

The buildings are designed so the front facade will be facing N Pecos public ROW and the truck court will be mostly hidden in the middle between buildings or screened with landscaping and topography. The proposed construction is painted tilt-up concrete with reveals and details to create rhythm, scale and texture. Interior clear height for all buildings will be around 28-feet. We anticipate the overall building height will be approximately 37-feet to the top of parapet.

As part of Phase 1, Westfield will create a Metro District as a vehicle to fund and install some of the required infrastructure; (water, sewer, gas, power, storm, roads, etc.)

It is necessary to obtain adequate ingress and egress from Pecos and 56th Ave. We have commissioned and provided a traffic impact study that supports the overall project as well as the need for a traffic signal from the Pecos Property onto Pecos St. The success of the project is predicated upon the access from this site to the adjacent interstate system(s), I76 and I25.

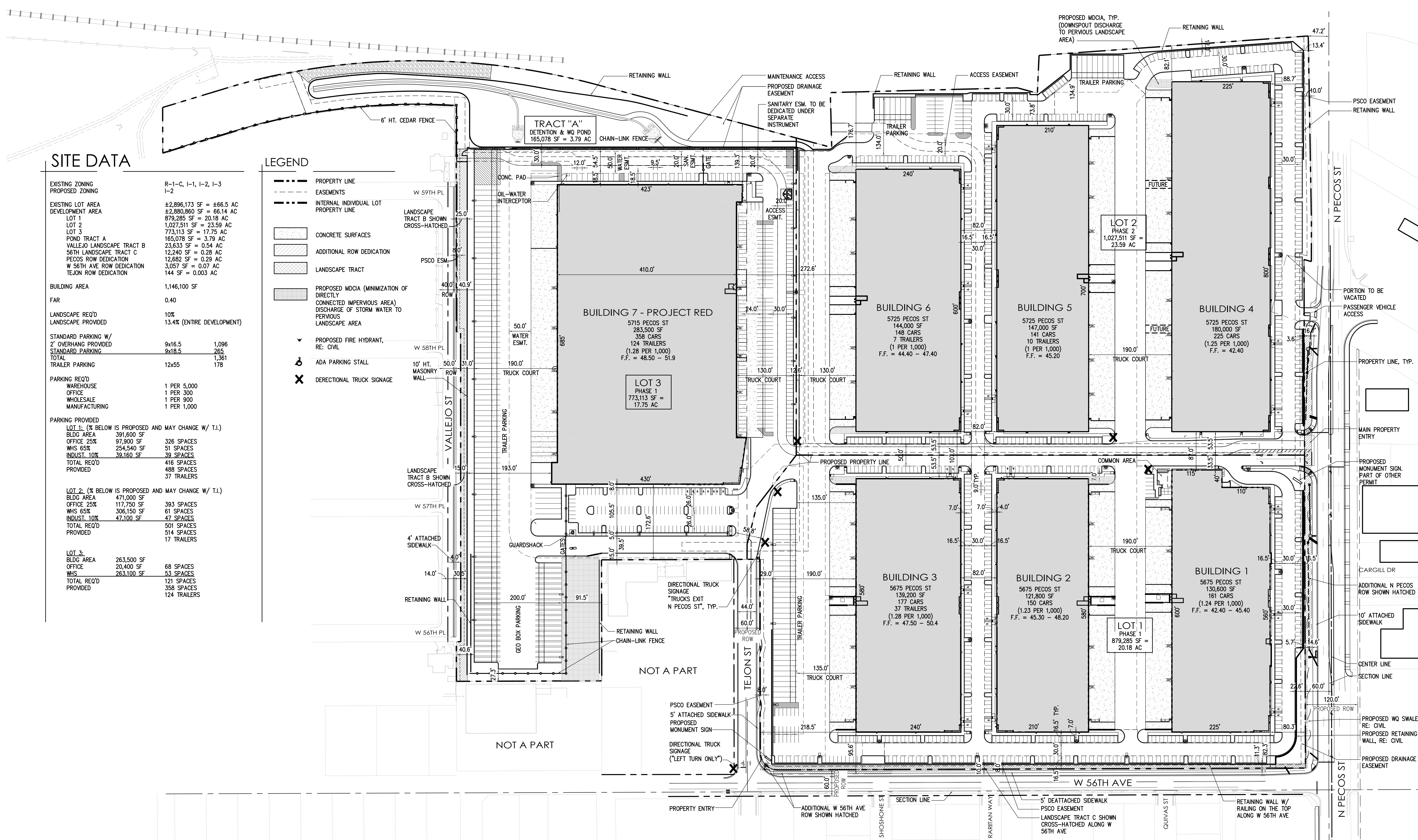
The proposed development will be a valuable asset for Adams County by providing employers the much-needed space to create local job opportunities for residents. The project will start after receiving all necessary permits; probably in the spring of 2020.



PECOS LOGISTICS PARK FILING NO. 1

A TRACT OF LAND LOCATED IN THE SOUTHWEST  $\frac{1}{4}$  OF SECTION 9, TOWNSHIP 3 SOUTH, RANGE 68  
WEST OF 6TH P.M., COUNTY OF ADAMS, STATE OF COLORADO

SHEET 1 OF 1



SITE DATA

EXISTING ZONING	R-1-C, I-1, I-2, I-3
PROPOSED ZONING	I-2
EXISTING LOT AREA	
DEVELOPMENT AREA	
LOT 1	±2,896,173 SF = ±66.5 AC
LOT 2	±2,880,860 SF = 66.14 AC
LOT 3	879,285 SF = 20.18 AC
TRACT A	1,027,511 SF = 23.59 AC
TRACT B	773,113 SF = 17.75 AC
TRACT C	165,078 SF = 3.79 AC
TRACT D	23,633 SF = 0.54 AC
TRACT E	12,240 SF = 0.28 AC
TRACT F	12,682 SF = 0.29 AC
TRACT G	3,057 SF = 0.07 AC
TRACT H	144 SF = 0.003 AC
BUILDING AREA	1,146,100 SF
FAR	0.40
LANDSCAPE REQ'D	10%
LANDSCAPE PROVIDED	13.4% (ENTIRE DEVELOPMENT)
STANDARD PARKING W/ 2' OVERHANG PROVIDED	9x16.5 1,096
STANDARD PARKING	9x18.5 265
TOTAL	1,361
TRAILER PARKING	12x55 178
PARKING PROVIDED	
WAREHOUSE	1 PER 5,000
OFFICE	1 PER 300
WHOLESALE	1 PER 900
MANUFACTURING	1 PER 1,000
LOT 1: (% BELOW IS PROPOSED AND MAY CHANGE W/ T.I.)	
BLDG AREA	391,600 SF
OFFICE 25%	97,900 SF 326 SPACES
WHS 65%	254,540 SF 51 SPACES
INDUST. 10%	39,160 SF 39 SPACES
TOTAL REQ'D	416 SPACES
PROVIDED	488 SPACES
TRAILERS	37 TRAILERS
LOT 2: (% BELOW IS PROPOSED AND MAY CHANGE W/ T.I.)	
BLDG AREA	471,000 SF
OFFICE 25%	117,750 SF 393 SPACES
WHS 65%	306,150 SF 61 SPACES
INDUST. 10%	47,100 SF 47 SPACES
TOTAL REQ'D	501 SPACES
PROVIDED	514 SPACES
TRAILERS	17 TRAILERS
LOT 3: (% BELOW IS PROPOSED AND MAY CHANGE W/ T.I.)	
BLDG AREA	263,500 SF
OFFICE 25%	65,875 SF 219 SPACES
WHS 65%	171,275 SF 34 SPACES
INDUST. 10%	26,350 SF 26 SPACES
TOTAL REQ'D	320 SPACES
PROVIDED	358 SPACES
TRAILERS	124 TRAILERS

LEGEND

- PROPERTY LINE
- EASEMENTS
- INTERNAL INDIVIDUAL LOT PROPERTY LINE
- CONCRETE SURFACES
- ADDITIONAL ROW DEDICATION
- LANDSCAPE TRACT
- PROPOSED MDCA (MINIMIZATION OF DIRECTLY CONNECTED IMPERVIOUS AREA) DISCHARGE OF STORM WATER TO PERVIOUS LANDSCAPE AREA
- PROPOSED FIRE HYDRANT, RE: CIVIL
- ADA PARKING STALL
- DIRECTIONAL TRUCK SIGNAGE

GREY WOLF ARCHITECTURE  
ARCHITECTURE PLANNING INTERIOR DESIGN  
1415 QUINCY STREET SUITE 200  
DENVER, COLORADO 80202  
303.292.9107 fax 303.292.4977  
info@greywolfstudio.com

PECOS LOGISTICS PARK  
5675, 5725 & 5715 N PECOS ST  
ADAMS COUNTY, CO

DATES/ REVISIONS  
02.12.20 1ST SUBMITTAL

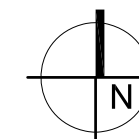
1 OF 1

SITE PLAN

1 SITE PLAN

SHT 1 1" = 100'-0"

0 50 100









PECOS LOGISTICS PARK FILING NO. 1

A REPLAT OF PRESTRESSED-CON SUBDIVISION SECOND FILING; PRESTRESSED-CON SUBDIVISION; LOT 2, BLOCK 1, FELCH SUBDIVISION; RIGHT OF WAY VACATION OF A PORTION OF PECOS STREET  
AND UNPLATTED PARCELS OF LAND LYING IN THE SOUTHWEST ONE-QUARTER OF SECTION 9, TOWNSHIP 3 SOUTH, RANGE 68 WEST OF THE 6TH PRINCIPAL MERIDIAN,  
COUNTY OF ADAMS, STATE OF COLORADO  
SHEET 2 OF 7

CASE NO.: PLT2020–00005

BASIS OF BEARINGS:

AN ASSUMED BEARING OF N00°00'00"E BEING THE EAST LINE OF THE SOUTHWEST ¼ OF SECTION 9, TOWNSHIP 3 SOUTH, RANGE 68 WEST OF THE 6TH P.M., BETWEEN TWO POINTS 2646.62 FEET APART; ONE POINT BEING A FOUND 2" DIAMETER ALLOY CAP ISTAMPED PLS 24942 IN A RANGE BOX AT THE CENTER ¼ CORNER OF OF SAID SECTION 9 AND THE OTHER POINT BEING THE SOUTH ¼ CORNER OF SAID SECTION 9 THAT WAS CALCULATED FROM A FOUND ILLEGIBLE ALLOY CAP IN A RANGE BOX 5.00 FEET WEST OF SAID SOUTH ¼ CORNER AS PER MONUMENT RECORD TIE SHEETS.

ACCESS RESTRICTION STATEMENT:

ALL ACCESS RIGHTS SHALL BE RESTRICTED ACROSS RIGHT–OF–WAY LINES OF MAJOR HIGHWAYS, PARKWAYS, STREETS OR FREEWAYS, WHERE REQUIRED AS A PROVISION OF APPROVAL. WITH THE FILING OF PECOS LOGISTICS PARK FILING NO. 1 PLAT THERE WILL BE NO ACCESS PROVIDED, OR ALLOWED, TO AND FROM EXISTING VALLEJO STREET.

EASEMENT STATEMENT:

UTILITY EASEMENTS ARE HEREBY DEDICATED ON PRIVATE PROPERTY AS SHOWN ON SUBDIVISION PLAT. THESE EASEMENTS ARE DEDICATED TO ADAMS COUNTY FOR THE BENEFIT OF THE APPLICABLE UTILITY PROVIDERS FOR THE INSTALLATION, MAINTENANCE, AND REPLACEMENT OF UTILITIES.

STORM DRAINAGE FACILITIES STATEMENT:

THE POLICY OF THE COUNTY REQUIRES THAT MAINTENANCE ACCESS SHALL BE PROVIDED TO ALL STORM DRAINAGE FACILITIES TO ASSURE CONTINUOUS OPERATIONAL CAPABILITY OF THE SYSTEM. THE PROPERTY OWNERS SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF ALL DRAINAGE FACILITIES INCLUDING INLETS, PIPES, CULVERTS, CHANNELS, DITCHES, HYDRAULIC STRUCTURES, AND DETENTION BASINS LOCATED ON THEIR LAND UNLESS MODIFIED BY THE SUBDIVISION DEVELOPMENT AGREEMENT. SHOULD THE OWNER FAIL TO MAINTAIN SAID FACILITIES, THE COUNTY SHALL HAVE THE RIGHT TO ENTER SAID LAND FOR THE SOLE PURPOSE OF OPERATIONS AND MAINTENANCE. ALL SUCH MAINTENANCE COST WILL BE ASSESSED TO THE PROPERTY OWNERS.

THE APPROVED STORMWATER OPERATIONS AND MAINTENANCE MANUAL IS ON FILE WITH THE ADAMS COUNTY CLERK AND RECORDERS OFFICE AT RECEPTION NO. \_\_\_\_\_.

RIGHT OF WAY DEDICATION NOTE:

RIGHT OF WAY ALONG PECOS STREET AND WEST 56TH AVENUE ARE TO BE DEDICATED BY THIS PLAT AND PLATTING PROCESS.

RIGHT OF WAY DEDICATED ALONG PECOS STREET: 12,286 SQUARE FEET (0.29 ACRES±)  
RIGHT OF WAY DEDICATED ALONG WEST 56TH AVENUE: 3,057 SQUARE FEET (0.07 ACRES±)

RIGHT OF WAY VACATION NOTE:

A PORTION OF THE ADAMS COUNTY PARCEL ALONG PECOS STREET RECORDED AT RECEPTION NO. 2009000069014 OF THE ADAMS COUNTY RECORDS SHALL BE VACATED AND INCORPORATED INTO LOT 2 BY THIS PLAT AND AS SHOWN ON THIS PLAT.

FLOODPLAIN NOTE:

THE PROPERTY IS LOCATED WITHIN ZONE X (AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN) AS PER FEMA FIRM MAP NO. 08001C0592H DATED MARCH 5, 2007.

TRACT NOTE:

TRACT "A" IS FOR THE PURPOSES OF STORM DRAINAGE FACILITIES AND SANITARY SEWER INFRASTRUCTURE. TRACT "A" WILL BE OWNED BY PECOS LOGISTICS PARK, LLLP, A COLORADO LIMITED LIABILITY LIMITED PARTNERSHIP, AND WILL BE MAINTAINED BY THE OWNERSHIP OR PECOS LOGISTICS PARK METROPOLITAN DISTRICT. ADAMS COUNTY SHALL HAVE ACCESS TO TRACT "A".

TRACT "B" IS FOR THE PURPOSE OF PROVIDING A BUFFER AREA THAT TRANSITIONS THE RESIDENTIAL ZONED AREAS TO THE WEST AND THE INDUSTRIAL ZONED AREAS WITHIN THE PECOS LOGISTICS PARK FILING NO. 1 PLATTED LANDS. TRACT "B" WILL BE OWNED BY PECOS LOGISTICS PARK, LLLP, A COLORADO LIMITED LIABILITY LIMITED PARTNERSHIP, AND WILL BE MAINTAINED BY THE OWNERSHIP OR PECOS LOGISTICS PARK METROPOLITAN DISTRICT.

TRACT "C" IS FOR THE PURPOSE OF PROVIDING A LANDSCAPE BUFFER AREA ALONG WEST 56TH AVENUE. TRACT "C" WILL BE OWNED BY PECOS LOGISTICS PARK, LLLP, A COLORADO LIMITED LIABILITY LIMITED PARTNERSHIP, AND WILL BE MAINTAINED BY THE OWNERSHIP OR PECOS LOGISTICS PARK METROPOLITAN DISTRICT.

TITLE COMMITMENT NOTE:

SURVEYOR RELIED UPON TITLE COMMITMENT PREPARED BY LAND TITLE GUARANTEE COMPANY ORDER NO. ABD70603098.3 WITH AN EFFECTIVE DATE OF MARCH 26, 2020, FOR THE PREPARATION OF THIS PLAT.

PUBLIC SERVICE COMPANY OF COLORADO/XCEL ENERGY NOTE:

UTILITY EASEMENTS ARE DEDICATED ADAMS COUNTY FOR THE BENEFIT OF THE APPLICABLE UTILITY PROVIDERS FOR THE INSTALLATION, MAINTENANCE, AND REPLACEMENT OF ELECTRIC, GAS, TELEVISION, CABLE, AND TELECOMMUNICATIONS FACILITIES (DRY UTILITIES). UTILITY EASEMENTS SHALL ALSO BE GRANTED WITHIN ANY ACCESS EASEMENTS AND PRIVATE STREETS IN THE SUBDIVISION. PERMANENT STRUCTURES, IMPROVEMENTS, OBJECTS, BUILDINGS, WELLS, AND OTHER OBJECTS THAT MAY INTERFERE WITH THE UTILITY FACILITIES OR USE THEREOF (INTERFERING OBJECTS) SHALL NOT BE PERMITTED WITHIN SAID UTILITY EASEMENTS AND THE UTILITY PROVIDERS, AS GRANTEES, MAY REMOVE ANY INTERFERING OBJECTS AT NO COST TO SUCH GRANTEES, INCLUDING, WITHOUT LIMITATION, VEGETATION. PUBLIC SERVICE COMPANY OF COLORADO (PSCO) AND ITS SUCCESSORS RESERVE THE RIGHT TO REQUIRE ADDITIONAL EASEMENTS AND TO REQUIRE THE PROPERTY OWNER TO GRANT PSCO AN EASEMENT ON ITS STANDARD FORM.

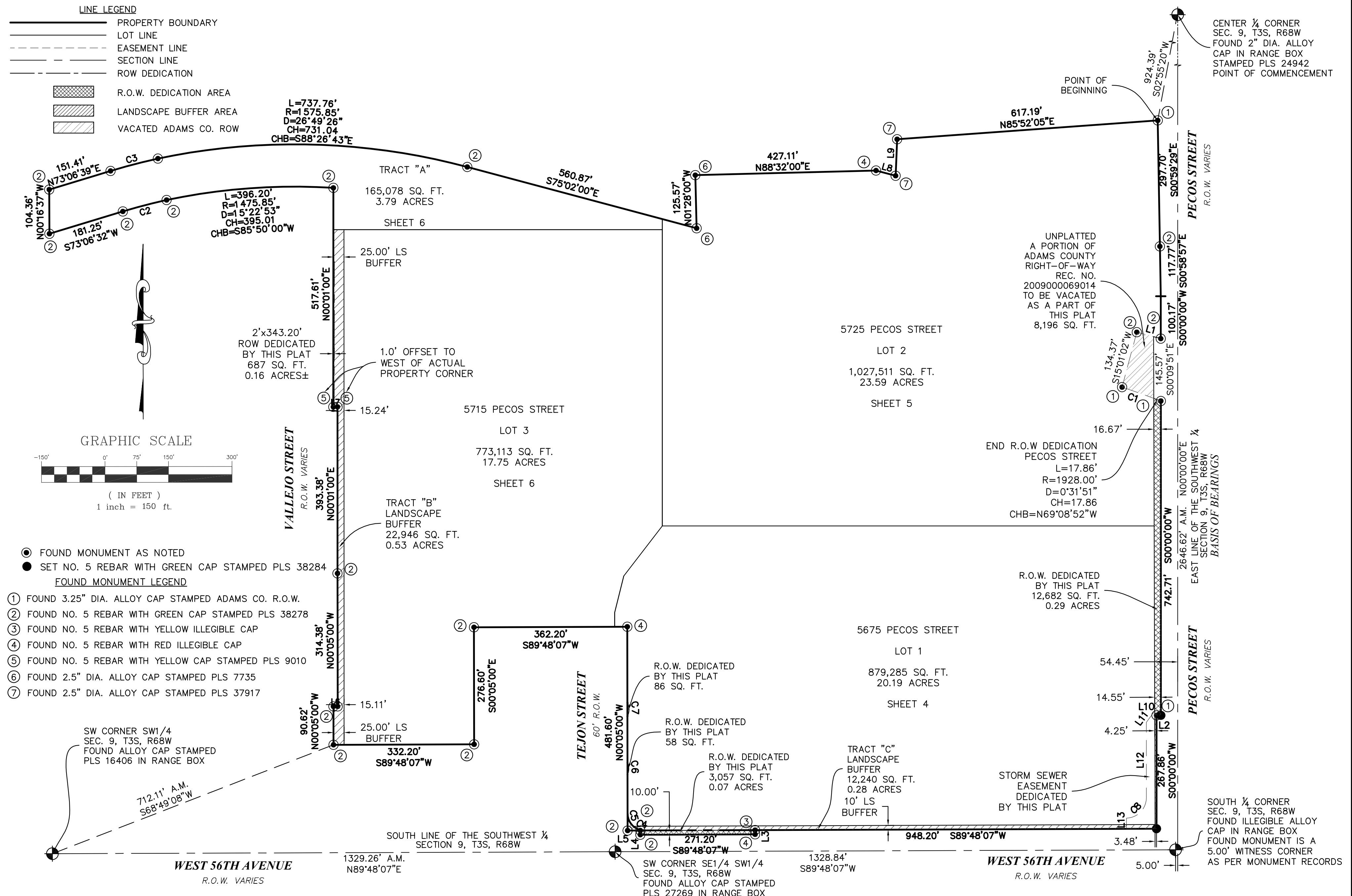
CURVE TABLE				
CURVE	LENGTH	RADIUS	CHB	CHORD
C1	97.37'	1928.00	S70°19'45"E	97.36'
C2	106.88'	1382.69	S75°19'31"W	106.85'
C3	115.66'	1482.69	N75°20'49"E	115.63'
C4	28.91'	40.00	N69°29'36"W	28.28'
C5	34.00'	40.00	N24°26'10"W	32.99'
C6	29.40'	35.50	N00°05'00"W	28.56'
C7	33.74'	35.50	N00°05'00"W	32.49'
C8	74.40'	48.00	S44°24'11"W	67.17'
LINE TABLE				
LINE	LENGTH	BEARING		
L1	58.59'	N75°02'00"W		
L2	10.30'	N89°48'07"E		
L3	10.00'	S00°05'00"E		
L4	10.00'	N00°05'00"W		
L5	30.00'	N89°48'07"E		
L6	10.00'	S89°48'07"W		
L7	10.00'	N89°51'16"E		
L8	47.91'	S75°02'00"E		
L9	86.37'	N02°21'23"E		
L10	3.24'	N89°50'09"E		
L11	27.81'	N36°23'50"E		
L12	178.39'	N00°00'00"W		
L13	25.28'	N00°11'53"W		

CURVE C8 AND LINES L10–L13 ARE IN REFERENCE TO THE STORM DRAINAGE EASEMENT

# PECOS LOGISTICS PARK FILING NO. 1

CASE NO.: PLT2020-00005


A REPLAT OF PRESTRESSED-CON SUBDIVISION SECOND FILING; PRESTRESSED-CON SUBDIVISION; LOT 2, BLOCK 1, FELCH SUBDIVISION; RIGHT OF WAY VACATION OF A PORTION OF PECOS STREET  
AND UNPLATTED PARCELS OF LAND LYING IN THE SOUTHWEST ONE-QUARTER OF SECTION 9, TOWNSHIP 3 SOUTH, RANGE 68 WEST OF THE 6TH PRINCIPAL MERIDIAN,  
COUNTY OF ADAMS, STATE OF COLORADO  
SHEET 3 OF 7












CASE NO.: PLT2020-00005

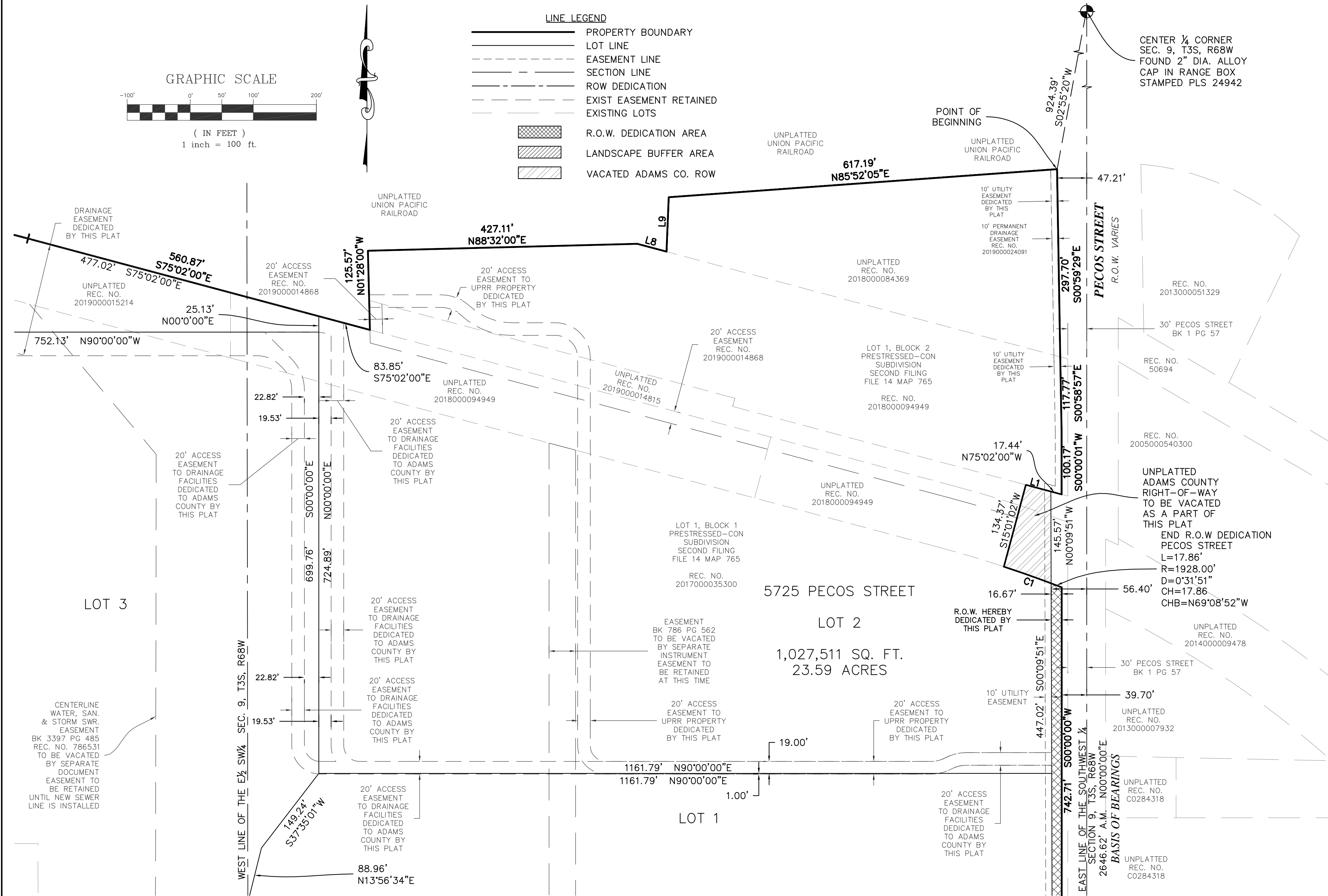
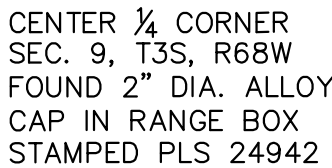
**GRAPHIC SCALE**



( IN FEET )  
1 inch = 100 ft.

### LINE LEGEND

- |   |                         |
|---|-------------------------|
|  | PROPERTY BOUNDARY       |
|  | LOT LINE                |
|  | EASEMENT LINE           |
|  | SECTION LINE            |
|  | ROW DEDICATION          |
|  | EXIST EASEMENT RETAINED |
|  | EXISTING LOTS           |
|  | R.O.W. DEDICATION AREA  |
|  | LANDSCAPE BUFFER AREA   |
|  | VACATED ADAMS CO. ROW   |



# PECOS LOGISTICS PARK FILING NO. 1

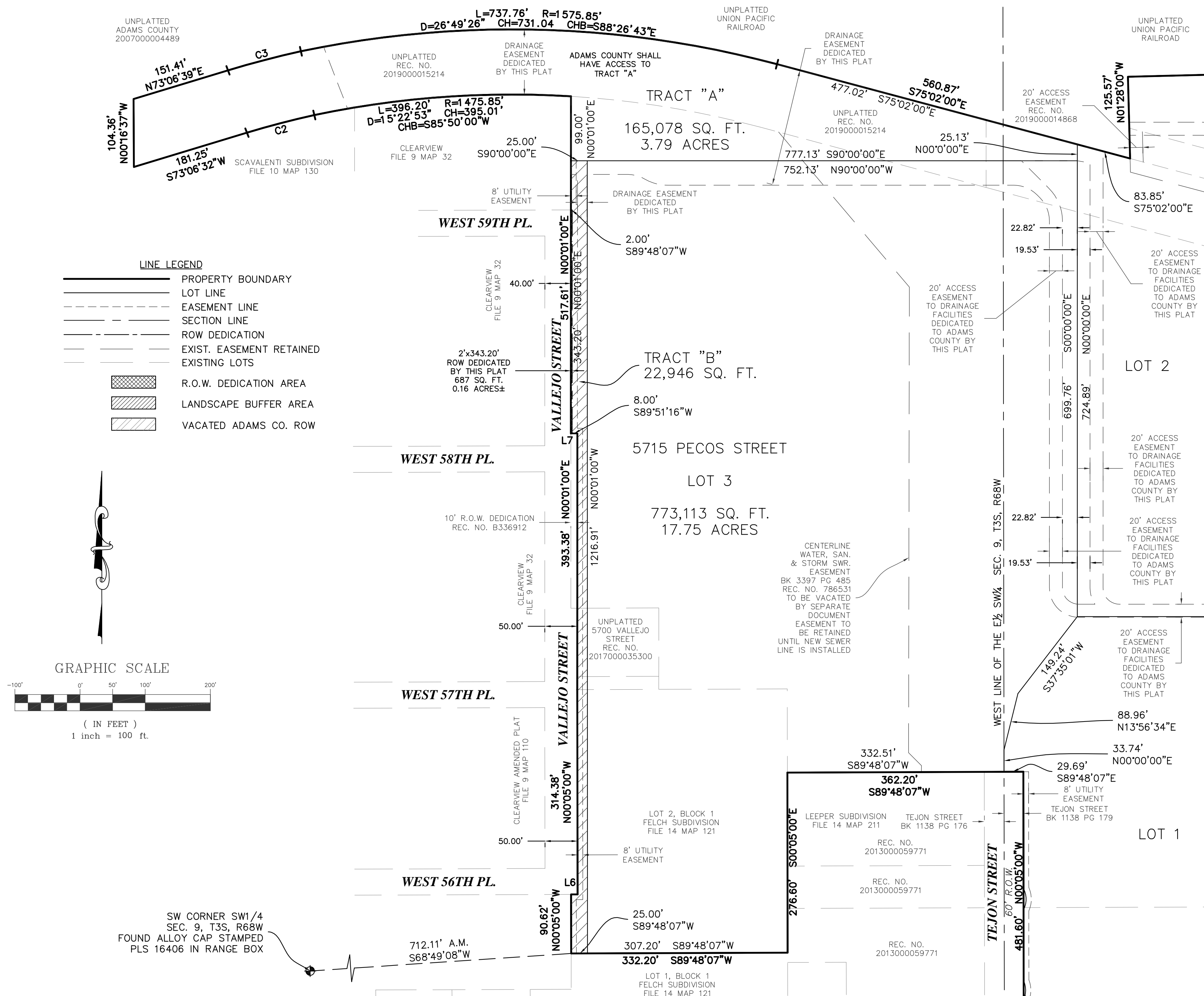
CASE NO.: PLT2020-00005

A REPEAT OF PRESTRESSED-CON SUBDIVISION SECOND FILING: PRESTRESSED-CON SUBDIVISION: LOT 2, BLOCK 1, FELCH SUBDIVISION: RIGHT OF WAY VACATION OF A PORTION OF PECOS STREET

AND UNPLATTED PARCELS OF LAND LYING IN THE SOUTHWEST ONE-QUARTER OF SECTION 9, TOWNSHIP 3 SOUTH, RANGE 68 WEST OF THE 6TH PRINCIPAL MERIDIAN

COUNTY OF ADAMS, STATE OF COLORADO

SHEET 6 OF 7



# PECOS LOGISTICS PARK FILING NO. 1

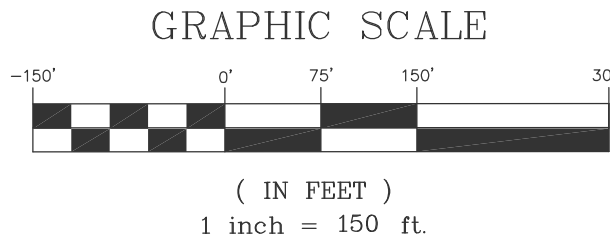
CASE NO.: PLT2020-00005

A REPEAT OF PRESTRESSED-CON SUBDIVISION SECOND FILING: PRESTRESSED-CON SUBDIVISION: LOT 2, BLOCK 1, FELCH SUBDIVISION: RIGHT OF WAY VACATION OF A PORTION OF PECOS STREET










AND UNPLATTED PARCELS OF LAND LYING IN THE SOUTHWEST ONE-QUARTER OF SECTION 9, TOWNSHIP 3 SOUTH, RANGE 68 WEST OF THE 6TH PRINCIPAL MERIDIAN

COUNTY OF ADAMS, STATE OF COLORADO

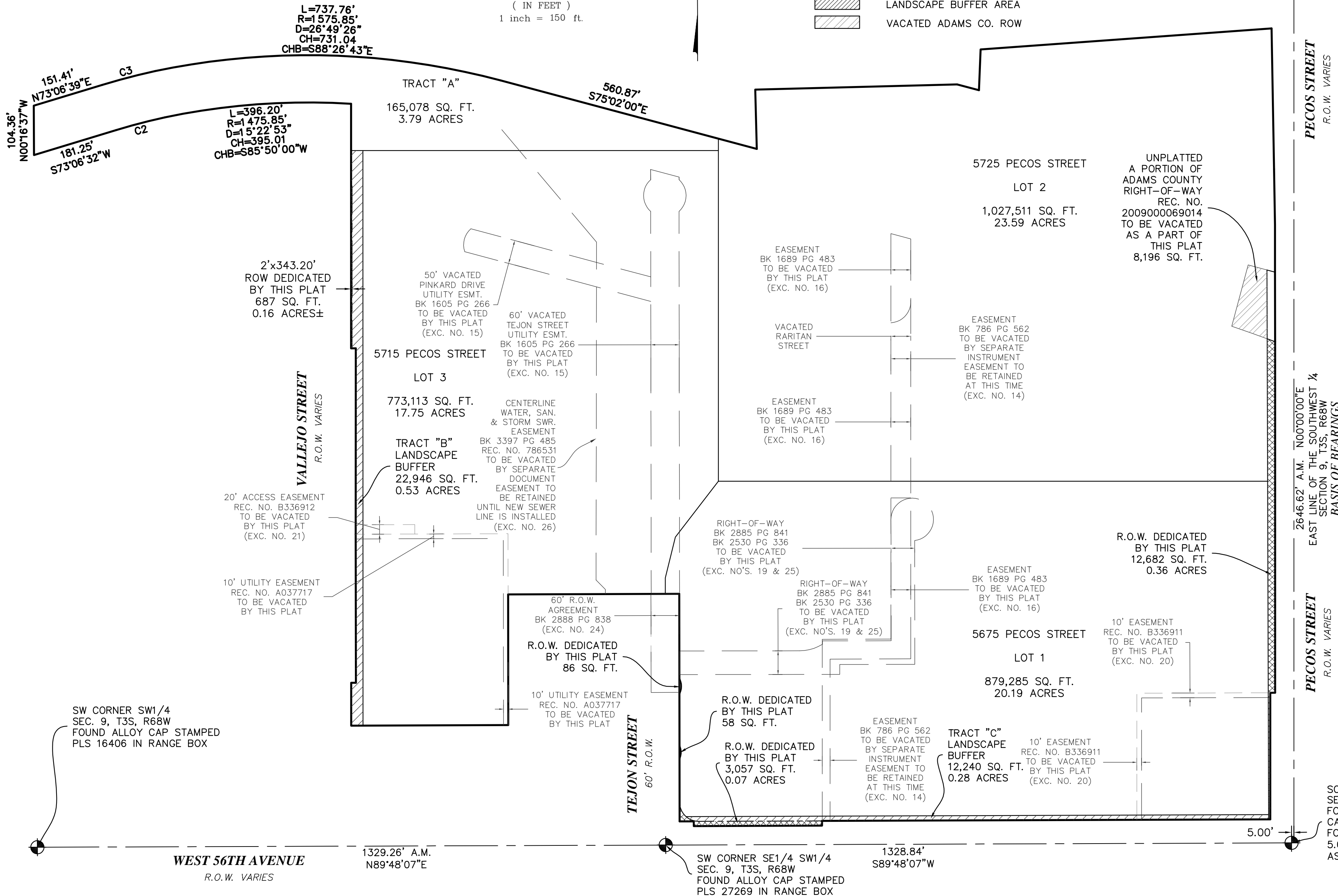
SHEET 7 OF 7



LINE LEGEND

-  PROPERTY BOUNDARY  
 LOT LINE  
 EXISTING EASEMENT LINE  
 SECTION LINE  
 ROW DEDICATION  
 EXISTING PLATTED LOTS  
  
 R.O.W. DEDICATION AREA  
 LANDSCAPE BUFFER AREA  
 VACATED ADAMS CO. ROW

CENTER 1/4 CORNER  
SEC. 9, T3S, R68W  
FOUND 2" DIA. ALLOY  
CAP IN RANGE BOX  
STAMPED PLS 24942





**SUBDIVISION IMPROVEMENTS AGREEMENT**

THIS AGREEMENT is made and entered into by and between the County of Adams, State of Colorado, hereinafter called “County,” and Pecos Logistics Park, LLLP, hereinafter called “Developer.”

WITNESSETH:

WHEREAS, Developer is the owner of real property in the County of Adams, State of Colorado, as described in Exhibit “A” attached hereto, and by this reference made a part hereof.

WHEREAS, it is provided by resolution of the Board of County Commissioners, County of Adams, that where designated the Developer shall have entered into a written agreement with the County to install public and/or private improvements, and to deed land for public purposes or right-of-way.

NOW, THEREFORE, in consideration of the foregoing, the parties hereto promise, covenant, and agree as follows:

**1. Engineering Services.**

- a. Developer’s Obligations. Developer shall furnish, at its own expense, all engineering and other services in connection with the design and construction of the improvements described and detailed on Exhibits C, D, E and F and the signal design included in Exhibit B attached hereto, and by this reference made a part hereof.
- b. County’s Obligations. County shall furnish, at its own expense, all engineering and other services and necessary permits in connection with the design of the half street improvements described and detailed in Exhibit B. Developer shall be responsible for the construction and costs for improvements on the west half of Pecos Street as outlined in Exhibit B.

**2. Drawings and Estimates.** The Developer shall furnish drawings and cost estimates for all improvements described and detailed on Exhibit B, C, D, E and F for approval by the County. Cost estimates are detailed on Exhibit G. Upon request, the Developer shall furnish one set of reproducible “as built” drawings and a final statement of construction costs to the County.

**3. Construction.** Developer shall furnish and construct, at its own expense and in accordance with drawings and materials approved by the County, the improvements described and detailed on Exhibits B, C, D, E and F.

**4. Time for Completion.** Improvements shall be completed according to the terms of this agreement by no later than December 31, 2021. The Director of Community and Economic Development Department may for good cause grant extension of time for completion of any part or all of improvements appearing on said Exhibit B, C, D and E. Any extension greater than 180 days is within the sole discretion of the Board of County Commissioners. All extensions of time must be in writing.

**5. Guarantee of Compliance.** Developer shall furnish to the County a cash escrow deposit or other acceptable collateral, releasable only by the County, to guarantee compliance with this agreement. Said collateral shall be in the amount of \$2,548,622, including twenty percent (20%) to cover administration and five percent (5%) per year for the term of the Agreement to cover inflation. Upon approval of the final plat, completion of said improvements constructed according to the terms of this agreement, and Preliminary Acceptance by the Director of Public Works in accordance with section 5-02-05-01 of the County’s Development Standards and Regulations, the collateral shall be released. Completion of said improvements shall be determined solely by the County, and a reasonable part of said collateral, up to 20%, may be retained to guarantee maintenance of public improvements for a period of one year from the date of Preliminary Acceptance.

No building permits shall be issued until said collateral is furnished in the amount required and in a form acceptable to the Board of County Commissioners, and until the final plat has been

approved. No certificate of occupancy will be issued until the improvements described in Exhibit B, C, D and E have been preliminarily accepted by the Department of Public Works.

Building permits will only be issued if access for emergency vehicles is provided and a temporary sediment basin is constructed. To facilitate the construction of the sediment basin, grading and retaining wall(s) construction will be required. The County agrees to issue grading, utility and retaining wall permits in advance of final plat approval and building permits to accommodate this requirement. A Certificate of Occupancy will not be issued until such time as the permanent pond is constructed and accepted by Adams County and the improvements described in Exhibits B, C, D, E and F have been preliminarily accepted by the Department of Public Works.

6. **Acceptance and Maintenance of Public Improvements.** All improvements designated “public” on Exhibits B, C, D and E shall be public facilities and become the property of the County or other public agencies upon acceptance. During the period of one year from and after the acceptance of public improvements, the Developer shall, at its own expense, make all needed repairs or replacement due to defective materials or workmanship which, in the opinion of the County, becomes necessary. If, within ten days of written notice to the Developer from the County requesting such repairs or replacements, the Developer has not undertaken with due diligence to make the same, the County may make such repairs or replacements at the Developer’s expense. In the case of an emergency such written notice may be waived.

Developer shall maintain all landscape and water quality features included in public right-of-way as designated on Exhibits B, C, D and E.

7. **Successors and Assigns.** This agreement shall be binding upon the heirs, executors, personal representatives, successors, and assigns of the Developer, and shall be deemed a covenant running with the real property as described in Exhibit A attached hereto.
8. **Improvements and Dedication.** The undersigned Developer hereby agrees to provide the following improvements, and to dedicate described property.

**A. Improvements.**

Public Improvements:

Public improvements include half street improvements on Pecos St, 56<sup>th</sup> Avenue, Tejon St and Vallejo St. Improvements to consist of improved roadway cross sections, curb and gutter, sidewalks, water quality swales, utilities and landscaping. Developer shall design and construct Pecos temporary transition details, Adams County shall design and construct Pecos median structure.

See Exhibits B, C, D and E for detailed description.

The improvements shall be constructed in accordance with all County requirements and specifications in accordance with the approved plans and time schedule as indicated in Exhibits B, C, D and E.

- B. **Public dedication of land for right-of-way purposes or other public purpose.** Upon approval of this agreement by the Board of County Commissioners, the Developer hereby agrees to convey by warranty deed to the County of Adams the following described land for right-of-way or other public purposes:

Right of way along Pecos Street, 56<sup>th</sup> Avenue and Vallejo Street are to be dedicated by the Final Plat and the Platting Process.

Jason J. Miller  
Authorized Signatory  
Pecos Logistics Park, LLLP  
Developer

By: \_\_\_\_\_  
Name, Title

By: \_\_\_\_\_  
Name, Title

The foregoing instrument was acknowledged before me this \_\_\_\_ day of \_\_\_\_\_,  
2020\_\_, by \_\_\_\_\_  
\_\_\_\_\_.

My commission expires: \_\_\_\_\_

Address: \_\_\_\_\_  
\_\_\_\_\_

\_\_\_\_\_  
Notary Public

APPROVED BY resolution at the meeting of \_\_\_\_\_, 2020

Collateral to guarantee compliance with this agreement and construction of public improvements shall be required in the amount of \$2,548,622. No building permits shall be issued until said collateral is furnished in the amount required and in a form acceptable to the Board of County Commissioners.

ATTEST:

BOARD OF COUNTY COMMISSIONERS  
ADAMS COUNTY, COLORADO

\_\_\_\_\_  
Clerk of the Board

\_\_\_\_\_  
Chair

**EXHIBIT A**

**Legal Description:** See attached Legal Description

**Public Improvements:** See attached Exhibits B, C, D, E

**Construction Completion Date:** By December 31, 2021

Initials or signature of Developer:\_\_\_\_\_

\_\_\_\_\_

# **PECOS LOGISTICS PARK SUBDIVISION IMPROVEMENTS AGREEMENT**

## **LIST OF EXHIBITS TO THE AGREEMENT**

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- Exhibit A:** Pecos Logistics Park Legal Description
- Exhibit B:** Pecos Street Improvement Drawings & Proposed New Pecos Street Traffic Signal Drawings
- Exhibit C:** 56<sup>th</sup> Street Improvement Drawings
- Exhibit D:** Vallejo Street Improvement Drawings
- Exhibit E:** Tejon Street Improvement Drawings
- Exhibit F:** Tract A Detention Pond Drawings
- Exhibit G:** Opinion of Estimated Costs for Exhibits B-F
-

# PECOS LOGISTICS PARK SUBDIVISION IMPROVEMENTS AGREEMENT

## EXHIBIT A: LEGAL DESCRIPTION

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A TRACT OF LAND LOCATED IN THE SOUTHWEST ¼ OF SECTION 9, TOWNSHIP 3 SOUTH, RANGE 68 WEST OF THE 6TH P.M., MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT THE CENTER ¼ CORNER OF SECTION 9, TOWNSHIP 3 SOUTH, RANGE 68 WEST OF THE 6TH P.M., BEING A FOUND 2" DIA. ALLOY CAP STAMPED PLS 24942 IN RANGE BOX; THENCE S02°55'20"W, 924.39 FEET TO THE POINT OF BEGINNING BEING THE NORTHEAST CORNER OF A PARCEL OF LAND DESCRIBED IN DEED RECORDED AT RECEPTION NO. 2018000084369, SAID POINT ALSO BEING ON THE WEST RIGHT-OF-WAY LINE OF PECOS STREET; THENCE ALONG THE SAID WEST RIGHT-OF-WAY LINE OF PECOS STREET THE FOLLOWING SEVEN (7) DESCRIBED COURSES:

1. THENCE S00°59'29"E, 297.70 FEET;
2. THENCE S00°58'57"E, 117.77 FEET;
3. THENCE S00°00'00"W, 100.17 FEET;
4. THENCE S00°06'02"E, 147.43 FEET;
5. THENCE S00°00'00"W, 742.71 FEET;
6. THENCE S89°48'07"W, 10.30 FEET;
7. THENCE S00°00'00"W, 267.86 FEET TO THE INTERSECTION OF THE WEST RIGHT-OF-WAY LINE OF PECOS STREET AND THE NORTH RIGHT-OF-WAY LINE OF WEST 56TH AVENUE;

THENCE ALONG THE NORTH RIGHT-OF-WAY LINE OF WEST 56TH AVENUE THE FOLLOWING FIVE (5) COURSES:

1. THENCE S89°48'07"W, 948.20 FEET;
2. THENCE S00°05'00"E, 10.00 FEET;
3. THENCE S89°48'07"W, 271.20 FEET;
4. THENCE N00°05'00"W, 10.00 FEET;
5. THENCE S89°48'07"W, 30.00 FEET TO A POINT ON THE EAST LINE OF TEJON STREET;

THENCE N00°05'00"W ALONG THE SAID EAST LINE OF SAID TEJON STREET, 481.60 FEET; THENCE DEPARTING FROM SAID EAST LINE OF SAID TEJON STREET S89°48'07"W, 362.20 FEET TO A POINT BEING THE NORTHWEST CORNER OF THAT PARCEL OF LAND RECORDED AT RECEPTION NO. 2012000088342 OF THE ADAMS COUNTY RECORDS; THENCE S00°05'00"E ALONG THE EAST LINE OF SAID PARCEL OF LAND AND SAID LINE EXTENDED, 276.60 FEET TO THE NORTHEAST CORNER OF A PARCEL OF LAND RECORDED AT RECEPTION NO. 2016000021659 OF THE ADAMS COUNTY RECORDS; THENCE S89°48'07"W ALONG THE NORTH LINE OF SAID PARCEL OF LAND, 332.20 FEET TO THE NORTHWEST CORNER OF SAID PARCEL OF LAND, SAID POINT ALSO BEING ON THE EAST LINE OF THAT PARCEL OF LAND RECORDED AT RECEPTION NO. 2013000012831 OF THE ADAMS COUNTY RECORDS; THENCE N00°05'00"W ALONG THE EAST LINE OF THAT PARCEL OF LAND RECORDED AT RECEPTION NO. 2013000012831 OF THE ADAMS COUNTY RECORDS, 90.62 FEET TO THE NORTHEAST CORNER OF THAT PARCEL OF LAND RECORDED AT RECEPTION NO. 2013000012831 OF THE ADAMS COUNTY RECORDS, SAID POINT BEING ON THE SOUTH LINE OF VALLEJO STREET; THENCE N89°48'07"E ALONG THE SOUTH LINE OF VALLEJO STREET, 10.00 FEET TO A POINT ON THE EAST LINE OF VALLEJO STREET; THENCE ALONG THE EAST LINE OF VALLEJO STREET THE FOLLOWING TWO (2) COURSES;

1. THENCE N00°05'00"W, 314.38 FEET;
2. THENCE N00°01'00"E, 393.38 FEET;

THENCE S89°51'16"W, 10.00 FEET; THENCE N00°01'00"E ALONG THE EAST LINE OF VALLEJO STREET AND SAID LINE EXTENDED, 517.61 FEET TO THE NORTHEAST CORNER OF A PARCEL OF LAND RECORDED AT RECEPTION NO. 2007000058444 OF THE ADAMS COUNTY RECORDS, SAID POINT BEING ON THE SOUTH LINE OF THE BNSF RAILROAD RIGHT-OF-WAY AS RECORDED AT RECEPTION NO. 2019000015214 OF THE ADAMS COUNTY RECORDS; THENCE ALONG THE SAID SOUTH RIGHT-OF-WAY LINE OF SAID BNSF RAILROAD ALONG A CURVE TO THE LEFT HAVING AN ARC LENGTH OF 396.20 FEET, A RADIUS OF 1475.85 FEET, A CENTRAL ANGLE OF 15°22'53", A CHORD DISTANCE OF 395.01 FEET AND WHOSE CHORD BEARS S85°50'00"W TO A POINT OF CURVATURE; THENCE CONTINUING ALONG SAID SOUTH RIGHT-OF-WAY LINE OF BNSF RAILROAD ALONG A CURVE TO THE LEFT HAVING AN ARC LENGTH OF 106.88 FEET, A RADIUS OF 1382.69 FEET, A CENTRAL ANGLE OF 04°25'43", A CHORD DISTANCE OF 106.85 FEET AND WHOSE CHORD BEARS S75°19'31"W; THENCE CONTINUING ALONG THE SOUTH RIGHT-OF-WAY LINE OF THE BNSF RAILROAD S73°06'32"W, 181.25 FEET TO A POINT OF INTERSECTION WITH THE WEST LINE OF THE SOUTHWEST ¼ OF SECTION 9, TOWNSHIP 3 SOUTH, RANGE 68 WEST OF THE 6TH P.M.; THENCE N00°16'37"W ALONG THE SAID WEST LINE OF THE SAID SOUTHWEST ¼ OF SAID SECTION 9, 104.36 FEET; THENCE N73°06'39"E ALONG THE NORTH RIGHT-OF-WAY LINE OF THE BNSF RAILROAD, 151.41 FEET; THENCE CONTINUING ALONG THE NORTH RIGHT-OF-WAY LINE OF THE BNSF RAILROAD ALONG A CURVE TO THE RIGHT HAVING AN ARC LENGTH OF 115.66 FEET, A RADIUS OF 1482.69 FEET, A CENTRAL

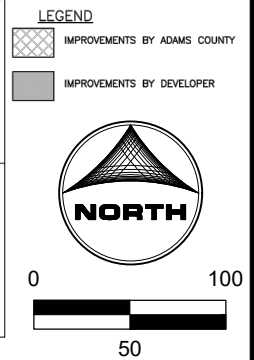
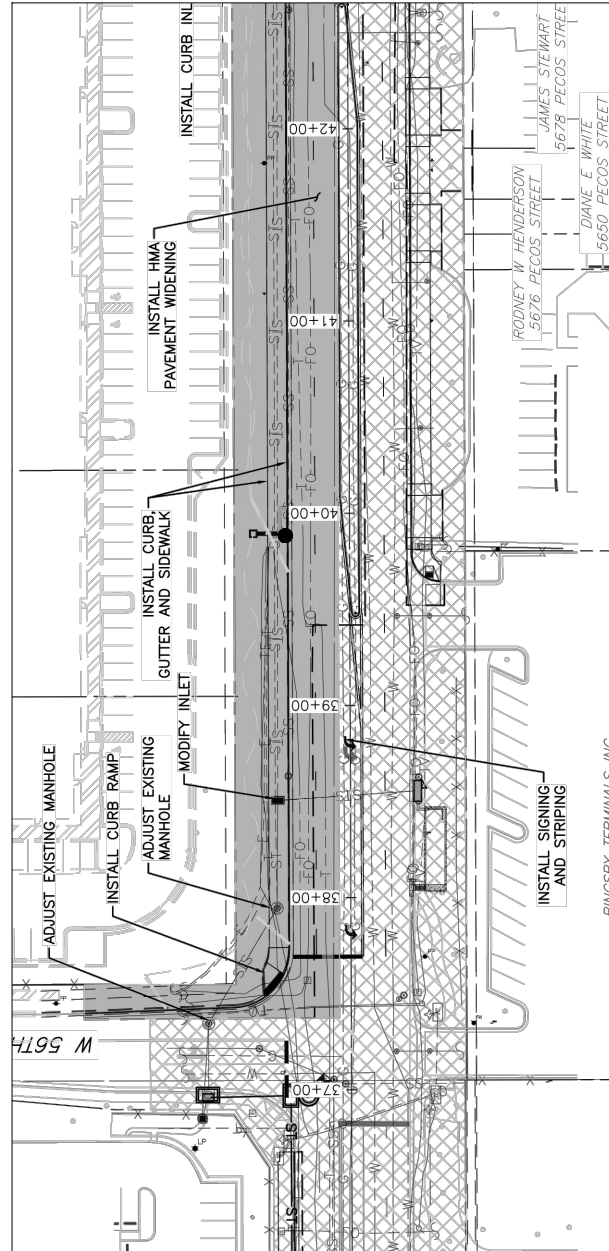
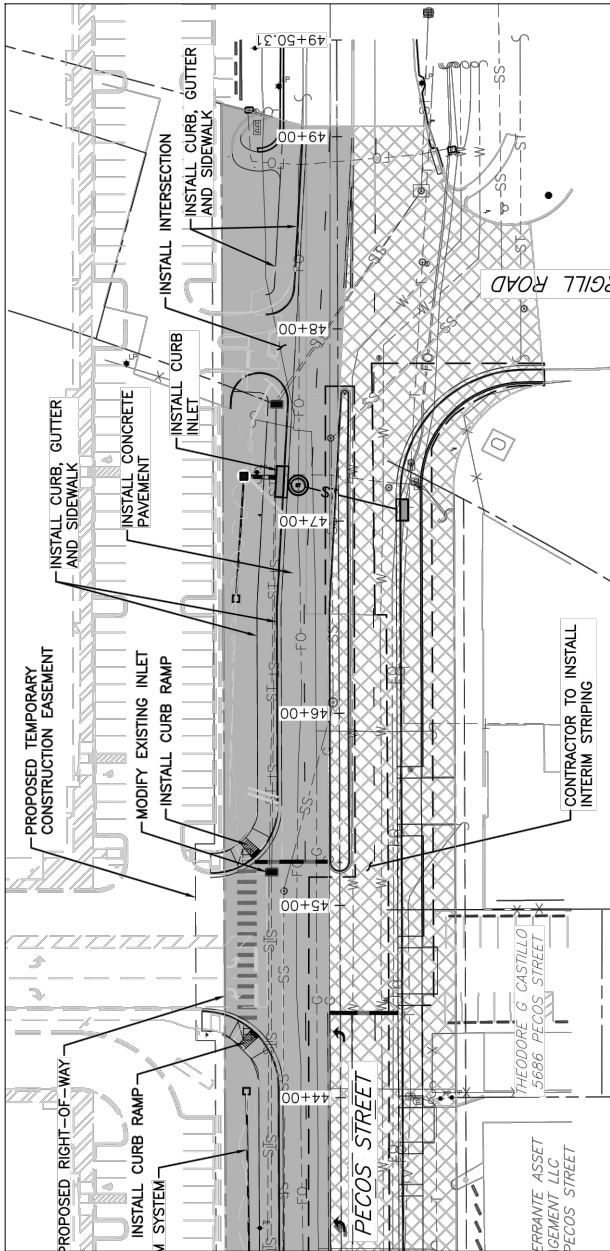
ANGLE OF 04°28'10", A CHORD DISTANCE OF 115.63 FEET AND WHOSE CHORD BEARS N75°20'49"E TO A POINT OF CURVATURE; THENCE CONTINUING ALONG THE NORTH RIGHT-OF-WAY LINE OF THE BNSF RAILROAD ALONG A CURVE TO THE RIGHT HAVING AN ARC LENGTH OF 737.76 FEET, A RADIUS OF 1575.85 FEET, A CENTRAL ANGLE OF 26°49'26", A CHORD DISTANCE OF 731.04 FEET AND WHOSE CHORD BEARS S88°26'43"E; THENCE CONTINUING ALONG THE SAID NORTH RIGHT-OF-WAY LINE OF THE BNSF RAILROAD S75°02'00"E, 560.87 FEET; THENCE N01°28'00"W, 125.57 FEET; THENCE N88°32'00"E, 427.11 FEET; THENCE S75°02'00"E, 47.91 FEET TO THE SOUTHWEST CORNER OF THAT PARCEL OF LAND IN DEED RECORDED AT RECEPTION NO. 2018000084369 OF THE ADAMS COUNTY RECORDS; THENCE N02°21'23"E ALONG THE WEST LINE OF SAID PARCEL OF LAND, 86.37 FEET TO THE NORTHWEST CORNER OF SAID PARCEL OF LAND; THENCE N85°52'05"E ALONG THE NORTH LINE OF SAID PARCEL OF LAND, 617.19 FEET TO THE POINT OF BEGINNING,

COUNTY OF ADAMS,  
STATE OF COLORADO

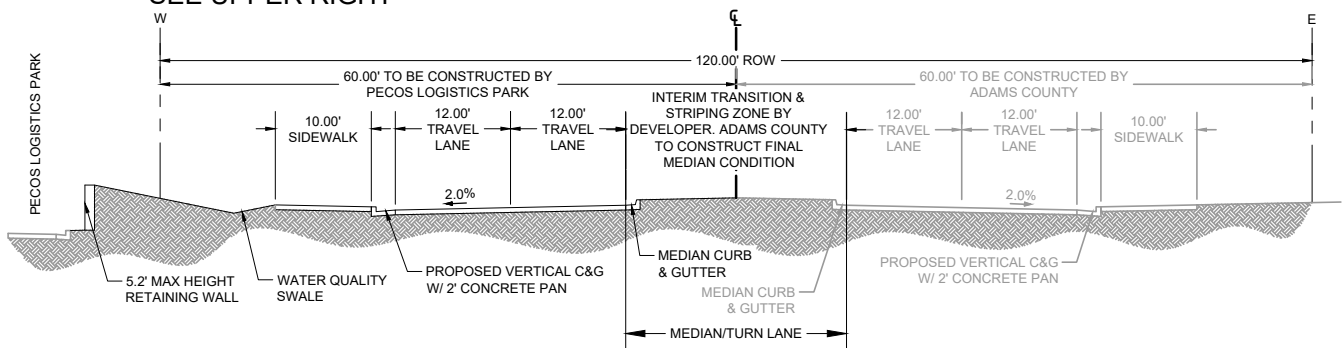
THE ABOVE DESCRIBED PARCEL CONTAINS 2,899,197 SQUARE FEET OR 66.56 ACRES MORE OR LESS.

# EXHIBIT B - PECOS STREET IMPROVEMENTS

SEE LOWER LEFT



SEE UPPER RIGHT



HRGreen.com

NORTH PECOS STREET  
EXHIBIT  
PECOS LOGISTICS PARK

SHEET  
**B**

SCALE: 1" = 100'  
DATE: 04/03/20

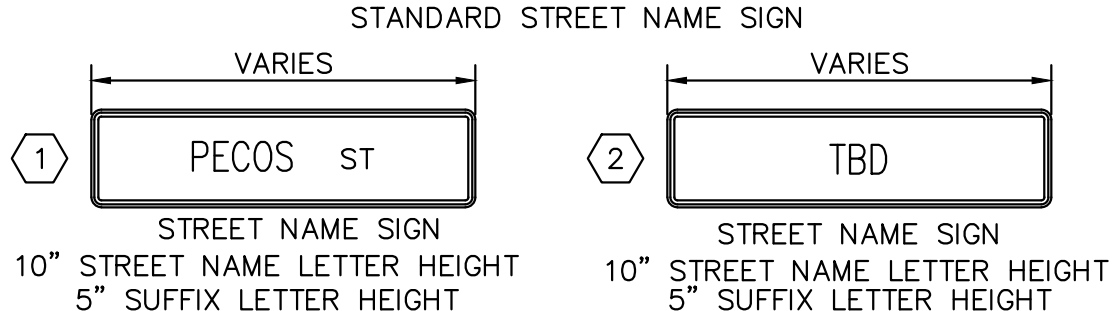


\\kimley-horn.com\mnt\_den1\DEN\_PublicSector\096799001\_Pecos Street Signal\CADD Sheets\2020-01-27\_096799001\_TS.dwg Loeffler, Tyler 3/25/2020 5:23 PM  
THIS DOCUMENT, TOGETHER WITH THE CONCEPTS AND DESIGNS PRESENTED HEREIN, IS AN INSTRUMENT OF SERVICE, IS INTENDED ONLY FOR THE SPECIFIC PURPOSE AND CLIENT FOR WHICH IT WAS PREPARED. REUSE OF AND IMPROPER RELIANCE ON THIS DOCUMENT WITHOUT WRITTEN AUTHORIZATION AND ADAPTATION BY KIMLEY-HORN AND ASSOCIATES, INC. SHALL BE WITHOUT LIABILITY TO KIMLEY-HORN AND ASSOCIATES, INC.

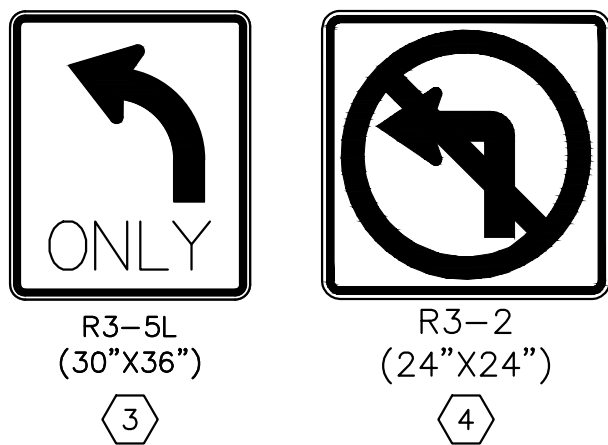
LEGEND

- TRAFFIC SIGNAL POLE, FOUNDATION AND MAST ARM (LENGTH XX')
- PROPOSED TRAFFIC SIGNAL HEAD W/ BACKPLATE SIGNAL LEFT TURN HEAD
- PROPOSED TRAFFIC SIGNAL HEAD W/O BACKPLATE SIGNAL LEFT TURN HEAD
- PROPOSED TRAFFIC SIGNAL HEAD W/ BACKPLATE SIGNAL LEFT TURN HEAD
- PROPOSED TRAFFIC SIGNAL HEAD W/O BACKPLATE
- PROPOSED PULL BOX (30"x18"x12")
- PROPOSED CONDUIT (AS SHOWN)
- PROPOSED LUMINAIRE
- PROPOSED SIGNAL POLE PUSH BUTTON
- PROPOSED OPTICOM DETECTOR
- PROPOSED SIGNAL POLE/MAST ARM MOUNTED SIGN
- PROPOSED PEDESTRIAN SIGNAL
- PROPOSED PREEMPT DETECTION CAMERA
- PROPOSED PEDESTRIAN PUSH BUTTON POST

STREET NAME SIGNS LEGEND

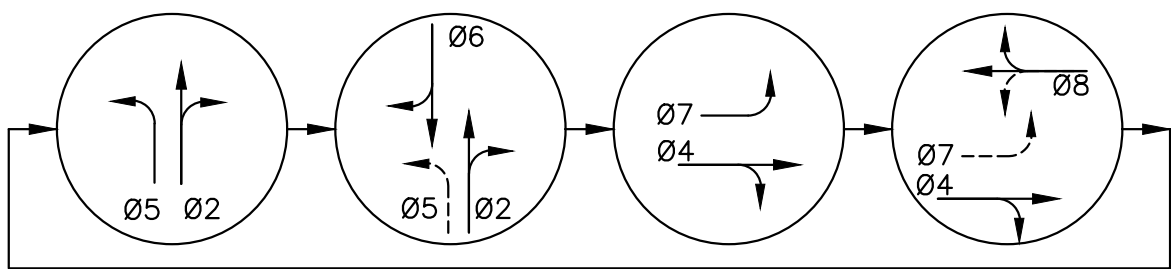


PROPOSED SIGNS



SIGNAL POLE SCHEDULE				
POLE NUMBER	MA-1	MA-2	MA-3	MA-4
MAST ARM LENGTH	65'	50'	40'	45'
NORTHING/EASTING	N = 1170892.31 E = 3139463.20	N = 1170884.63 E = 3139560.81	N = 1170788.59 E = 3139560.49	N = 1170784.86 E = 3139457.58
APPROXIMATE TOP OF CAISSON ELEVATION	MATCH PROPOSED	MATCH EXISTING	MATCH EXISTING	MATCH PROPOSED

PROPOSED PHASING



KEY

- PROTECTED TRAFFIC MOVEMENT
- PERMISSIVE TRAFFIC MOVEMENT

NOTES

- SIGNAL PHASING SHOWN IS FOR REFERENCE ONLY. CONTRACTOR SHALL CONTACT ADAMS COUNTY TO COORDINATE SIGNAL TIMING.
- THE NORTH/SOUTH PEDESTRIAN CROSSING ON THE EAST SIDE OF PECOS STREET SHALL BE PRE-TIMED

SIGNAL NOTES

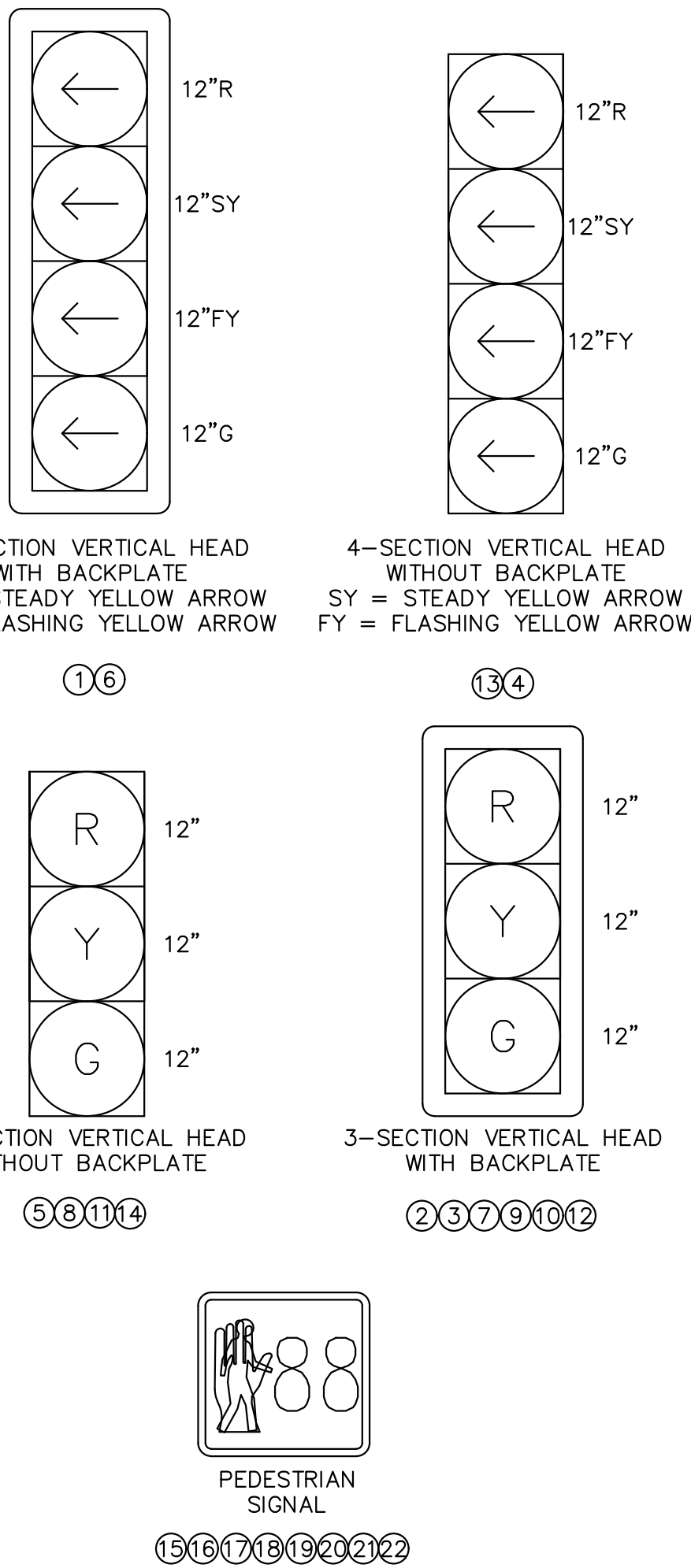
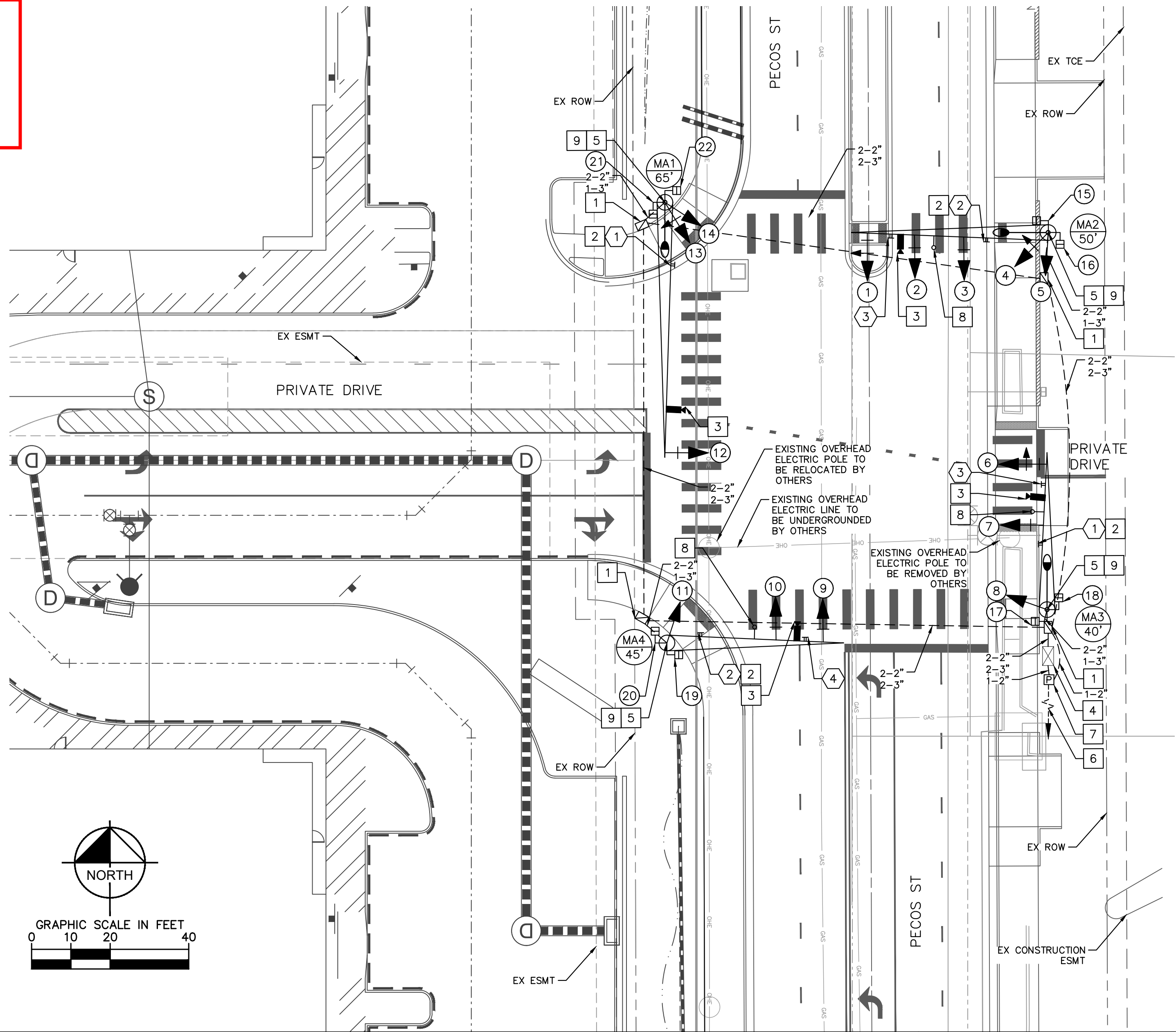
- FURNISH AND INSTALL NEW TYPE FOUR PULL BOX (SIGNAL COMPONENT PULL BOX)
- FURNISH AND INSTALL STREET NAME SIGN PER ADAMS COUNTY STANDARDS AND SPECIFICATIONS
- FURNISH AND INSTALL TC-CK1-SBE INTERSECTION MOTION AND PRESENCE MICROWAVE SENSOR DETECTION ON CDOT STYE BRACKET ON TRAFFIC SIGNAL POLE. DETECTION SHALL BE PROVIDED FOR PRESENCE AND ADVANCED DETECTION. FINAL LOCATION, POSITION, HEIGHT, AND MOUNTING REQUIREMENTS OF THE DETECTOR SHALL BE PER THE MANUFACTURER'S RECOMMENDATIONS.
- FURNISH AND INSTALL TS2 TYPE 1 TRAFFIC CONTROL MODULAR 8 CABINET ASSEMBLY WITH A COBALT ATC TRAFFIC CONTROLLER BY ECONOLITE PER ADAMS COUNTY STANDARDS.
- FURNISH AND INSTALL TRAFFIC SIGNAL POLE, MAST ARM, AND FOUNDATION PER CDOT STANDARDS S-614-40 AND S-614-40A. SIGNAL POLE SHALL BE HOT DIPPED GALVANIZED INSIDE AND OUT ACCORDING TO ASTM A123, AND PAINTED PER ADAMS COUNTY STANDARDS. POLE LOCATIONS TO BE FIELD VERIFIED WITH ADAMS COUNTY PRIOR TO INSTALLATION.
- COORDINATE ELECTRICAL CONNECTION WITH XCEL ENERGY. INSTALL NEW METER AND OBTAIN ADDRESS FROM ADAMS COUNTY.
- FURNISH AND INSTALL ELECTRIC METER
- FURNISH AND INSTALL OPTICOM DETECTOR
- INSTALL PEDESTRIAN PUSH BUTTON(S) ON TRAFFIC SIGNAL POLE

EXHIBIT B

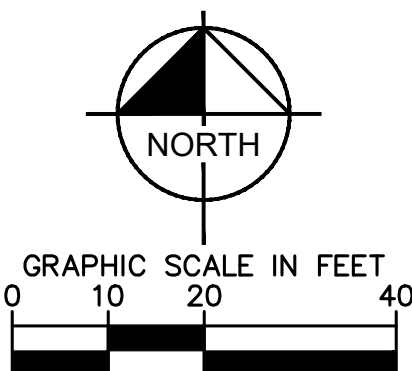
PECOS STREET PROPOSED TRAFFIC SIGNAL

NOTES

- ALL STRIPING SHOWN IS DIAGRAMMATIC ONLY. REFERENCE DEVELOPMENT OFFSITE PLANS FOR FINAL STRIPING PLAN.
- THE EXISTING NORTH-SOUTH RUNNING OVERHEAD ELECTRIC LINE IS TO REMAIN IN PLACE. THE EXISTING TELECOMMUNICATION LINES SHALL BE REMOVED WITHIN THE OVERHEAD SPAN BY OTHERS. THE CONTRACTOR SHALL COORDINATE WITH XCEL TO CONFIRM THAT SUFFICIENT CLEARANCE FROM THE PROPOSED MAST ARMS AND EXISTING OVERHEAD POWER LINE IS PROVIDED.
- THE EXISTING EAST-WEST RUNNING OVERHEAD ELECTRIC LINE IS TO BE REMOVED AND UNDERGROUNDED BY OTHERS. THE EXISTING POWER POLES SUPPORTING THIS RUN SHALL BE REMOVED AND/OR RELOCATED BY OTHERS. CONTRACTOR SHALL CONFIRM LOCATION OF UNDERGROUNDED LINE WITH XCEL PRIOR TO BEGINNING WORK.
- ALL WORK SURROUNDING THE OVERHEAD ELECTRIC LINES DETAILED ABOVE AND REQUIRED BY XCEL AND TELECOM PROVIDERS MUST BE COMPLETED PRIOR TO BEGINNING WORK.
- REFERENCE PLAN SHEET BY OTHERS FOR REMOVALS.



PROPOSED SIGNAL FACES



Print Date: March 25, 2020  
Drawing File Name: 2020-01-27\_096799001\_TS.DWG  
Horiz. Scale: NA Vert. Scale: NA  
**Kimley»Horn**  
KIMLEY-HORN AND ASSOCIATES, INC.  
4382 SOUTH ULSTER STREET,  
SUITE 1500  
DENVER, COLORADO 80237  
(303) 228-2300

Index of Revisions		
Date:	Comments:	Init.

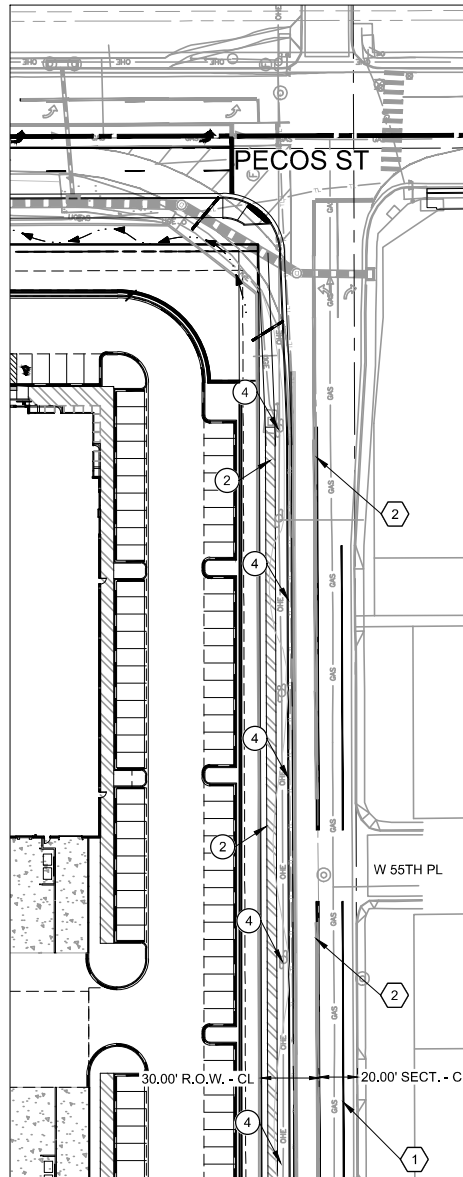
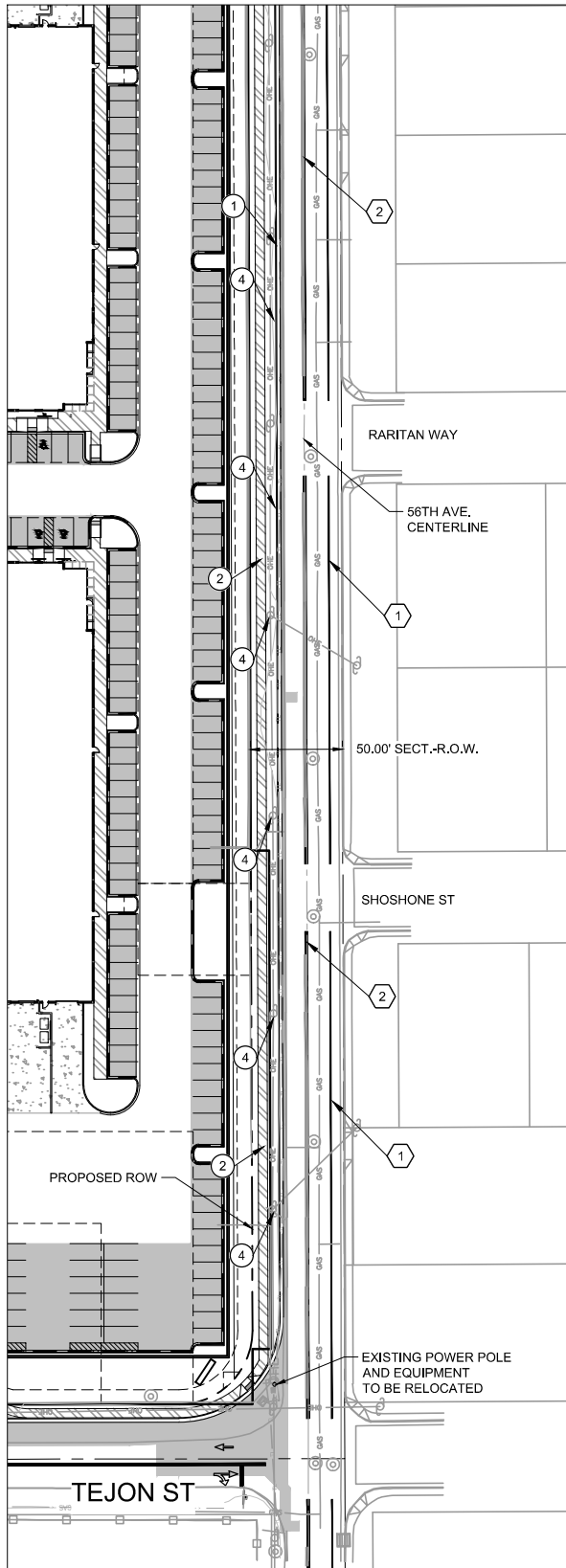
**Kimley»Horn**

4582 S. ULSTER STREET, SUITE 1500  
DENVER, CO 80237  
Phone: (303) 228-2300

As Constructed		TRAFFIC SIGNAL/SIGNING & STRIPING PLAN		Project No./Code
No Revisions:		Designer: MEC		096799001
Revised:		Detailer: TJL		
Void:		Sheet Subset: TSIG	Subset Sheet:: 1 of 1	Sheet Number 3

# EXHIBIT C - 56TH AVENUE IMPROVEMENTS

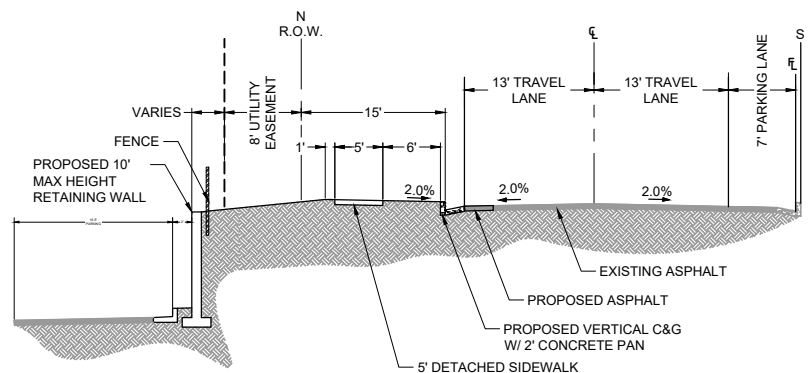
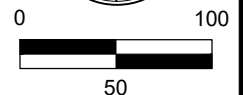
SEE BOTTOM RIGHT



SEE TOP LEFT

## KEYNOTES:

- ① VERTICAL CURB AND GUTTER W/ 2' PAN
- ② 5' WALK
- ③ VERTICAL CURB AND GUTTER W/ 2' PAN AND WALK
- ④ OVERHEAD UTILITY TO REMAIN
- ① 4" SOLID DOUBLE YELLOW STRIPE
- ② 4" SOLID WHITE STRIPE



HRGreen.com

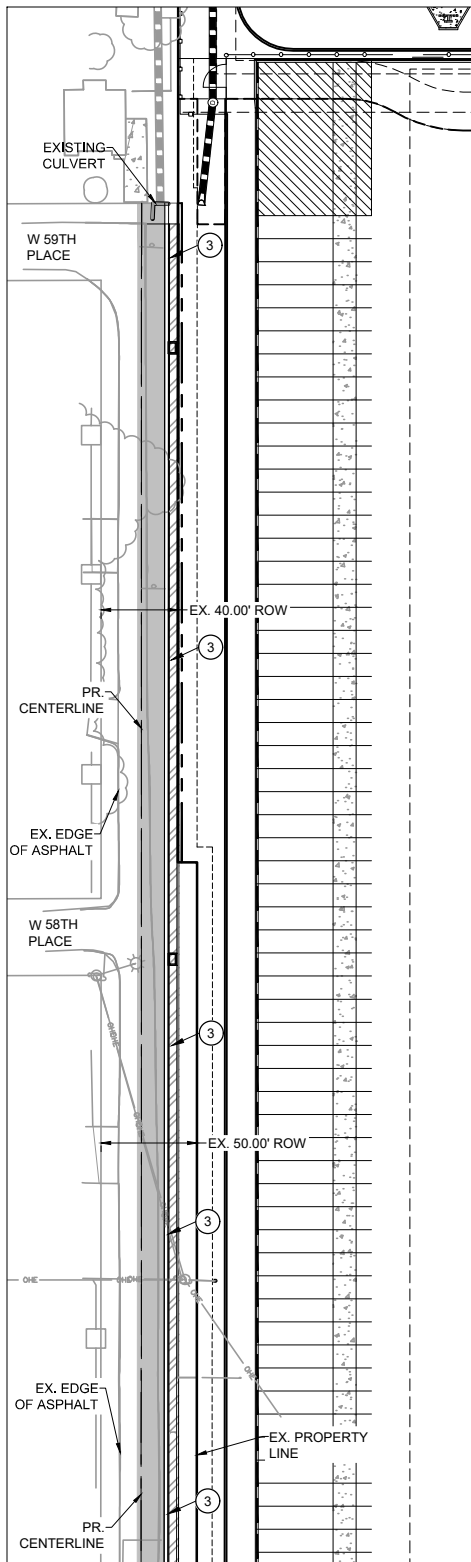
WEST 56TH AVENUE  
EXHIBIT  
PECOS LOGISTICS PARK

SHEET  
C

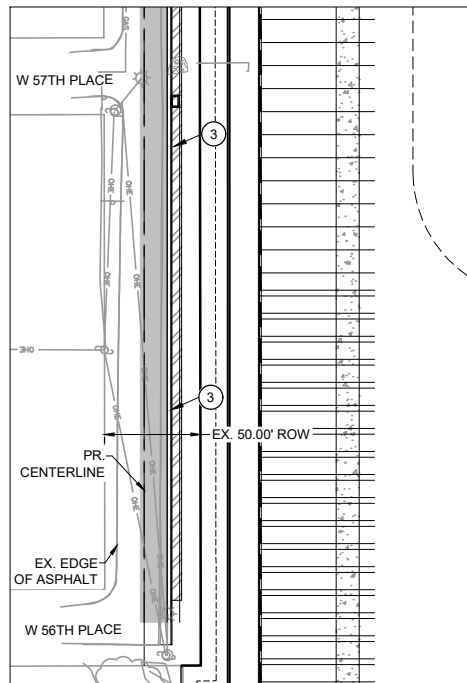
SCALE: 1" = 100'  
DATE: 04/03/20

# EXHIBIT D - VALLEJO STREET IMPROVEMENTS

SEE BOTTOM RIGHT

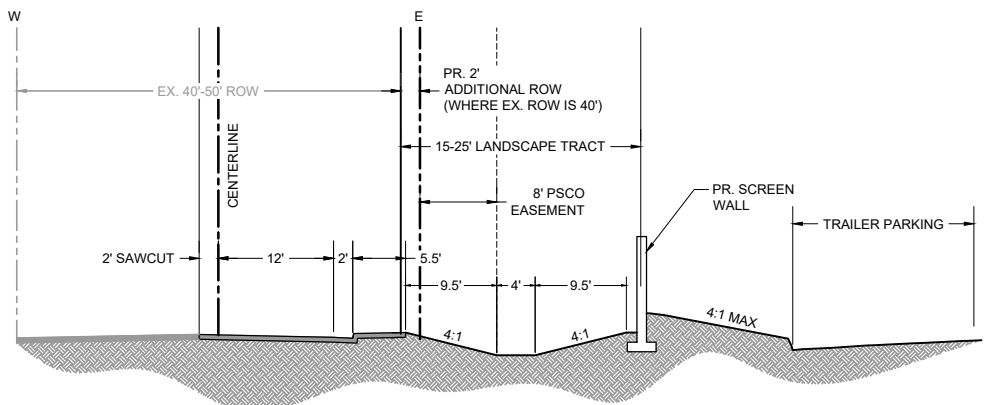
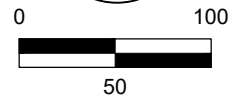


SEE TOP LEFT



## KEYNOTES:

- ① VERTICAL CURB AND GUTTER W/ 2' PAN
- ② 5' WALK
- ③ VERTICAL CURB AND GUTTER W/ 2' PAN AND WALK
- ④ OVERHEAD UTILITY TO REMAIN
- ① 4" SOLID DOUBLE YELLOW STRIPE
- ② 4" SOLID WHITE STRIPE



HRGreen.com

VALLEJO STREET

EXHIBIT

PECOS LOGISTICS PARK

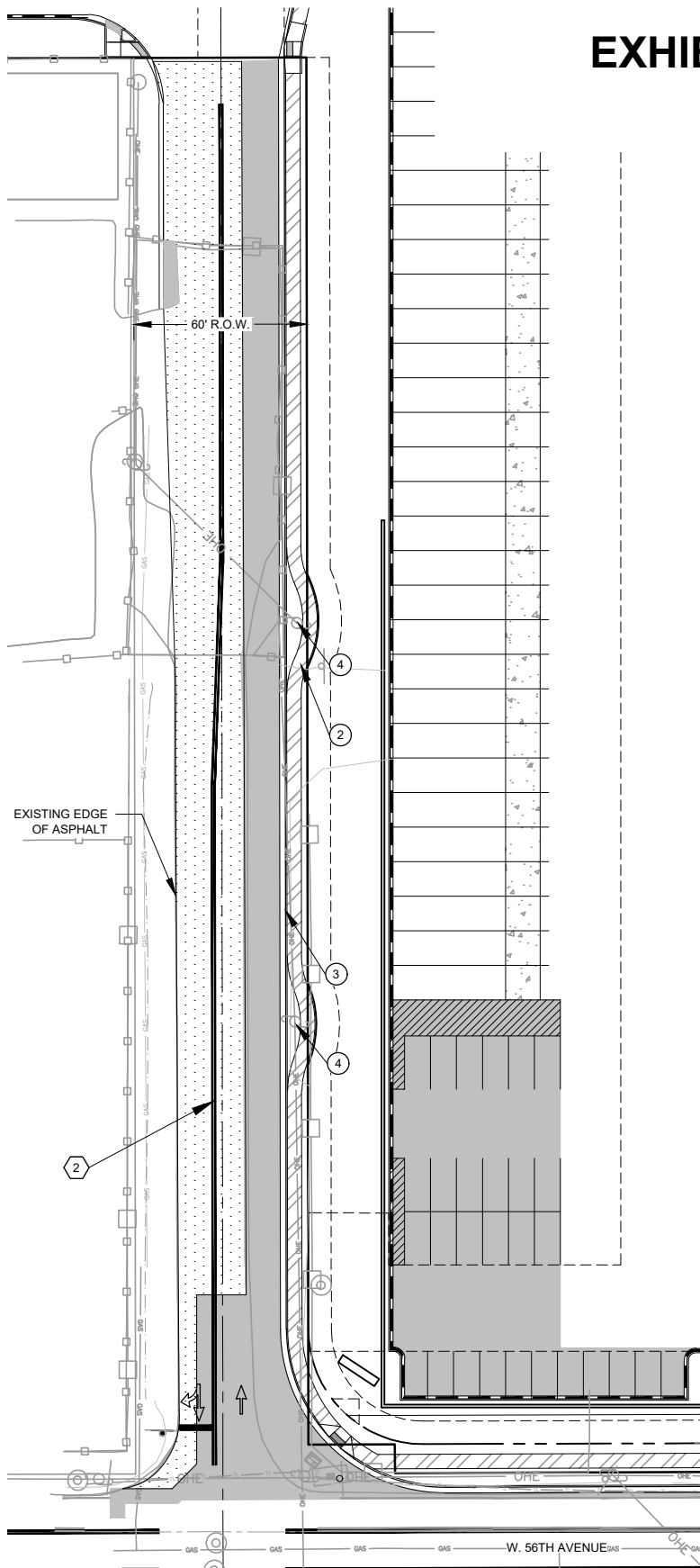
SHEET

D

SCALE: 1" = 100'

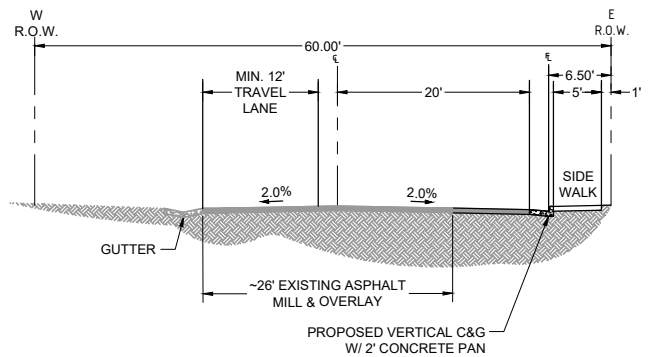
DATE: 04/23/20

# EXHIBIT E - TEJON STREET IMPROVEMENTS



## KEYNOTES:

- ① VERTICAL CURB AND GUTTER W/ 2' PAN
- ② 5' WALK
- ③ VERTICAL CURB AND GUTTER W/ 2' PAN AND WALK
- ④ OVERHEAD UTILITY TO REMAIN
- ⑤ 4" SOLID DOUBLE YELLOW STRIPE
- ⑥ 4" SOLID WHITE STRIPE



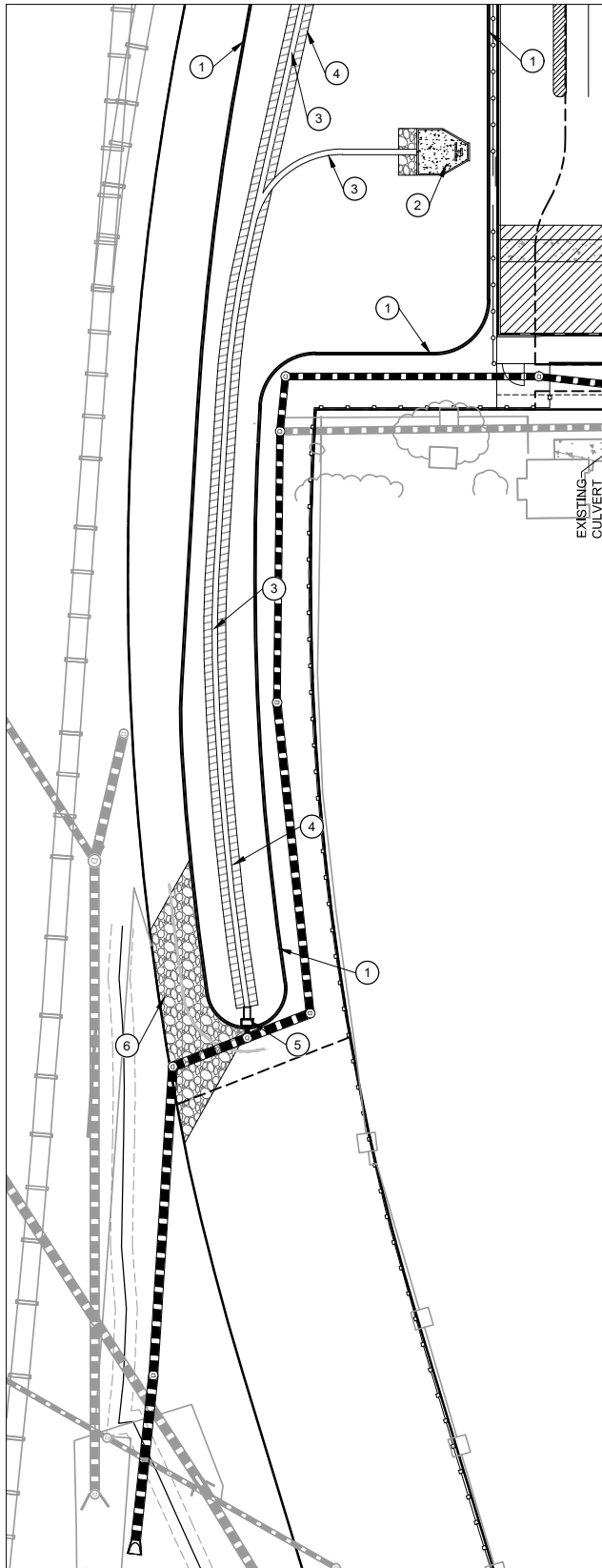
HRGreen.com

TEJON STREET  
EXHIBIT  
PECOS LOGISTICS PARK

SHEET  
**E**

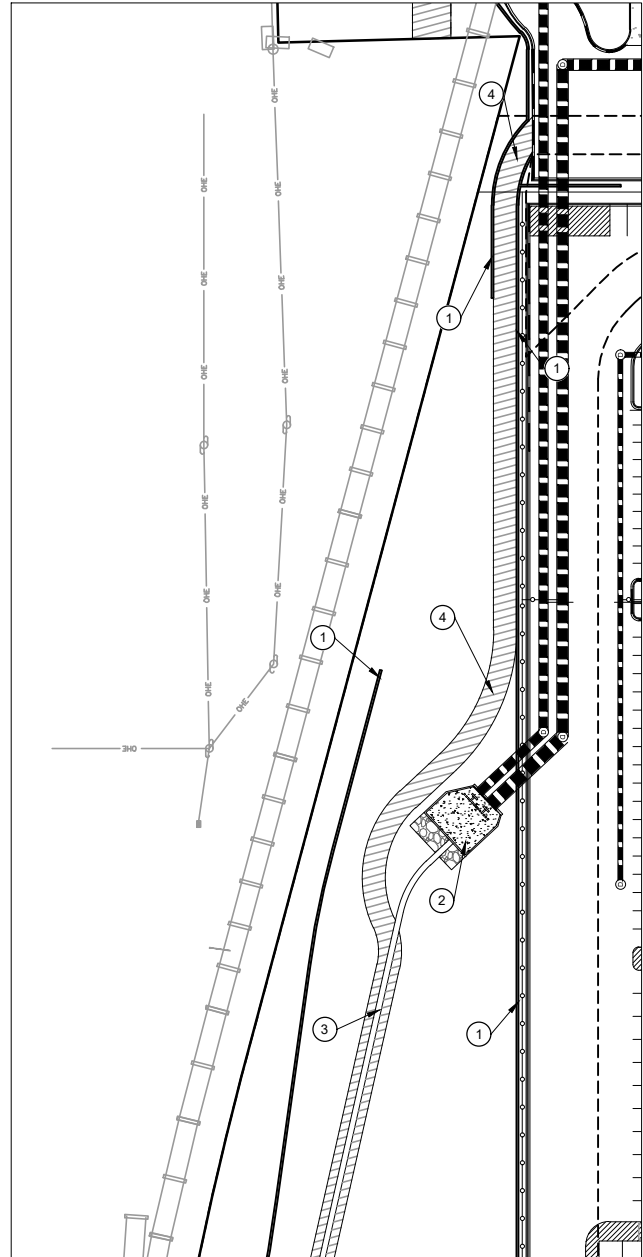
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DATE: 12/13/19

# EXHIBIT F - DETENTION POND



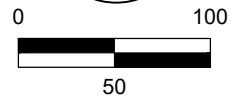
SEE TOP LEFT

SEE BOTTOM RIGHT



## KEYNOTES:

- ① RETAINING WALL
- ② FOREBAY
- ③ TRICKLE CHANNEL
- ④ MAINTENANCE ACCESS
- ⑤ OUTLET STRUCTURE
- ⑥ EMERGENCY OVERFLOW



HRGreen.com

DETENTION POND

EXHIBIT

PECOS LOGISTICS PARK

SHEET

F

SCALE: 1" = 60'

DATE: 04/22/20



# PECOS LOGISTICS PARK SUBDIVISION IMPROVEMENTS AGREEMENT

## EXHIBIT G: OPINION OF ESTIMATED COSTS FOR OFF-SITE STREET IMPROVEMENTS

Description	Quantity	unit of measure	amount	total			
Pecos Street							
Layout	1214	lf	\$ 9	\$ 10,926			
Sawcutting	1519	lf	\$ 3	\$ 4,557			
Demolition	32708	sf	\$ 2	\$ 65,416			
Excavation	48194	sf	\$ 1	\$ 49,640			
Street Utilities	1519	lf	\$ 107	\$ 162,108			
Street Curb & Gutter	1482	lf	\$ 18	\$ 26,469			
10' City Sidewalk	12340	sf	\$ 5	\$ 57,258			
Curbcuts	986	sf	\$ 12	\$ 11,852			
City Handicap Ramps	5	ea	\$ 1,850	\$ 9,250			
Asphalt Paving	3545	sy	\$ 55	\$ 194,089			
Striping & Signage	1449	lf	\$ 10	\$ 14,186			
Bio-Swale	1519	lf	\$ 50	\$ 75,950			
Traffic Signal	1	ls	\$ 225,000	\$ 225,000	\$ 906,699	Exhibit B - Pecos Street	
56th Street							
Layout	1276	lf	\$ 9	\$ 11,484			
Sawcutting	1276	lf	\$ 3	\$ 3,828			
Demolition	7656	sf	\$ 1	\$ 8,651			
Excavation	26242	sf	\$ 1	\$ 27,554			
Street Utilities	308	lf	\$ 87	\$ 26,787			
Street Curb & Gutter	1304	lf	\$ 18	\$ 23,276			
5'-0" Sidewalk	6340	sf	\$ 5	\$ 30,495			
City Handicap Ramps	1	ea	\$ 1,850	\$ 1,850			
Asphalt Paving	507	sy	\$ 70	\$ 35,490			
Striping & Signage	4224	lf	\$ 2	\$ 8,448			
Traffic Control	1276	lf	\$ 10	\$ 12,760	\$ 190,624	Exhibit C - 56th Street	
Vallejo Street							
Layout	1030	lf	\$ 9	\$ 9,270			
Sawcutting	1030	lf	\$ 3	\$ 3,090			
Demolition	10300	sf	\$ 1	\$ 11,639			
Excavation	21033	ls	\$ 1	\$ 21,664			
Erosion Control	1	ls	\$ 5,860	\$ 5,860			
Bio-Swale	1030	lf	\$ 50	\$ 51,500			
Street Curb & Gutter	1030	lf	\$ 18	\$ 18,355			
City Sidewalks	5150	sf	\$ 6	\$ 30,488			
Asphalt Paving	704	sy	\$ 81	\$ 56,700			
Rotomill & Overlay Existing Asphalt	687	sy	\$ 31	\$ 21,297			
Striping & Signage	2060	lf	\$ 2	\$ 4,120			
Signage	6	ea	\$ 250	\$ 1,500			
Traffic Control	1030	lf	\$ 15	\$ 15,450	\$ 250,933	Exhibit D - Vallejo Street	
Tejon Street							
Layout	530	lf	\$ 9	\$ 4,770			
Sawcutting	656	lf	\$ 3	\$ 1,968			
Demolition	17166	sf	\$ 1	\$ 18,024			
Excavation	26076	sf	\$ 1	\$ 36,767			
Street Curb & Gutter	621	lf	\$ 18	\$ 11,004			
5' Sidewalk	2710	sf	\$ 5	\$ 13,252			
City Handicap Ramps	1	ea	\$ 1,850	\$ 1,850			
Asphalt Paving	2479	sy	\$ 60	\$ 148,740			
Striping & Signage	1128	lf	\$ 2	\$ 2,504			
Traffic Control	530	lf	\$ 15	\$ 7,950			
Misc.	530	lf	\$ 20	\$ 10,611	\$ 257,440	Exhibit E - Tejon Street	
Tract A Pond and Outfall Structure							
Surveying & Layout	1	ea	\$ 7,500	\$ 7,500			
Excavation & Grading	1	ea	\$ 64,650	\$ 64,650			
Forebays	1	ea	\$ 42,000	\$ 42,000			
Landscaping	1	ea	\$ 32,325	\$ 32,325			
Trickle Channel	1	ea	\$ 24,125	\$ 24,125			
Maintenance Road	1	ea	\$ 18,540	\$ 18,540			
Type "L" Rip Rap	1	ea	\$ 90,160	\$ 90,160			
Outlet Structure	1	ea	\$ 41,400	\$ 41,400	\$ 320,700	Exhibit F - Tract A Detention Pond	

	Year 1	Year 2
Cost Estimate from Exhibit "B-F"	\$ 1,926,396	
Additional 20% for Administration	\$ 385,279	
Total Cost with 20% Admin	\$ 2,311,675	
Additional 5% per year of Total Cost with 20% Admin	\$ 115,584	\$ 121,363
Total Cost Per Year	\$ 2,427,259	\$ 121,363
Grand Total	\$	2,548,622



## **Development Review Team Comments**

**Date:** 4/11/2019

**Project Number:** RCU2019-00014

**Project Name:** Pecos Logistics Park

### **Note to Applicant:**

The following review comments and information from the Development Review Team is based on the information you submitted for the rezoning application. At this time, you do have outstanding comments that prevent us from being able to schedule your case for public hearing. Please contact the case manager if you have any questions:

---

**Commenting Division:** Addressing Review

**Name of Reviewer:** Marissa Hillje

**Date:** 03/26/2019

**Email:** mhillje@adcogov.org

### **Complete**

The address on record is 5751 Pecos Street. The owner of the property can request an address change. Here is the link to the form. <http://www.adcogov.org/documents/row-address-request-form>

---

**Commenting Division:** Development Engineering Review

**Name of Reviewer:** Matthew Emmens

**Date:** 04/08/2019

**Email:** memmens@adcogov.org

**Comment**

ENG1: There are no engineering objections to the rezoning of this property.

Future Development of the Property:

ENG2: Approval of the rezoning by the BoCC is not an approval of the current 'rezoning' site plan submitted with the rezoning application, or of any of the supporting documents (i.e. Traffic Impact Study and Drainage Report). Final site plan approval is done during the platting process. Features shown on the 'rezoning' site plan may need to be changed.

---

---

**Commenting Division:** Planner Review

**Name of Reviewer:** Greg Barnes

**Date:** 04/11/2019

**Email:** gjbarnes@adcogov.org

**Resubmittal Required**

PLN01: Request to rezone the property is consistent with the future land use designation on the property for Industrial.

PLN02: The request does NOT meet the minimum lot size for the I-2 zone district. The applicant is encouraged to submit their plat, which will resolve this issue. The rezoning will not be allowed on lots that do not meet the minimum standards for I-2 zoning.



Community & Economic  
Development Department  
www.adcogov.org



4430 South Adams County Parkway  
1st Floor, Suite W2000  
Brighton, CO 80601-8204  
PHONE 720.523.6800  
FAX 720.523.6998

## **Development Review Team Comments**

**Date:** 3/19/2020

**Project Number:** PRC2020-00002

**Project Name:** Pecos Logistics Park

---

BOARD OF COUNTY COMMISSIONERS

Eva J. Henry  
DISTRICT 1

Charles "Chaz" Tedesco  
DISTRICT 2

Emma Pinter  
DISTRICT 3

Steve O'Dorisio  
DISTRICT 4

Mary Hodge  
DISTRICT 5

---

**Commenting Division:** Planner Review

**Name of Reviewer:** Greg Barnes

**Date:** 03/19/2020

**Email:** gjbarnes@adcogov.org

**Resubmittal Required**

PLN01: The requested final plat is in conformance with the approved preliminary plat. No further action needed on this comment.

PLN02: Prior to scheduling the final plat for public hearing, engineering plan approval will be required.

PLN03: As part of your application for a final plat, you have submitted an application to enter into a Subdivision Improvements Agreement. When all of the draft language of this agreement is finalized, you will be expected to furnish the County with the agreed-upon collateral.

PLN04: As required by the County's Subdivision Design Standards, public land dedication is required for any subdivision. In lieu of this requirement, the County is requesting a cash payment. I have attached the calculation of this payment amount with these comments.

PLN05: Adams County has received information that adequate water supply and sewage disposal can be provided to serve the subdivision. No further information is needed to satisfy this comment.

PLN06: the proposed rezoning is consistent with the County's future land use designation. No further action required for this comment.

PLN07: The proposed subdivision will create lots that are consistent with the County's minimum zone districts standards for the Industrial-2 zone district. The rezoning will be scheduled for public hearing on the same day as the final plat to ensure consistency with the County's standards.

---

**Commenting Division:** CDOT Review

**Name of Reviewer:** Steve Loeffler

**Date:** 02/25/2020

**Email:**

**Comment**

We have no objections to the final Plat to create three lots over 67 acres.

CDOT Region 1 Traffic has reviewed the latest Traffic Study and all comments have been addressed.

Thank you for the opportunity to review this referral.

---

**Commenting Division:** Neighborhood Services Review

**Name of Reviewer:** Gail Moon

**Date:** 02/20/2020

**Email:** gmoon@adcogov.org

**Complete**

Code Compliance has had numerous complaints about the noise that the equipment is making overnight. The complainant couldn't identify which exact property it was, but that it was in this area. Strict regulations about the time allowed for construction and/or production for anything built on this property should be required.

---

**Commenting Division:** Planner Review

**Name of Reviewer:** Greg Barnes

**Date:** 02/18/2020

**Email:** gjbarnes@adcogov.org

**External Agencies Selected**



## **Development Review Team Comments**

**Date:** 4/30/2020

**Project Number:** PRC2020-00002

**Project Name:** Pecos Logistics Park

---

**Commenting Division:** Plan Coordination 2nd Review

**Name of Reviewer:** Greg Barnes

**Date:** 04/29/2020

**Email:** gjbarnes@adcogov.org

**Resubmittal Required**

---

**Commenting Division:** ROW Review 2nd Review

**Name of Reviewer:** Holden Pederson

**Date:** 04/27/2020

**Email:**

**Resubmittal Required**

ROW1: Please confirm the location of items # 12, 13, 19, 24, 25, 26, 30, 32, 33, and 35 of the Schedule B – Part 2 Exceptions of the Title Commitment, which all reference easements associated with the property.

ROW2: Staff has confirmed that the following exceptions and easements have been included by the applicant on the plat: items # 15, 16, 17, 21, 22, 27, 36, 41, and 47.

ROW3: If the location of any of the easements defined within the Schedule B – Part 2 Exceptions of the Title Commitment are not shown on the plat, please provide a statement or general note as to why (i.e. Exception – Rec No: ).

---

**Commenting Division:** SIA Review 1 - Attorney

**Name of Reviewer:** Christine Fitch

**Date:** 04/23/2020

**Email:**

**Resubmittal Required**

Redlines Provided

---

**Commenting Division:** SIA Review 1 - Finance

**Name of Reviewer:** Krysti Stehle

**Date:** 04/08/2020

**Email:**

**Complete**

---

**Commenting Division:** Planner Review 2nd Review

**Name of Reviewer:** Greg Barnes

**Date:** 04/21/2020

**Email:** [gjbarnes@adcogov.org](mailto:gjbarnes@adcogov.org)

**Resubmittal Required**

PLN03: As part of your application for a final plat, you have submitted an application to enter into a Subdivision Improvements Agreement. When all of the draft language of this agreement is finalized, you will be expected to furnish the County with the agreed-upon collateral.

PLN04: As required by the County's Subdivision Design Standards, public land dedication is required for any subdivision. In lieu of this requirement, the County is requesting a cash payment. I have attached the calculation of this payment amount with these comments.

---

**Commenting Division:** Environmental Analyst Review 2nd Review

**Name of Reviewer:** Katie Keefe

**Date:** 04/13/2020

**Email:**

**Complete**

---

**Commenting Division:** Development Engineering Review 2nd Review

**Name of Reviewer:** Matthew Emmens

**Date:** 04/07/2020

**Email:** memmens@adcogov.org

**Resubmittal Required**

Subdivision Improvements Agreement comments:

ENG1: The purpose of the Subdivision Improvements Agreement (SIA) is to guarantee that the public improvements are complete. The 'Emergency Response Plan' (Exhibit B) should be removed from this document.

ENG2: On the cost estimate, Exhibit G, include the name of the street/infrastructure that is being totaled on the right side of the page.

ENG3: Remove the title report at the end of the SIA.

ENG4: Include the costs and an exhibit for the construction of the detention pond and it's outfall structure.

ENG5: Include the costs for the bio-swale that is proposed along Pecos Street.

**Final Plat Comments**

ENG6: The dedications statements for Track A need to specifically say that the County has access to this Track.

ENG7: The 20-foot drainage access easement, that goes from Pecos Street to Tract A, needs to be specifically dedicated to the County.

---

**Commenting Division:** Application Intake 2nd Review

**Name of Reviewer:** Kevin Mills

**Date:** 04/07/2020

**Email:**

**Complete**

---

**Commenting Division:** ROW Review

**Name of Reviewer:** Holden Pederson

**Date:** 03/25/2020

**Email:**

**Resubmittal Required**

ROW1: Describe the purpose of changes made to Final Plat drawings (as compared to Preliminary Plat drawings) on Sheets 4, 5, and 6.

ROW2: Submit an updated title commitment which should be used to depict the applicable recordings on the plat. Send Adams County a copy of the title commitment with your application dated no later than 30 days to review in order to ensure that any other party's interests are not encroached upon.

ROW3: See Plat redlines for additional comments.

---

**Commenting Division:** Environmental Analyst Review

**Name of Reviewer:** Katie Keefe

**Date:** 03/23/2020

**Email:**

**Complete**

---

**Commenting Division:** CDOT Review

**Name of Reviewer:** Greg Barnes

**Date:** 03/23/2020

**Email:** [gjbarnes@adcogov.org](mailto:gjbarnes@adcogov.org)

**Complete**

---

**Commenting Division:** Planner Review

**Name of Reviewer:** Greg Barnes

**Date:** 03/19/2020

**Email:** gjbarnes@adcogov.org

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**Date:** 02/25/2020

**Email:**

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---

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**Name of Reviewer:** Gail Moon

**Date:** 02/20/2020

**Email:** gmoon@adcogov.org

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---

**Commenting Division:** Planner Review

**Name of Reviewer:** Greg Barnes

**Date:** 02/18/2020

**Email:** gjbarnes@adcogov.org

**External Agencies Selected**

## Greg Barnes

---

**From:** Whitney Even <weven@acfpd.org>  
**Sent:** Tuesday, April 14, 2020 10:46 AM  
**To:** Greg Barnes  
**Subject:** Re: SIA2020-00004 - Revised Submission

Please be cautious: This email was sent from outside Adams County

Correct. Sorry about that. We do not have any further comments on PRC2020-00002 as well.

Thank you!

Whitney Even

On Apr 14, 2020, at 10:41 AM, Greg Barnes <GJBarnes@adcogov.org> wrote:

Whitney,

Just for clarity...

SIA 202000004 is a subdivision improvements agreement between the County and the developer to construct public infrastructure.

PRC2020-00002 is the case number for the Pecos Logistics Park development as a whole, which includes a final plat and rezoning.

Are you stating you have no further comments on PRC2020-00002, as well?

<image001.jpg>

**Greg Barnes**

Planner III, *Community and Economic Development Dept.*

ADAMS COUNTY, COLORADO

4430 S. Adams County Parkway, 1st Floor, Suite W2000A

Brighton, CO 80601-8216

720.523.6853 [gjbarnes@adcogov.org](mailto:gjbarnes@adcogov.org)

[adcogov.org](http://adcogov.org)

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**From:** Whitney Even <weven@acfpd.org>  
**Sent:** Tuesday, April 14, 2020 10:11 AM  
**To:** Greg Barnes <GJBarnes@adcogov.org>  
**Subject:** Re: SIA2020-00004 - Revised Submission

Please be cautious: This email was sent from outside Adams County

Good morning Greg,

We have no further comments on SIA2020-00004. Thank you!

<image002.png> | Whitney Even

## Greg Barnes

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**From:** Ebert - DNR, Jared <jared.ebert@state.co.us>  
**Sent:** Tuesday, February 18, 2020 11:39 AM  
**To:** Greg Barnes  
**Cc:** Patrick Lennberg - DNR  
**Subject:** Re: For Review: Pecos Logistics Park (PRC2020-00002)

Please be cautious: This email was sent from outside Adams County

Hello Mr. Barnes,

DRMS has no comments regarding this proposed project.

Thanks,

Jared

On Tue, Feb 18, 2020 at 11:19 AM Greg Barnes <[GJBarnes@adcogov.org](mailto:GJBarnes@adcogov.org)> wrote:

The Adams County Planning Commission is requesting comments on the following applications: **1. major subdivision final plat to create three lots over approximately 67 acres; 2. rezoning of approximately 62 acres to Industrial-2.** This request is located at 5751 N. Pecos Street. The Assessor's Parcel Numbers are: 0182509300023, 0182509300056, 0182509300058, 0182509300063, 0182509300065, 0182509300067, 0182509300068, 0182509300069, 0182509309001, 0182509312001, 0182509312002, 0182509313001, 0182509314001, 0182509314002.

Applicant Information: MATT MITCHELL, WESTFIELD  
4221 BRIGHTON BLVD  
DENVER, CO 80216

Please forward any written comments on this application to the Community and Economic Development Department at 4430 South Adams County Parkway, Suite W2000A Brighton, CO

80601-8216 or call (720) 523-6800 by 03/10/2020 in order that your comments may be taken into consideration in the review of this case. If you would like your comments included verbatim please send your response by way of e-mail to [GJBarnes@adcogov.org](mailto:GJBarnes@adcogov.org).

Once comments have been received and the staff report written, the staff report and notice of public hearing dates may be forwarded to you upon request. The full text of the proposed request and additional colored maps can be obtained by contacting this office or by accessing the Adams County web site at [www.adcogov.org/planning/currentcases](http://www.adcogov.org/planning/currentcases).

## Greg Barnes

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**From:** Loeffler - CDOT, Steven [steven.loeffler@state.co.us]  
**Sent:** Friday, March 22, 2019 12:20 PM  
**To:** Greg Barnes  
**Subject:** RCU2019-00014, Pecos Logistics Park

Greg,

I have reviewed the referral for Pecos Logistics Park located at 5855 Pecos Street. The request is for a rezone to Industrial-2 and we have no objections to the rezone.

- We would like the opportunity to review the Traffic Impact Study.

Thank you for the opportunity to review this referral.

**Steve Loeffler**  
Permits Unit



P 303.757.9891 | F 303.757.9886  
2829 W. Howard Pl. 2nd Floor, Denver, CO 80204  
[steven.loeffler@state.co.us](mailto:steven.loeffler@state.co.us) | [www.codot.gov](http://www.codot.gov) | [www.cotrip.org](http://www.cotrip.org)

## Greg Barnes

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**From:** Hackett - CDPHE, Sean [sean.hackett@state.co.us]  
**Sent:** Tuesday, March 26, 2019 9:42 AM  
**To:** Greg Barnes  
**Subject:** Re: Request for Comments: Pecos Logistics Park (RCU2019-00014)

Good morning, Mr. Barnes:

The Colorado Department of Public Health and Environment (CDPHE) appreciates the opportunity to comment on this proposal. Please note that the following requirements are not intended to be an exhaustive list and it is ultimately the responsibility of the applicant to comply with all applicable rules and regulations.

In Colorado, most businesses that are or will be emitting air pollutants above certain levels are required to report those emissions to the Air Pollution Control Division by completing an Air Pollutant Emissions Notice (APEN). This is a two in one form for reporting air emissions and to obtain an air permit, if a permit will be required. While only businesses that exceed the AQCC reporting thresholds are required report their emissions, all businesses - regardless of emission amount - must always comply with the Colorado AQCC regulations.

In general, an APEN is required when uncontrolled actual emissions for an emission point or group of emission points exceed the following defined emission thresholds:

<b>Table 1 APEN Thresholds</b>		
<b>Pollutant Category</b>	<b>UNCONTROLLED ACTUAL EMISSIONS</b>	
	<b>Attainment Area</b>	<b>Non-attainment Area</b>
<b>Criteria Pollutant</b>	<b>2 tons per year</b>	<b>1 ton per year</b>
<b>Lead</b>	<b>100 pounds per year</b>	<b>100 pounds per year</b>
<b>Non-Criteria Pollutant</b>	<b>250 pounds per year</b>	<b>250 pounds per year</b>

Uncontrolled actual emissions do not take into account any pollution control equipment that may exist.

If land development construction activities (earth moving) will be greater than **25 acres** or more than **six months in duration**, then a land development Air Pollutant Emissions Notice (APEN) will be required. While it does not appear that earth moving associated with this project will exceed the 25 acres threshold, an APEN will be required if it exceeds six months in duration.

Additional information on APENs and air permits can be found at <https://www.colorado.gov/pacific/cdphe/apen-and-permitting-guidance>. This site explains the process to obtain APENs and air quality permits, as well as information on calculating emissions, exemptions, and additional requirements. You may also view AQCC Regulation Number 3 at <https://www.colorado.gov/pacific/cdphe/aqcc-regs> for the complete regulatory language. If you have any questions regarding Colorado's APEN or air permitting requirements or are unsure whether your business operations emit air pollutants, please call the Small Business Assistance Program (SBAP) at **303- 692-3175** or **303-692-3148**.

In addition to these comments regarding air quality, CDPHE's Water Quality Control Division notes that, while water and sewer are mentioned, the application does not provide sufficient information regarding the source or providers. The system could meet the definition of a public water system if served by its own source. Similarly, if the site is providing onsite sewer treatment and disposal, the system may require site location and design approval and a discharge permit for the site. Please provide additional information.

Sincerely,

Sean Hackett  
Energy Liaison



**COLORADO**  
Department of Public  
Health & Environment

P 303.692.3662 | F 303.691.7702

[4300 Cherry Creek Drive South, Denver, CO 80246](https://www.colorado.gov/cdphe)

[sean.hackett@state.co.us](mailto:sean.hackett@state.co.us) | [www.colorado.gov/cdphe](http://www.colorado.gov/cdphe)

On Tue, Mar 19, 2019 at 4:02 PM Greg Barnes <[GJBarnes@adcogov.org](mailto:GJBarnes@adcogov.org)> wrote:

The Adams County Planning Commission is requesting comments on the following request: **Rezone to Industrial-2**. This request is located at 5855 Pecos Street. The Assessor's Parcel Numbers are: 0182509300023, 0182509300056, 0182509300058, 0182509300063, 0182509309001, 0182509312001, 0182509312002, 0182509313001, and 0182509314001.

Applicant Information: MATT MITCHELL  
  
4221 BRIGHTON BLVD  
  
DENVER, CO 80216

Please forward any written comments on this application to the Community and Economic Development Department at 4430 South Adams County Parkway, Suite W2000A Brighton, CO 80601-8216 (720) 523-6800 **by 04/09/2019** in order that your comments may be taken into consideration in the review of this case. If you would like your comments included verbatim please send your response by way of e-mail to [GJBarnes@adcogov.org](mailto:GJBarnes@adcogov.org).

Once comments have been received and the staff report written, the staff report and notice of public hearing dates may be forwarded to you for your information upon request.



December 12, 2019

Greg Barnes  
Adams County Community & Economic Development Department  
Transmitted via email:  
[GJBarnes@adcogov.org](mailto:GJBarnes@adcogov.org)

RE: Pecos Logistics Park, Filing 1  
Case no. PRC2019-00016  
Part of the SW ¼ of Sec. 9, T3S, R68W, 6<sup>th</sup> P.M.  
Water Division 1, Water District 7

Dear Mr. Barnes,

We have reviewed the additional information submitted on December 12, 2019 for the referral concerning the above referenced proposal to subdivide 67 acres into three lots and one tract.

### **Water Supply Demand**

According to the Water Supply Information Summary Sheet and Annual Water Consumption Estimate prepared by Thompson Engineering, Inc, the estimated water demand is 8,404.3 gallons per day (6.71 acre-feet per year) for commercial use and 17,320 gallons per day for irrigation of 10.6 acres. The proposed water source for the property is water taps provided by Denver Water. Waste water treatment will be provided by the Berkeley Water and Sanitation District.

### **Source of Water Supply**

According to the letter dated November 27, 2019 from Denver Water (“letter”) the property is located within Denver Water’s service area and is eligible to receive water service from Denver Water subject to compliance with Denver Water’s Operating Rules, Regulations, Engineering Standards and applicable charges.

The applicant indicates the existing wells operating under permit nos. 8919-F and 2670-F will not be used within the subdivision and will be plugged and abandoned and a Well Abandonment Report (GWS-09) will be submitted to this office.

The applicant should be aware that any proposed water quality and detention pond for this Planned Development, must meet the requirements of a “storm water detention and infiltration facility” as defined in section 37-92-602(8), Colorado Revised Statutes, to be exempt from administration by this office. The applicant should review DWR’s [Administrative Statement Regarding the Management of Storm Water Detention Facilities and Post-Wildland Fire Facilities in Colorado](#) to ensure that the notification, construction and operation of the proposed structure meets statutory and administrative requirements. The applicant is encouraged to use Colorado Stormwater Detention and



Infiltration Facility Notification Portal, located at <https://maperture.digitaldataservices.com/gvh/?viewer=cswdif>, to meet the notification requirements.

**State Engineer's Office Opinion**

Based upon the above and pursuant to Section 30-28-136(1)(h)(II), C.R.S., the State Engineer's office offers the opinion that with Denver Water as the water supplier for the proposed development, the water supply can be provided without causing material injury to existing water rights and the supply is expected to be adequate, **so long as the existing wells, 8919-F and 2670-F are plugged and abandoned prior to subdivision approval.**

Should you, or the Applicant, have any questions please contact Ailis Thyne in this office at 303-866-3581 x8216.

Sincerely,

A handwritten signature in blue ink that reads "Joanna Williams". The signature is fluid and cursive, with the first name "Joanna" being more prominent than the last name "Williams".

Joanna Williams, P.E.

Water Resource Engineer

Ec: File for subdivision no. 26503  
Well permit nos. 8919-F and 2670-F



## Greg Barnes

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**From:** Inter Governmental Plan Review <InterGovernmentalPlanReview@denverwater.org>  
**Sent:** Wednesday, February 19, 2020 7:55 AM  
**To:** Greg Barnes  
**Subject:** RE: For Review: Pecos Logistics Park (PRC2020-00002)

Please be cautious: This email was sent from outside Adams County

Good Morning,

Denver Water is currently reviewing the water infrastructure on this plan, ID #20402. The plan review coordinator is Ana Seiglie.

Denver Water has no comment on the rezoning of this subdivision. Please let me know if you have any questions or concerns.

Thank you,

**Kela Naso** | Engineering Specialist  
**Denver Water** | t: 303-628-6302 | e: [kela.naso@denverwater.org](mailto:kela.naso@denverwater.org)  
[denverwater.org](http://denverwater.org) | [denverwaterTAP.org](http://denverwaterTAP.org)



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**From:** Greg Barnes <GJBarnes@adcogov.org>  
**Sent:** Tuesday, February 18, 2020 11:19 AM  
**To:** Greg Barnes <GJBarnes@adcogov.org>  
**Subject:** For Review: Pecos Logistics Park (PRC2020-00002)

The Adams County Planning Commission is requesting comments on the following applications: **1. major subdivision final plat to create three lots over approximately 67 acres; 2. rezoning of approximately 62 acres to Industrial-2.** This request is located at 5751 N. Pecos Street. The Assessor's Parcel Numbers are: 0182509300023, 0182509300056, 0182509300058, 0182509300063, 0182509300065, 0182509300067, 0182509300068, 0182509300069, 0182509309001, 0182509312001, 0182509312002, 0182509313001, 0182509314001, 0182509314002.

Applicant Information: MATT MITCHELL, WESTFIELD  
4221 BRIGHTON BLVD  
DENVER, CO 80216

Please forward any written comments on this application to the Community and Economic Development Department at 4430 South Adams County Parkway, Suite W2000A Brighton, CO 80601-8216 or call (720) 523-6800 by 03/10/2020 in order that your comments may be taken into consideration in the review of this case. If you would like your comments included verbatim please send your response by way of e-mail to [GJBarnes@adcogov.org](mailto:GJBarnes@adcogov.org).

Once comments have been received and the staff report written, the staff report and notice of public hearing dates may be forwarded to you upon request. The full text of the proposed request and additional colored

## Greg Barnes

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**From:** Woodruff, Clayton <Clayton.Woodruff@RTD-Denver.com>  
**Sent:** Wednesday, February 26, 2020 3:39 PM  
**To:** Greg Barnes  
**Subject:** RE-PRC2020-00002

Please be cautious: This email was sent from outside Adams County

Greg,

The RTD has no comments on this project.

Thank you



**C. Scott Woodruff**

**Engineer III**

Regional Transportation District

1560 Broadway, Suite 700, FAS-73 | Denver, CO 80202

o 303.299.2943 | m 303-720-2025

[clayton.woodruff@rtd-denver.com](mailto:clayton.woodruff@rtd-denver.com)



April 4, 2019

Greg Barnes  
Adams County Community and Economic Development  
4430 South Adams County Parkway, Suite W2000A  
Brighton, CO 80601

RE: Pecos Logistics Park, RCU2019-00014  
TCHD Case No. 5513

Dear Mr. Barnes,

Thank you for the opportunity to review and comment on the request to rezone 9 parcels to Industrial-2 located at 5855 Pecos Street. Tri-County Health Department (TCHD) staff has reviewed the application for compliance with applicable environmental and public health regulations and principles of healthy community design. After reviewing the application, TCHD has the following comments.

#### **Historic Landfill**

According to TCHD's records, there are historic landfills located within 1,000 feet of the subject property referenced as Landfill Nos. AD-007, AD-006, AD-001, AD-002, AD-004, AD-003, and AD-136. Flammable gas from decomposing organic matter in landfills may travel up to 1,000 feet from the source. Because construction is planned on this property, we recommend the following:

1. A flammable gas investigation should be conducted to determine if flammable gas (methane) is present in the subsurface soils at the property. The plan for the investigation should be submitted to TCHD for review and approval.
2. TCHD will review the results of the investigation. If the investigation indicates that methane is not present at or above 20% of the lower explosive limit for methane (1% by volume in air) in the soils, no further action is required.
3. In lieu of the investigation, a flammable gas control system shall be designed and constructed to protect buildings and subsurface access to utilities, i.e. vaults, manholes, etc. from flammable gas. Health and safety practices shall be followed during construction to protect site workers. A copy of TCHD guidelines for safe construction in areas on or near former landfills has been attached.

Questions regarding this may be directed to Sheila Lynch at 720-200-1571 or [slynch@tchd.org](mailto:slynch@tchd.org).

### **On-Site Wastewater Treatment System (OWTS) – Abandonment**

Proper wastewater management promotes effective and responsible water use, protects potable water from contaminants, and provides appropriate collection, treatment, and disposal of waste, which protects public health and the environment. Our records indicate the presence of On-Site Wastewater Treatment Systems (OWTS) on the subject property at 1921 W. 56<sup>th</sup> Avenue, 5801 Pecos Street, 5641 Pecos Street, 1891 W. 56<sup>th</sup> Avenue, and 1909 W. 56<sup>th</sup> Avenue. The existing OWTS shall be abandoned in accordance with Regulation No. O-17, Section 6.8. TCHD must be notified in writing once the systems have been properly abandoned. For more information, or to submit the notification, the applicant may contact the TCHD Commerce City Office, 4201 E. 72<sup>nd</sup> Avenue, (303) 288-6816. More information is available at <http://www.tchd.org/269/Septic-Systems>.

### **Well Abandonment**

Any well that is no longer being used, must be properly plugged and a Well Abandonment Report (GWS-09) must be filed with the Colorado Division of Water Resources. Please visit the DWR web site at <http://water.state.co.us/groundwater/wellpermit/Pages/WellAbandonment.aspx> for more information.

### **Building Demolition**

*Fugitive Dust, Lead, and Asbestos*

The application indicates that the existing buildings on the site will be demolished.

The Colorado Department of Public Health and Environment Air Pollution Control Division (APCD) regulates air emissions. State air quality regulations require that precautions be taken prior to demolition of buildings to evaluate the presence of asbestos fibers that may present a health risk. If asbestos is present, actions must be taken to prevent their release into the environment. State regulations also address control of ozone depleting compounds (chlorofluorocarbons) that may be contained in air conditioning or refrigerating equipment. The applicant shall contact the APCD at (303) 692-3100 for more information. Additional information is available at <http://www.cdphe.state.co.us/ap/asbestos>.

Buildings constructed prior to 1978 may contain lead paint. Environmental Protection Agency's (EPA) 2008 Lead-Based Paint Renovation, Repair and Painting (RRP) Rule (as amended in 2010 and 2011), aims to protect the public from lead-based paint hazards associated with renovation, repair and painting activities. These activities can create hazardous lead dust when surfaces with lead paint, even from many decades ago, are disturbed. More information can be found here <https://www.epa.gov/lead/lead-renovation-repair-and-painting-program-rules> and <https://www.epa.gov/lead>. The applicant may contact, and the Environmental Protection Agency EPA at 1-800-424-5323 for more information.

#### *Vector Control*

Rodents such as mice and rats carry diseases which can be spread to humans through contact with rodents, rodent feces, urine, saliva, or through rodent bites. For example, Hantavirus Pulmonary Syndrome (HPS), a rare but potentially lethal viral infection, can be found in the droppings and urine of rodents commonly found in southwestern United States. When buildings are demolished, rodents can spread to surrounding properties and increase the risk of vector exposure to humans. The applicant should plan for vectors and eliminate any known infestations prior to demolition. Information on rodent control can be found at <http://www.tchd.org/400/Rodent-Control>.

#### **Air Pollution – Diesel Emissions**

Exposure to air pollution is associated with a number of health problems including asthma, lung cancer, and heart disease. The proposed project will increase diesel truck traffic in the area. The Colorado Department of Public Health and Environment Air Pollution Control Division (APCD) regulates air emissions from vehicles including fleet maintenance and limiting idling. The applicant shall contact the APCD at (303) 692-3100 for more information. Additional information is available at <https://www.colorado.gov/pacific/cdphe-lpha/air-pollution-mobile-sources-contacts> and <https://www.colorado.gov/pacific/cdphe/diesel-emissions-control-program>.

Please feel free to contact me at 720-200-1575 or [kboyer@tchd.org](mailto:kboyer@tchd.org) if you have any questions on TCHD's comments.

Sincerely,



Kathy Boyer, REHS  
Land Use and Built Environment Specialist III

cc: Sheila Lynch, Monte Deatrich, TCHD

## **HEALTH AND SAFETY PRACTICES DURING CONSTRUCTION ON OR NEAR FORMER LANDFILLS**

If it has not been demonstrated that flammable gas is not present, the following health and safety practices shall be followed:

1. A flammable gas indicator will be utilized at all times during trenching, excavation, drilling, or when working within ten (10) feet of an open excavation.
2. Before personnel are permitted to enter an open trench or excavation, the trench or excavation will be monitored to ensure that flammable gas is not present in concentrations exceeding 1% and that oxygen is present at a minimum concentration of 19.5%. When in an excavation or trench, each work party will work no more than five (5) feet from a continuous flammable gas and oxygen monitor.
3. When trenching, excavating, or drilling deeper than two (2) feet into the fill, or in the presence of detectable concentrations of flammable gas, the soils will be wetted and the operating equipment will be provided with spark proof exhausts.
4. A dry chemical fire extinguisher, ABC rated, will be provided on all equipment used in the landfill.
5. Personnel within or near an open trench or drill hole will be fully clothed, and wear shoes with non-metallic soles, a hard hat and safety goggles or glasses.
6. Exhaust blowers will be used where trenches show a concentration of 1% flammable gas or a concentration of less than 19.5% oxygen.
7. Smoking will not be permitted in any area within one hundred (100) feet of the excavation.
8. Personnel will be kept upwind of any open trench unless the trench is continuously monitored.
9. All other applicable Safety and Health Regulations for Construction, as promulgated in 29 CFR by the Occupational Safety and Health Administration, shall be met. Applicable regulations include, but may not be limited to, the confined space standard (Part 1926.21(b)(6)( i ) and ( ii ) in Subpart C ); gases, vapors, fumes, dusts and mists (Part 1926.55 in Part 1926 Subpart E); fire protection and prevention (Part 1926 Subpart F); and trenching and excavation (Part 1926 Subpart P).
10. Compliance with the Occupational Safety and Health Administration's confined space requirements for general industry, as promulgated in 29 CFR 1910.146 and Appendices A- F.



March 4, 2020

Greg Barnes  
Adams County Community and Economic Development  
4430 South Adams County Parkway, Suite W2000A  
Brighton, CO 80601

RE: Pecos Logistics Park, PRC2020-00002  
TCHD Case No. 6139, 6140

Dear Mr. Barnes,

Thank you for the opportunity to review and comment on the Major Subdivision Final Plat and rezoning of approximately 62 acres to Industrial-2 located at 5855 Pecos Street. Tri-County Health Department (TCHD) staff previously reviewed the application for the rezoning and the preliminary plat and responded in letters dated April 4, 2019, May 14, 2019, and September 18, 2019, and November 27, 2019. After reviewing the application, TCHD has the following comments.

#### **Historic Landfill**

According to TCHD's records, there are historic landfills located within 1,000 feet of the subject property referenced as Landfill Nos. AD-007, AD-006, AD-001, AD-002, AD-004, AD-003, and AD-136. Flammable gas from decomposing organic matter in landfills may travel up to 1,000 feet from the source.

The applicant submitted a Flammable Gas Investigation Plan (FGIP) on April 17, 2019. TCHD approved the FGIP on April 23, 2019. The applicant submitted a Flammable Gas Investigation Report (Report), prepared by ERO Resources Group, dated August 20, 2019. Based on the detection of methane in one monitoring well, the Report includes a Risk Assessment (Assessment). The Assessment includes both current and future risk, based on current site conditions and the proposed redevelopment.

Based on our review of the Report and Assessment, it is the opinion of TCHD that no further action is required, as stated in our letter dated August 28, 2019.

#### **On-Site Wastewater Treatment System (OWTS) – Abandonment**

Proper wastewater management promotes effective and responsible water use, protects potable water from contaminants, and provides appropriate collection, treatment, and disposal of waste, which protects public health and the environment. Our records indicate the presence of On-Site Wastewater Treatment Systems (OWTS) on the subject property at 1921 W. 56<sup>th</sup> Avenue, 5801 Pecos Street, 5641 Pecos Street, 1891 W. 56<sup>th</sup> Avenue, and 1909 W. 56<sup>th</sup> Avenue. The existing OWTS shall be abandoned in accordance with Regulation No. O-17, Section 6.8. TCHD must be notified in writing

once the systems have been properly abandoned. For more information, or to submit the notification, the applicant may contact the TCHD Commerce City Office, 4201 E. 72<sup>nd</sup> Avenue, (303) 288-6816. More information is available at <http://www.tchd.org/269/Septic-Systems>.

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### **Building Demolition**

#### *Fugitive Dust, Lead, and Asbestos*

The application indicates that the existing buildings on the site will be demolished.

The Colorado Department of Public Health and Environment Air Pollution Control Division (APCD) regulates air emissions. State air quality regulations require that precautions be taken prior to demolition of buildings to evaluate the presence of asbestos fibers that may present a health risk. If asbestos is present, actions must be taken to prevent their release into the environment. State regulations also address control of ozone depleting compounds (chlorofluorocarbons) that may be contained in air conditioning or refrigerating equipment. The applicant shall contact the APCD at (303) 692-3100 for more information. Additional information is available at <http://www.cdphe.state.co.us/ap/asbestos>.

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#### *Vector Control*

Rodents such as mice and rats carry diseases which can be spread to humans through contact with rodents, rodent feces, urine, saliva, or through rodent bites. For example, Hantavirus Pulmonary Syndrome (HPS), a rare but potentially lethal viral infection, can be found in the droppings and urine of rodents commonly found in southwestern United States. When buildings are demolished, rodents can spread to surrounding properties and increase the risk of vector exposure to humans. The applicant should plan for



Pecos Logistics Park  
March 4, 2020  
Page 3 of 3

vectors and eliminate any known infestations prior to demolition. Information on rodent control can be found at <http://www.tchd.org/400/Rodent-Control>.

#### **Air Pollution – Diesel Emissions**

Exposure to air pollution is associated with a number of health problems including asthma, lung cancer, and heart disease. The proposed project will increase diesel truck traffic in the area. The Colorado Department of Public Health and Environment Air Pollution Control Division (APCD) regulates air emissions from vehicles including fleet maintenance and limiting idling. The applicant shall contact the APCD at (303) 692-3100 for more information. Additional information is available at <https://www.colorado.gov/pacific/cdphe-lpha/air-pollution-mobile-sources-contacts> and <https://www.colorado.gov/pacific/cdphe/diesel-emissions-control-program>.

Please feel free to contact me at 720-200-1575 or [kboyer@tchd.org](mailto:kboyer@tchd.org) if you have any questions on TCHD's comments.

Sincerely,

A handwritten signature in cursive script, appearing to read 'K Boyer', followed by a horizontal line.

Kathy Boyer, REHS  
Land Use and Built Environment Specialist III

cc: Sheila Lynch, Monte Deatrich, Warren Brown, TCHD



April 23, 2020

Greg Barnes  
Adams County Community and Economic Development  
4430 South Adams County Parkway, Suite W2000A  
Brighton, CO 80601

RE: Pecos Logistics Park, PRC2020-00002  
TCHD Case No. 6224

Dear Mr. Barnes,

Thank you for the opportunity to review and comment on the resubmittal of a Major Subdivision Final Plat and rezoning of approximately 62 acres to Industrial-2 located at 5855 Pecos Street. Tri-County Health Department (TCHD) staff previously reviewed the application for the rezoning and the preliminary plat and responded in letters dated April 4, 2019, May 14, 2019, September 18, 2019, November 27, 2019 and March 4, 2020. After reviewing the application, TCHD has the following comments. The Applicant has responded to the following comments satisfactorily.

#### **Historic Landfill**

According to TCHD's records, there are historic landfills located within 1,000 feet of the subject property referenced as Landfill Nos. AD-007, AD-006, AD-001, AD-002, AD-004, AD-003, and AD-136. Flammable gas from decomposing organic matter in landfills may travel up to 1,000 feet from the source.

The applicant submitted a Flammable Gas Investigation Plan (FGIP) on April 17, 2019. TCHD approved the FGIP on April 23, 2019. The applicant submitted a Flammable Gas Investigation Report (Report), prepared by ERO Resources Group, dated August 20, 2019. Based on the detection of methane in one monitoring well, the Report includes a Risk Assessment (Assessment). The Assessment includes both current and future risk, based on current site conditions and the proposed redevelopment.

Based on our review of the Report and Assessment, it is the opinion of TCHD that no further action is required, as stated in our letter dated August 28, 2019.

#### **On-Site Wastewater Treatment System (OWTS) – Abandonment**

Proper wastewater management promotes effective and responsible water use, protects potable water from contaminants, and provides appropriate collection, treatment, and disposal of waste, which protects public health and the environment. Our records indicate the presence of On-Site Wastewater Treatment Systems (OWTS) on the subject property at 1921 W. 56<sup>th</sup> Avenue, 5801 Pecos Street, 5641 Pecos Street, 1891 W. 56<sup>th</sup> Avenue, and 1909 W. 56<sup>th</sup> Avenue. The existing OWTS shall be abandoned in

accordance with Regulation No. O-17, Section 6.8. TCHD must be notified in writing once the systems have been properly abandoned. For more information, or to submit the notification, the applicant may contact the TCHD Commerce City Office, 4201 E. 72<sup>nd</sup> Avenue, (303) 288-6816. More information is available at <http://www.tchd.org/269/Septic-Systems>.

### **Well Abandonment**

Any well that is no longer being used, must be properly plugged and a Well Abandonment Report (GWS-09) must be filed with the Colorado Division of Water Resources. Please visit the DWR web site at <http://water.state.co.us/groundwater/wellpermit/Pages/WellAbandonment.aspx> for more information.

### **Building Demolition**

#### *Fugitive Dust, Lead, and Asbestos*

The application indicates that the existing buildings on the site will be demolished.

The Colorado Department of Public Health and Environment Air Pollution Control Division (APCD) regulates air emissions. State air quality regulations require that precautions be taken prior to demolition of buildings to evaluate the presence of asbestos fibers that may present a health risk. If asbestos is present, actions must be taken to prevent their release into the environment. State regulations also address control of ozone depleting compounds (chlorofluorocarbons) that may be contained in air conditioning or refrigerating equipment. The applicant shall contact the APCD at (303) 692-3100 for more information. Additional information is available at <http://www.cdphe.state.co.us/ap/asbestos>.

Buildings constructed prior to 1978 may contain lead paint. Environmental Protection Agency's (EPA) 2008 Lead-Based Paint Renovation, Repair and Painting (RRP) Rule (as amended in 2010 and 2011), aims to protect the public from lead-based paint hazards associated with renovation, repair and painting activities. These activities can create hazardous lead dust when surfaces with lead paint, even from many decades ago, are disturbed. More information can be found here <https://www.epa.gov/lead/lead-renovation-repair-and-painting-program-rules> and <https://www.epa.gov/lead>. The applicant may contact, and the Environmental Protection Agency EPA at 1-800-424-5323 for more information.

#### *Vector Control*

Rodents such as mice and rats carry diseases which can be spread to humans through contact with rodents, rodent feces, urine, saliva, or through rodent bites. For example, Hantavirus Pulmonary Syndrome (HPS), a rare but potentially lethal viral infection, can be found in the droppings and urine of rodents commonly found in southwestern United States. When buildings are demolished, rodents can spread to surrounding properties and increase the risk of vector exposure to humans. The applicant should plan for

Pecos Logistics Park  
April 23, 2020  
Page 3 of 3

vectors and eliminate any known infestations prior to demolition. Information on rodent control can be found at <http://www.tchd.org/400/Rodent-Control>.

#### **Air Pollution – Diesel Emissions**

Exposure to air pollution is associated with a number of health problems including asthma, lung cancer, and heart disease. The proposed project will increase diesel truck traffic in the area. The Colorado Department of Public Health and Environment Air Pollution Control Division (APCD) regulates air emissions from vehicles including fleet maintenance and limiting idling. The applicant shall contact the APCD at (303) 692-3100 for more information. Additional information is available at <https://www.colorado.gov/pacific/cdphe-lpha/air-pollution-mobile-sources-contacts> and <https://www.colorado.gov/pacific/cdphe/diesel-emissions-control-program>.

Please feel free to contact me at 720-200-1575 or [kboyer@tchd.org](mailto:kboyer@tchd.org) if you have any questions on TCHD's comments.

Sincerely,

A handwritten signature in cursive script, appearing to read 'K Boyer', followed by a horizontal line.

Kathy Boyer, REHS  
Land Use and Built Environment Specialist III

cc: Sheila Lynch, Monte Deatrich, Warren Brown, TCHD



**Right of Way & Permits**

1123 West 3<sup>rd</sup> Avenue  
Denver, Colorado 80223  
Telephone: **303.571.3306**  
Facsimile: 303. 571.3284  
donna.l.george@xcelenergy.com

April 9, 2019

Adams County Community and Economic Development Department  
4430 South Adams County Parkway, 3<sup>rd</sup> Floor, Suite W3000  
Brighton, CO 80601

Attn: Greg Barnes

**Re: Pecos Logistics Park Rezone, Case # RCU2019-00014**

Public Service Company of Colorado's (PSCo) Right of Way & Permits Referral Desk has reviewed the request for the **Pecos Logistics Park Rezone**. Please be advised that Public Service Company has existing natural gas main distribution pipeline facilities within the property in an easement recorded on July 1, 1959 in Adams County at Rec. No. 586796 Book 786 Page 562. Public Service Company has no objection to this proposed rezone, contingent upon PSCo's ability to maintain all existing rights and this amendment should not hinder our ability for future expansion, including all present and any future accommodations for natural gas transmission and electric transmission related facilities.

The property owner/developer/contractor must complete the **application process** for any new natural gas or electric service, or *modification* to existing facilities including relocation and/or removal via FastApp-Fax-Email-USPS (go to:

<https://www.xcelenergy.com/start, stop, transfer/installing and connecting service/>).

The Builder's Call Line is 1-800-628-2121. It is then the responsibility of the developer to contact the Designer assigned to the project for approval of design details. Additional easements may need to be acquired by separate document for new facilities.

As a safety precaution, PSCo would like to remind the developer to call the **Utility Notification Center** at 1-800-922-1987 to have all utilities located prior to any construction.

Donna George  
Right of Way and Permits  
Public Service Company of Colorado / Xcel Energy  
Office: 303-571-3306 – Email: donna.l.george@xcelenergy.com



**Right of Way & Permits**

1123 West 3<sup>rd</sup> Avenue  
Denver, Colorado 80223  
Telephone: **303.571.3306**  
Facsimile: 303. 571.3284  
donna.l.george@xcelenergy.com

March 6, 2020

Adams County Community and Economic Development Department  
4430 South Adams County Parkway, 3<sup>rd</sup> Floor, Suite W3000  
Brighton, CO 80601

Attn: Greg Barnes

**Re: Pecos Logistics Park Filing No. 1 Subdivision Plat and Rezone  
Case # PRC2020-00002**

Public Service Company of Colorado's (PSCo) Right of Way & Permits Referral Desk has reviewed the plan for the above captioned project. As always, thank you for the opportunity to take part in the review process. To ensure that adequate utility easements are available within this development, PSCo requests an 8-foot wide dry utility easement dedicated over the proposed intermediate pressure natural gas pipeline, 4-feet on each side of the pipeline centerline.

PSCo also requests that the following language or plat note is placed on the preliminary and final plats for the subdivision:

*Utility easements are dedicated Adams County for the benefit of the applicable utility providers for the installation, maintenance, and replacement of electric, gas, television, cable, and telecommunications facilities (Dry Utilities). Utility easements shall also be granted within any access easements and private streets in the subdivision. Permanent structures, improvements, objects, buildings, wells, and other objects that may interfere with the utility facilities or use thereof (Interfering Objects) shall not be permitted within said utility easements and the utility providers, as grantees, may remove any Interfering Objects at no cost to such grantees, including, without limitation, vegetation. Public Service Company of Colorado (PSCo) and its successors reserve the right to require additional easements and to require the property owner to grant PSCo an easement on its standard form.*

Public Service Company also requests that all utility easements be depicted graphically on the preliminary and final plats. While these easements may accommodate certain utilities to be installed in the subdivision, some additional easements may be required as planning and building progresses.

Please be aware PSCo has existing natural gas and electric distribution facilities within the subject property area, and has no objection to this proposed rezone, contingent upon PSCo's

ability to maintain all existing rights and this amendment should not hinder our ability for future expansion, including all present and any future accommodations for natural gas transmission and electric transmission related facilities.

The property owner/developer/contractor must continue working with the Designer assigned to the project for approval of design details. Additional easements may need to be acquired by separate document for new facilities.

As a safety precaution, PSCo would like to remind the developer to call the Utility Notification Center by dialing 811 for utility locates prior to construction.

Donna George  
Right of Way and Permits  
Public Service Company of Colorado dba Xcel Energy  
Office: 303-571-3306 – Email: [donna.l.george@xcelenergy.com](mailto:donna.l.george@xcelenergy.com)



**Right of Way & Permits**

1123 West 3<sup>rd</sup> Avenue  
Denver, Colorado 80223  
Telephone: **303.571.3306**  
Facsimile: 303. 571. 3284  
donna.l.george@xcelenergy.com

April 24, 2020

Adams County Community and Economic Development Department  
4430 South Adams County Parkway, 3<sup>rd</sup> Floor, Suite W3000  
Brighton, CO 80601

Attn: Greg Barnes

**Re: Pecos Logistics Park Resubmittal, Case # SIA2020-00004 / PRC2020-00002**

Public Service Company of Colorado's (PSCo) Right of Way & Permits Referral Desk requests that the property owner/developer/contractor continues working with 1) the Designer assigned to the project for approval of design details; and, 2) Frank Grady for all easements by separate PSCo document.

Donna George  
Right of Way and Permits  
Public Service Company of Colorado dba Xcel Energy  
Office: 303-571-3306 – Email: donna.l.george@xcelenergy.com



## Greg Barnes

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**From:** "BS" <bud80\_80221@yahoo.com>  
**Sent:** Friday, February 21, 2020 12:31 PM  
**To:** Greg Barnes  
**Subject:** Seacoast logistics Park

Please be cautious: This email was sent from outside Adams County

Have been a residence of this neighborhood for over 40 years on Tejon st. not too pleased with what's going on the existing land where Rocky mountain prestress is. We have felt with continuous white concrete dust from Rocky Mountain Prestress they have never offered to clean our heater vents or replace our furnaces from the constant dust, God knows what our lungs look like from it. Many years ago we begged with then to use a water truck, did they know! I believe the new business Park will raise the crime in our old quiet neighborhood and also trash dumping! Tejon st from 52nd to 56th is Like a main through street, over the years traffic on Tejon st has gotten out of control, Y'all (Adam's County) put in stop signs at 54th in 2 places it hasn't helped one bit people run them constantly! What would it take to put in speed bumps up and down Tejon st? Please we're begging for them! I'm afraid someone (including my daughter)is gonna get hit by a car one day! I'm I'll have more comments to come! Thank you! Please give us it's speed bumps on Tejon st..

[Sent from Yahoo Mail on Android](#)

## Greg Barnes

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**From:** Matthew Emmens  
**Sent:** Wednesday, February 26, 2020 4:00 PM  
**To:** queenmique@aol.com  
**Cc:** Greg Barnes  
**Subject:** RE: Pecos Logistics Park

Hello Rudy & Miqueleen,

I'm the County Engineer who is reviewing the construction plans for the Pecos Logistic Park (Formerly Rocky Mountain Prestress). Greg Barnes asked me to respond to your question.

The short answer is, the swale on Vallejo St is currently owned and maintained by the County. And yes, we were aware that Rocky Mountain Prestress was performing maintenance to the ditch. However, the developer of that site (Pecos Logistics Park) will be installing a storm sewer along Vallejo St and pipe the existing ditch. Which the County will own and maintain.

The long answer is:

The developer is required to do roadway improvements to all roads that are adjacent to their property. The requirement is for them to build out the half of the roadway that is adjacent to their site, per the County's standard roadway cross section. Those improvements will consist of widening the east half of the roadway several feet and constructing curb, gutter and sidewalk on the east half of the roadway. Because those improvements will be going where the existing ditch is now, the developer will have to construct a storm sewer/pipe to convey the stormwater flows that the ditch carries.

In some cases there is a policy that allows a developer to pay the County fees-in-lieu for the required improvements. Then, at some point in the future, the County would use those fees to do the improvements as part of a County project. When the developer of the Pecos Logistics Park was going through the preliminary plat process for their project, they made the assumption that they met the requirements to pay the fees-in-lieu for the improvements. However, when I reviewed the construction plans, I discovered that they didn't meet the requirements for paying fees-in-lieu. So, the original plans did not include the Vallejo St improvements or the piping of the ditch. The developer has been notified of the requirements and has agreed to do the roadway (and storm sewer) improvements. The next submittal of construction documents should have all of the Vallejo St improvements included, including the storm sewer.

Please, feel free to email or call me if you have any additional questions or concerns.

Sincerely,  
Matt Emmens

Senior Engineer, *Community and Economic Development*  
ADAMS COUNTY, COLORADO  
4430 S. Adams County Parkway, W2000B  
Brighton, CO 80601  
o: 720.523.6826 | [memmens@adcogov.org](mailto:memmens@adcogov.org)  
[www.adcogov.org](http://www.adcogov.org)

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**From:** Greg Barnes <GJBarnes@adcogov.org>  
**Sent:** Wednesday, February 26, 2020 1:25 PM

**To:** Matthew Emmens <MEmmens@adcogov.org>

**Subject:** FW: Pecos Logistics Park

Are you aware of a ditch along Vallejo Street. If so, could you provide a response?



**Greg Barnes**

Planner III, *Community and Economic Development Dept.*

ADAMS COUNTY, COLORADO

4430 S. Adams County Parkway, 1st Floor, Suite W2000A

Brighton, CO 80601-8216

720.523.6853 [gjbarnes@adcogov.org](mailto:gjbarnes@adcogov.org)

[adcogov.org](http://adcogov.org)

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**From:** [queenmique@aol.com](mailto:queenmique@aol.com) <[queenmique@aol.com](mailto:queenmique@aol.com)>

**Sent:** Thursday, February 20, 2020 6:38 PM

**To:** Greg Barnes <[GJBarnes@adcogov.org](mailto:GJBarnes@adcogov.org)>

**Subject:** Pecos Logistics Park

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Please be cautious: This email was sent from outside Adams County

Re: PRC2020-00002

Having reviewed the plans and maps in the most recent letter which is requesting comments, we would like to know who will be responsible for the ditch along Vallejo St that is located outside the west wall. In the past, Prestressed Con took care of this area.

Thank you,

Rudy & Miqueleen Valdivia

Sent from AOL Mobile Mail

Get the new AOL app: [mail.mobile.aol.com](http://mail.mobile.aol.com)



## Request for Comments

Case Name: Pecos Logistics Park  
Project Number: PRC2020-00002

February 18, 2020

The Adams County Planning Commission is requesting comments on the following applications: **1. major subdivision final plat to create three lots over approximately 67 acres; 2. rezoning of approximately 62 acres to Industrial-2.** This request is located at 5751 N. Pecos Street. The Assessor's Parcel Numbers are: 0182509300023, 0182509300056, 0182509300058, 0182509300063, 0182509300065, 0182509300067, 0182509300068, 0182509300069, 0182509309001, 0182509312001, 0182509312002, 0182509313001, 0182509314001, 0182509314002.

Applicant Information: MATT MITCHELL, WESTFIELD  
4221 BRIGHTON BLVD  
DENVER, CO 80216

Please forward any written comments on this application to the Community and Economic Development Department at 4430 South Adams County Parkway, Suite W2000A Brighton, CO 80601-8216 or call (720) 523-6800 by 03/10/2020 in order that your comments may be taken into consideration in the review of this case. If you would like your comments included verbatim please send your response by way of e-mail to [GJBarnes@adcogov.org](mailto:GJBarnes@adcogov.org).

Once comments have been received and the staff report written, the staff report and notice of public hearing dates may be forwarded to you upon request. The full text of the proposed request and additional colored maps can be obtained by contacting this office or by accessing the Adams County web site at [www.adcogov.org/planning/currentcases](http://www.adcogov.org/planning/currentcases).

Thank you for your review of this case.

Greg Barnes  
Planner III

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BOARD OF COUNTY COMMISSIONERS

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DISTRICT 2

Emma Pinter  
DISTRICT 3

Steve O'Dorisio  
DISTRICT 4

Mary Hodge  
DISTRICT 5



## Public Hearing Notification

Case Name:	Pecos Logistics Park
Case Number:	PRC2020-00002
Planning Commission Hearing Date:	6/11/2020 at 6:00 p.m.
Board of County Commissioners Hearing Date:	6/30/2020 at 9:30 a.m.

May 22, 2020

A public hearing has been set by the Adams County Planning Commission and the Board of County Commissioners to consider the following requests: **1. Major subdivision final plat to create three lots over approximately 67 acres; 2. Associated subdivision improvements agreement; 3. Rezoning of approximately 62 acres to Industrial-2.** The Assessor's Parcel Numbers are: 0182509300023, 0182509300056, 0182509300058, 0182509300063, 0182509300065, 0182509300067, 0182509300068, 0182509300069, 0182509309001, 0182509312001, 0182509312002, 0182509313001, 0182509314001, and 0182509314002. The applicant is Matt Mitchell of Westfield, 4221 Brighton Blvd., Denver, CO 80216.

The Planning Commission meeting will be held virtually using the Zoom video conferencing software and members of the public will be able to submit comments prior to the start of the public hearing that will then be entered into the record. For instructions on how to access the public hearing via telephone or internet, please visit <http://www.adcogov.org/planning-commission> for up to date information.

The Board of County Commissioners meeting is broadcast live on the Adams County YouTube channel and members of the public will be able to submit comments prior to the start of the public hearing that will then be entered into the record. The eComment period opens when the agenda is published and closes at 4:30 p.m. the Monday prior to the noticed meeting. For instructions on how to access the public hearing and submit comments, please visit <http://www.adcogov.org/bocc> for up to date information.

These will be public hearings and any interested parties may attend and be heard. The Applicant's presence at these hearings is requested. The full text of the proposed request and additional colored maps can be obtained by contacting this office or by accessing the Adams County website at [www.adcogov.org/planning/currentcases](http://www.adcogov.org/planning/currentcases). If you require any special accommodations, please contact the Adams County Community and Economic Development Department at (CEDD) at [cedd-pod@adcogov.org](mailto:cedd-pod@adcogov.org), or 720-523-6800 at least one hour prior to the meeting date.

Greg Barnes, Planner III

BOARD OF COUNTY COMMISSIONERS

Eva J. Henry  
DISTRICT 1

Charles "Chaz" Tedesco  
DISTRICT 2

Emma Pinter  
DISTRICT 3

Steve O'Dorisio  
DISTRICT 4

Mary Hodge  
DISTRICT 5

## **PUBLICATION REQUEST**

Pecos Logistics Park

**Case Number:** PRC2020-00002

**Planning Commission Hearing Date:** June 11, 2020 at 6:00 p.m.

**Board of County Commissioners Hearing Date:** June 30, 2020 at 9:30 a.m.

**Request:** 1. Major subdivision final plat to create three lots over approximately 67 acres; 2. Associated subdivision improvements agreement; 3. Rezoning of approximately 62 acres to industrial-2.

**Parcel Numbers:** 0182509300023, 0182509300056, 0182509300058, 0182509300063, 0182509300065, 0182509300067, 0182509300068, 0182509300069, 0182509309001, 0182509312001, 0182509312002, 0182509313001, 0182509314001, 0182509314002

**Location of Request:** Northwest corner of W. 56<sup>th</sup> Avenue and Pecos Street

**Case Manager:** Greg Barnes, [gjbarnes@adcogov.org](mailto:gjbarnes@adcogov.org), (720) 523-6853

**Applicant:** Matt Mitchell, Westfield, 4221 Brighton Blvd, Denver, CO 80216

**Legal Description:** A TRACT OF LAND LOCATED IN THE SOUTHWEST ¼ OF SECTION 9, TOWNSHIP 3 SOUTH, RANGE 68 WEST OF THE 6TH P.M., MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT THE CENTER ¼ CORNER OF SECTION 9, TOWNSHIP 3 SOUTH, RANGE 68 WEST OF THE 6TH P.M., BEING A FOUND 2" DIA. ALLOY CAP STAMPED PLS 24942 IN RANGE BOX; THENCE S02°55'20"W, 924.39 FEET TO THE POINT OF BEGINNING BEING THE NORTHEAST CORNER OF A PARCEL OF LAND DESCRIBED IN DEED RECORDED AT RECEPTION NO. 2018000084369, SAID POINT ALSO BEING ON THE WEST RIGHT-OF-WAY LINE OF PECOS STREET; THENCE ALONG THE SAID WEST RIGHT-OF-WAY LINE OF PECOS STREET THE FOLLOWING SEVEN (7) DESCRIBED COURSES:

1. THENCE S00°59'29"E, 297.70 FEET;
2. THENCE S00°58'57"E, 117.77 FEET;
3. THENCE S00°00'00"W, 100.17 FEET;
4. THENCE S00°06'02"E, 147.43 FEET;
5. THENCE S00°00'00"W, 742.71 FEET;
6. THENCE S89°48'07"W, 10.30 FEET;
7. THENCE S00°00'00"W, 267.86 FEET TO THE INTERSECTION OF THE WEST RIGHT-OF-WAY LINE OF PECOS STREET AND THE NORTH RIGHT-OF-WAY LINE OF WEST 56TH AVENUE;

THENCE ALONG THE NORTH RIGHT-OF-WAY LINE OF WEST 56TH AVENUE THE FOLLOWING FIVE (5) COURSES:

1. THENCE S89°48'07"W, 948.20 FEET;
2. THENCE S00°05'00"E, 10.00 FEET;
3. THENCE S89°48'07"W, 271.20 FEET;
4. THENCE N00°05'00"W, 10.00 FEET;
5. THENCE S89°48'07"W, 30.00 FEET TO A POINT ON THE EAST LINE OF TEJON STREET;

THENCE N00°05'00"W ALONG THE SAID EAST LINE OF SAID TEJON STREET, 481.60 FEET; THENCE DEPARTING FROM SAID EAST LINE OF SAID TEJON STREET S89°48'07"W, 362.20 FEET TO A POINT BEING THE NORTHWEST CORNER OF THAT PARCEL OF LAND RECORDED AT RECEPTION NO. 2012000088342 OF THE ADAMS COUNTY RECORDS; THENCE S00°05'00"E ALONG THE EAST LINE OF SAID PARCEL OF LAND AND SAID LINE EXTENDED, 276.60 FEET TO THE NORTHEAST CORNER OF A PARCEL OF LAND RECORDED AT RECEPTION NO. 2016000021659 OF THE ADAMS COUNTY RECORDS; THENCE S89°48'07"W ALONG THE NORTH LINE OF SAID PARCEL OF LAND, 332.20 FEET TO THE NORTHWEST CORNER OF SAID PARCEL OF LAND, SAID POINT ALSO BEING ON THE EAST LINE OF THAT PARCEL OF LAND RECORDED AT RECEPTION NO. 2013000012831 OF THE ADAMS COUNTY RECORDS; THENCE N00°05'00"W ALONG THE EAST LINE OF THAT PARCEL OF LAND RECORDED AT RECEPTION NO. 2013000012831 OF THE ADAMS COUNTY RECORDS, 90.62 FEET TO THE NORTHEAST CORNER OF THAT PARCEL OF LAND RECORDED AT RECEPTION NO. 2013000012831 OF THE ADAMS COUNTY RECORDS, SAID POINT BEING ON THE SOUTH LINE OF VALLEJO STREET; THENCE N89°48'07"E ALONG THE SOUTH LINE OF VALLEJO STREET, 10.00 FEET TO A POINT ON THE EAST LINE OF VALLEJO STREET; THENCE ALONG THE EAST LINE OF VALLEJO STREET THE FOLLOWING TWO (2) COURSES;

1. THENCE N00°05'00"W, 314.38 FEET;
2. THENCE N00°01'00"E, 393.38 FEET;

THENCE S89°51'16"W, 10.00 FEET; THENCE N00°01'00"E ALONG THE EAST LINE OF VALLEJO STREET AND SAID LINE EXTENDED, 517.61 FEET TO THE NORTHEAST CORNER OF A PARCEL OF LAND RECORDED AT RECEPTION NO. 2007000058444 OF THE ADAMS COUNTY RECORDS, SAID POINT BEING ON THE SOUTH LINE OF THE BNSF RAILROAD RIGHT-OF-WAY AS RECORDED AT RECEPTION NO. 2019000015214 OF THE ADAMS COUNTY RECORDS; THENCE ALONG THE SAID SOUTH RIGHT-OF-WAY LINE OF SAID BNSF RAILROAD ALONG A CURVE TO THE LEFT HAVING AN ARC LENGTH OF 396.20 FEET, A RADIUS OF 1475.85 FEET, A CENTRAL ANGLE OF 15°22'53", A CHORD DISTANCE OF 395.01 FEET AND WHOSE CHORD BEARS S85°50'00"W TO A POINT OF CURVATURE; THENCE CONTINUING ALONG SAID SOUTH RIGHT-OF-WAY LINE OF BNSF RAILROAD ALONG A CURVE TO THE LEFT HAVING AN ARC LENGTH OF 106.88 FEET, A RADIUS OF 1382.69 FEET, A CENTRAL ANGLE OF 04°25'43", A CHORD DISTANCE OF 106.85 FEET AND WHOSE CHORD BEARS S75°19'31"W; THENCE CONTINUING ALONG THE SOUTH RIGHT-OF-WAY LINE OF THE BNSF RAILROAD S73°06'32"W, 181.25 FEET TO A POINT OF INTERSECTION WITH THE WEST LINE OF THE SOUTHWEST ¼ OF SECTION 9, TOWNSHIP 3 SOUTH, RANGE 68 WEST OF THE 6TH P.M.; THENCE N00°16'37"W ALONG THE SAID WEST LINE OF THE SAID SOUTHWEST ¼ OF SAID SECTION 9, 104.36 FEET; THENCE N73°06'39"E ALONG THE NORTH RIGHT-OF-WAY LINE OF THE BNSF RAILROAD, 151.41 FEET; THENCE CONTINUING ALONG THE NORTH RIGHT-OF-WAY LINE OF THE BNSF RAILROAD ALONG A CURVE TO THE RIGHT HAVING AN ARC LENGTH OF 115.66 FEET, A RADIUS OF 1482.69 FEET, A CENTRAL ANGLE OF 04°28'10", A CHORD DISTANCE OF 115.63 FEET AND WHOSE CHORD BEARS N75°20'49"E TO A POINT OF CURVATURE; THENCE CONTINUING ALONG THE NORTH RIGHT-OF-WAY LINE OF THE BNSF RAILROAD ALONG A CURVE TO THE RIGHT HAVING AN ARC LENGTH OF 737.76 FEET, A RADIUS OF 1575.85 FEET, A CENTRAL ANGLE OF 26°49'26", A CHORD DISTANCE OF 731.04 FEET AND WHOSE CHORD BEARS S88°26'43"E; THENCE CONTINUING ALONG THE SAID NORTH RIGHT-OF-WAY LINE OF THE BNSF RAILROAD S75°02'00"E, 560.87 FEET; THENCE N01°28'00"W, 125.57 FEET; THENCE N88°32'00"E, 427.11 FEET; THENCE S75°02'00"E, 47.91 FEET TO THE SOUTHWEST CORNER OF THAT PARCEL OF LAND IN DEED RECORDED AT RECEPTION NO. 2018000084369 OF THE ADAMS COUNTY RECORDS; THENCE N02°21'23"E ALONG THE WEST LINE OF SAID PARCEL OF LAND, 86.37 FEET TO THE NORTHWEST CORNER OF SAID PARCEL OF LAND; THENCE N85°52'05"E ALONG THE NORTH LINE OF SAID PARCEL OF LAND, 617.19 FEET TO THE POINT OF BEGINNING,

COUNTY OF ADAMS,  
STATE OF COLORADO

THE ABOVE DESCRIBED PARCEL CONTAINS 2,899,197 SQUARE FEET OR 66.56 ACRES MORE OR LESS.

**Virtual Meeting and Public Comment Information:**

The Planning Commission meeting will be held virtually using the Zoom video conferencing software and members of the public will be able to submit comments prior to the start of the public hearing that will then be entered into the record. For instructions on how to access the public hearing via telephone or internet, please visit <http://www.adcogov.org/planning-commission> for up to date information.

The Board of County Commissioners meeting is broadcast live on the Adams County YouTube channel and members of the public will be able to submit comments prior to the start of the public hearing that will then be entered into the record. The eComment period opens when the agenda is published and closes at 4:30 p.m. the Monday prior to the noticed meeting. For instructions on how to access the public hearing and submit comments, please visit <http://www.adcogov.org/bocc> for up to date information.

These will be public hearings and any interested parties may attend and be heard. The Applicant and Representative's presence at these hearings is requested. The full text of the proposed request and additional colored maps can be obtained by contacting this office or by accessing the Adams County website at [www.adcogov.org/planning/currentcases](http://www.adcogov.org/planning/currentcases). If you require any special accommodations, please contact the Adams County Department of Community and Economic Development at (CEDD) at [cedd-pod@adcogov.org](mailto:cedd-pod@adcogov.org), or 720-523-6800 at least one hour prior to the meeting date.





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Case Number PRC2020-00002  
Pecos Logistics Park

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LOVELAND CO 80539-2723

AMAR INC  
4143 E 105TH AVE  
THORNTON CO 80233-3903

2300W60 LLC  
C/O CCSD-COLORADO LLC  
4770 BISCAYNE BLVD STE 700  
MIAMI FL 33137-3244

APODACA FAMILY REALTY TRUST THE  
2241 W 59TH PLACE  
DENVER CO 80221

2400W60 LLC  
C/O CCSD- COLORADO LLC  
4770 BISCAYNE BLVD STE 710  
MIAMI FL 33137-3244

BARRON JOEL  
1640-1660 W 55TH AVE  
DENVER CO 80221

5770 BRYANT STREET LLC  
14333 MEAD ST  
LONGMONT CO 80504-9649

BERKELEY POINTE LLC  
2405 W 56TH AVE  
DENVER CO 80221-1809

5999 PECOS LLC UND 92.1875% AND  
ACJW LLC UND 7.8125% INT  
4880 PEARL ST  
BOULDER CO 80301-2454

BK ENTERPRISES LLC  
8417 BRIGHTON RD  
COMMERCE CITY CO 80022-5309

ADAMS COUNTY  
4430 SOUTH ADAMS COUNTY PKWY  
BRIGHTON CO 80601-8204

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2150 W 60TH AVE APT S  
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2291 W 59TH PL  
DENVER CO 80221-6614

CRUZ DAVID AND CRUZ GLORIA  
OR CURRENT RESIDENT  
5571 SHOSHONE ST  
DENVER CO 80221

DURAN ANTHONY A AND  
DURAN JOANN A  
OR CURRENT RESIDENT  
5545 ZUNI ST  
DENVER CO 80221-1403

DAILEY-FISHER DEBRA A  
OR CURRENT RESIDENT  
2321 W 58TH AVE  
DENVER CO 80221-1827

EBERL DORIS I  
OR CURRENT RESIDENT  
2315 W MOFFAT PL  
DENVER CO 80221

DAMIAN MATTHEW AND  
DAMIAN MARINA  
OR CURRENT RESIDENT  
5728 ALCOTT STREET  
DENVER CO 80221

ELIZONDO LIDIA A  
OR CURRENT RESIDENT  
5523 RARITAN WAY  
DENVER CO 80221

DAVIS ZACKARY  
OR CURRENT RESIDENT  
5637 WYANDOT ST  
DENVER CO 80221-1857

ESP VENTURES LLC  
OR CURRENT RESIDENT  
5750 PECOS ST  
DENVER CO 80221-6619

DE HERRERA LINDA AND  
JIMENEZ PATRICIA  
OR CURRENT RESIDENT  
2320 W 56TH AVE  
DENVER CO 80221-1808

ESPINOZA MARK AND  
SAAVEDRA MARIA O  
OR CURRENT RESIDENT  
5700 BRYANT ST  
DENVER CO 80221-1856

DEBRAAK JOHN R AND  
DEBRAAK LARONNA SHAE  
OR CURRENT RESIDENT  
1760 W 55TH PL  
DENVER CO 80221-1712

ESPINOZA SETH AND  
ESPINOZA ATHENA  
OR CURRENT RESIDENT  
5552 UMATILLA ST  
DENVER CO 80221-1474

DECKER JOHN L AND  
DECKER DIANNA L  
OR CURRENT RESIDENT  
2341 W 59TH PL  
DENVER CO 80221-1834

ESTES DONALD DEAN  
OR CURRENT RESIDENT  
1761 W 54TH PL  
DENVER CO 80221-1710

DIETZ ERIC  
OR CURRENT RESIDENT  
2230 W 59TH PL  
DENVER CO 80221-6613

FALLER DEBRA JEAN  
OR CURRENT RESIDENT  
2201 W 57TH PL  
DENVER CO 80221-6610

DISTLER CHRISTOPHER  
OR CURRENT RESIDENT  
2260 W 57TH PL  
DENVER CO 80221-6611

FARMER KELLY B AND  
KORTE JENNIFER MARIA  
OR CURRENT RESIDENT  
5630 ALCOTT ST  
DENVER CO 80221-1837

DOMINGUEZ ROGELIO AND  
DOMINGUEZ LETICIA  
OR CURRENT RESIDENT  
5477 UMATILLA ST  
DENVER CO 80221-1475

FENG GUANG NING AND  
FENG XUE ZHENG  
OR CURRENT RESIDENT  
5755 BRYANT ST  
DENVER CO 80221-1843



FERRARO CARMINE  
OR CURRENT RESIDENT  
5476 UMATILLA ST  
DENVER CO 80221

GARCIA GINA V  
OR CURRENT RESIDENT  
2360 W MOFFAT PL  
DENVER CO 80221-1482

FISHER WILLIAM L AND  
DAILEY-FISHER DEBRA A  
OR CURRENT RESIDENT  
2222 W 58TH PL  
DENVER CO 80221-6613

GARCIA JASON DAVID  
OR CURRENT RESIDENT  
5484 TEJON ST  
DENVER CO 80221

FLORES CAROLINE A  
OR CURRENT RESIDENT  
5521 UMATILLA ST  
DENVER CO 80221

GARCIA JERRY  
OR CURRENT RESIDENT  
1741 W 54TH PL  
DENVER CO 80221-1710

FOSTER REGAN M AND  
FOSTER ELIZABETH R  
OR CURRENT RESIDENT  
5466 UMATILLA ST  
DENVER CO 80221-1474

GARCIA LEON MICHAEL  
OR CURRENT RESIDENT  
5522 UMATILLA ST  
DENVER CO 80221-1474

FRANSUA PHYLLIS C 1/4 INT / LUCERO ELVIN 1/4  
INT AND  
LUCERO DUANE 1/4 INT AND LUCERO CLARENCE 1/4  
INT  
OR CURRENT RESIDENT  
5462 SHOSHONE ST  
DENVER CO 80221-1723

GARCIA LUCAS R  
OR CURRENT RESIDENT  
5768 ALCOTT ST  
DENVER CO 80221-1855

FREEBURG CHRISTOPHER W AND  
FREEBURG THOMAS J  
OR CURRENT RESIDENT  
5590 TEJON ST  
DENVER CO 80221-1436

GARCIA NOHEMI  
OR CURRENT RESIDENT  
2301 W 56TH AVE  
DENVER CO 80221-1807

FREYRE TERESA AND  
FREYRE DAVID  
OR CURRENT RESIDENT  
1781 W 55TH PL  
DENVER CO 80221-1747

GIBSON LAURA J  
OR CURRENT RESIDENT  
5561 SHOSHONE ST  
DENVER CO 80221-1724

GALVAN B RAUL  
OR CURRENT RESIDENT  
5787 ALCOTT STREET  
DENVER CO 80221

GLASSICK PARKER  
OR CURRENT RESIDENT  
5531 SHOSHONE ST  
DENVER CO 80221-1724

GARCIA CYRUS RAY AND  
GARCIA MARY DOROTHY  
OR CURRENT RESIDENT  
1780 W 55TH PL  
DENVER CO 80221-1712

GLIM CRYSTAL NICOLE  
OR CURRENT RESIDENT  
2360 W 57TH AVE  
DENVER CO 80221-1870

GARCIA DANIEL F AND  
GARCIA CONCHITA  
OR CURRENT RESIDENT  
5478 VALLEJO ST  
DENVER CO 80221-1463

GOMEZ ADELE  
OR CURRENT RESIDENT  
1740 W 55TH PL  
DENVER CO 80221-1712

GONZALES ALFONSO T AND  
GONZALES LILLIAN  
OR CURRENT RESIDENT  
5502 RARITAN WAY  
DENVER CO 80221-1771

HARRISON MARY A  
OR CURRENT RESIDENT  
5581 ZUNI ST  
DENVER CO 80221-1454

GONZALES FRANCES R  
OR CURRENT RESIDENT  
5582 RARITAN WAY  
DENVER CO 80221

HARROD JAMES CALVIN REVOCABLE TRUST  
OR CURRENT RESIDENT  
2220 W 56TH AVE  
DENVER CO 80221-6605

GONZALES MARY-EUGENIA  
OR CURRENT RESIDENT  
5474 TEJON ST  
DENVER CO 80221

HAUER DANIE AND  
CHAU CHRISTINA  
OR CURRENT RESIDENT  
2410 W 56TH AVE  
DENVER CO 80221-1810

GONZALES SALLY R AND  
GONZALES FRANK  
OR CURRENT RESIDENT  
5522 RARITAN WAY  
DENVER CO 80221-1771

HAWK BEVERLY M  
OR CURRENT RESIDENT  
2341 W 57TH AVE  
DENVER CO 80221-1869

GONZALEZ CLAUDIA  
OR CURRENT RESIDENT  
5771 CLAY STREET  
DENVER CO 80221

HECKING PETER HG  
OR CURRENT RESIDENT  
2221 W MOFFAT PL  
DENVER CO 80221-1442

GONZALEZ DARLENE  
OR CURRENT RESIDENT  
1761 W 55TH PL  
DENVER CO 80221-1747

HELFAND ALISON EMILY AND  
GOODMASTER KYLE SCOTT  
OR CURRENT RESIDENT  
5510 TEJON ST  
DENVER CO 80221-1436

GRANADO VICKIE LEE  
OR CURRENT RESIDENT  
5451 RARITAN WAY  
DENVER CO 80221-1735

HERNANDEZ JOHN A AND  
HERNANDEZ GERALDINE  
OR CURRENT RESIDENT  
2641 W 58TH AVE  
DENVER CO 80221-1854

GRISWOLD MATTHEW B  
OR CURRENT RESIDENT  
5555 ZUNI ST  
DENVER CO 80221-1403

HERNANDEZ MERCEDES  
OR CURRENT RESIDENT  
5520 VALLEJO ST  
DENVER CO 80221-1448

GUTIERREZ CARA LYNN  
OR CURRENT RESIDENT  
2300 W 56TH AVE  
DENVER CO 80221-1808

HERNANDEZ ROGELIO  
OR CURRENT RESIDENT  
5460 RARITAN WAY  
DENVER CO 80221

HARO DOLORES M AND  
LUCERO JOAQUIN S  
OR CURRENT RESIDENT  
5560 SHOSHONE ST  
DENVER CO 80221-1725

HERRERA JUAN AND  
NUNEZ NELYDA  
OR CURRENT RESIDENT  
5717 ALCOTT STREET  
DENVER CO 80221

HINKLE GERTRUDE I REVOCABLE LIVING TRUST  
OR CURRENT RESIDENT  
2205 W MOFFAT PL  
DENVER CO 80221-1442

JORDAN JOHANNES M  
OR CURRENT RESIDENT  
5444 TEJON ST  
DENVER CO 80221-1434

HOLGUIN ERASMO  
OR CURRENT RESIDENT  
2456 W 56TH AVE  
DENVER CO 80221

JUAREZ SOCORRO AND  
CERVANTES ANDREA LOYA  
OR CURRENT RESIDENT  
2321 W 57TH AVE  
DENVER CO 80221-1869

HOMRA DAVID G AND  
HOMRA REGINNA G  
OR CURRENT RESIDENT  
2220 W 56TH PL  
DENVER CO 80221-6607

KALISTA JOHN PATRICK  
OR CURRENT RESIDENT  
5544 QUIVAS ST  
DENVER CO 80221-1761

HUYNH SONNY AND  
NGUYEN THU THI AND HUYNH KIM NGAN  
OR CURRENT RESIDENT  
5710 BRYANT STREET  
DENVER CO 80221

KBD PROPERTIES LLC  
OR CURRENT RESIDENT  
1775 W 55TH AVE  
DENVER CO 80221-1745

INGALLS STANLEY W AND  
INGALLS CARMEN C  
OR CURRENT RESIDENT  
2291 W 56TH AVE  
DENVER CO 80221-6604

KHAN SAMINA TUFAIL  
OR CURRENT RESIDENT  
5521 SHOSHONE ST  
DENVER CO 80221-1724

INGALLS STANLEY W AND  
INGALLS CARMEN C  
OR CURRENT RESIDENT  
5646 WYANDOT STREET  
DENVER CO 80221

KOHS DAVID W  
OR CURRENT RESIDENT  
1781 W 54TH PL  
DENVER CO 80221-1710

JARA VICTOR AND  
FARIAS LAURA  
OR CURRENT RESIDENT  
5688 ALCOTT ST  
DENVER CO 80221-1837

LA RUSSO ELAINE A  
OR CURRENT RESIDENT  
5481 TEJON ST  
DENVER CO 80221-1464

JIMENEZ EDUARDO AND JULIA  
OR CURRENT RESIDENT  
2213 W 57TH PL  
DENVER CO 80221-6610

LEE MICHELE AND  
BACA JAMES  
OR CURRENT RESIDENT  
2201 W MOFFAT PL  
DENVER CO 80221-1442

JIMENEZ PRISCILLA  
OR CURRENT RESIDENT  
2320 W 57TH AVE  
DENVER CO 80221-1870

LEE SUSAN L AND  
LEE DINO  
OR CURRENT RESIDENT  
5748 ALCOTT ST  
DENVER CO 80221-1855

JORANLIEN KIRSTEN AND  
ARNDT WILLIAM BRANDON  
OR CURRENT RESIDENT  
5580 VALLEJO ST  
DENVER CO 80221-1448

LEVY TINA  
OR CURRENT RESIDENT  
5640 ZUNI ST  
DENVER CO 80221-1864

LEWIS STEVE  
OR CURRENT RESIDENT  
5579 PECOS ST  
DENVER CO 80221

MAJALCA CIPRIANO  
OR CURRENT RESIDENT  
5657 WYANDOT ST  
DENVER CO 80221-1857

LITTLETON BRIAN J  
OR CURRENT RESIDENT  
2221 W 57TH PL  
DENVER CO 80221-6610

MALLORY SEAN  
OR CURRENT RESIDENT  
2250 W 59TH PL  
DENVER CO 80221-6615

LITTRELL STANLEY A AND  
LITTRELL JUDY L  
OR CURRENT RESIDENT  
2361 W 55TH AVE  
DENVER CO 80221-1481

MANCHA ANA LILIA  
OR CURRENT RESIDENT  
5551 TEJON ST  
DENVER CO 80221-1435

LOPEZ ARTURO JR  
OR CURRENT RESIDENT  
1742 W 56TH AVE  
DENVER CO 80221-6654

MARIN LAUREL A AND  
MARIN NORMAN E  
OR CURRENT RESIDENT  
5767 ALCOTT ST  
DENVER CO 80221-1839

LOPPNOW STEPHEN AND  
WERNSMANN ERICA  
OR CURRENT RESIDENT  
2335 W 56TH AVE  
DENVER CO 80221-1807

MARKHAM KAREN M AND  
WISEMAN ANNAMARIE H  
OR CURRENT RESIDENT  
2300 W 57TH AVE  
DENVER CO 80221-1870

LOPPNOW STEVEN AND CHAU CHRISTINA AND  
HAURER DANIEL AND WERNSMANN ERICA  
OR CURRENT RESIDENT  
2391 W 56TH AVE  
DENVER CO 80221-1807

MARTIN-PROCTOR AUNDREA N AND  
MARTIN-PROCTOR GARRETT R  
OR CURRENT RESIDENT  
5464 TEJON ST  
DENVER CO 80221-1434

LOVATO GLORIA M  
OR CURRENT RESIDENT  
5470 RARITAN WAY  
DENVER CO 80221-1733

MARTINEZ ALBERT V JR  
OR CURRENT RESIDENT  
2271 W 59TH PL  
DENVER CO 80221-6614

LUCERO AUTHUR R AND  
LUCERO MARIA G  
OR CURRENT RESIDENT  
5563 RARITAN WAY  
DENVER CO 80221-1770

MARTINEZ EDGAR R AND  
CANO JACQUELINE  
OR CURRENT RESIDENT  
5650 ZUNI ST  
DENVER CO 80221-1864

MADRID ALEX I  
OR CURRENT RESIDENT  
2291 W 56TH PLACE  
DENVER CO 80221

MARTINEZ GERALDEAN R  
OR CURRENT RESIDENT  
5551 SHOSHONE ST  
DENVER CO 80221-1724

MAESTAS DEBBIE C AND  
DIXON RYAN M  
OR CURRENT RESIDENT  
2301 W 58TH AVE  
DENVER CO 80221-1827

MARTINEZ JAMES DANIEL  
OR CURRENT RESIDENT  
2292 W 55TH AVE  
DENVER CO 80221-1441

MARTINEZ LORETTA A  
OR CURRENT RESIDENT  
5758 ALCOTT ST  
DENVER CO 80221-1855

MEDINA ROMAN F AND MEDINA MARY IRENE  
OR CURRENT RESIDENT  
5480 RARITAN WAY  
DENVER CO 80221-1733

MARTINEZ SAMUEL DUENAS  
OR CURRENT RESIDENT  
5738 ALCOTT ST  
DENVER CO 80221-1855

MILLER VIVIAN L  
OR CURRENT RESIDENT  
2313 W MOFFAT PL  
DENVER CO 80221-1442

MASIH AKEEL AND  
MASIH AKSA AKEEL  
OR CURRENT RESIDENT  
1721 W 55TH PL  
DENVER CO 80221-1747

MOMII PATRICIA ANN  
OR CURRENT RESIDENT  
5503 RARITAN WAY  
DENVER CO 80221-1770

MATTHEWS STEVEN C AND  
SILANO KRISTA R  
OR CURRENT RESIDENT  
2350 W MOFFAT PL  
DENVER CO 80221-1482

MONDRAGON AUGUSTINE ROBERT AND  
MONDRAGON DORIS F  
OR CURRENT RESIDENT  
2531 W 58TH AVE  
DENVER CO 80221

MATTHIAS MAREN AND  
MATHURIN SANDRA  
OR CURRENT RESIDENT  
5660 ZUNI ST  
DENVER CO 80221-1864

MONTEFERRANTE ASSET MANAGEMENT LLC  
OR CURRENT RESIDENT  
5680 PECOS STREET  
DENVER CO 80221

MC BAIN HELEN J  
OR CURRENT RESIDENT  
2220 W 57TH PL  
DENVER CO 80221-6611

MONTES KAREN M AKA  
CISNEROS KAREN M  
OR CURRENT RESIDENT  
5540 SHOSHONE ST  
DENVER CO 80221-1725

MC DOUGALL PATRICIA A  
MC DOUGALL THOMAS J  
OR CURRENT RESIDENT  
5512 UMATILLA ST  
DENVER CO 80221-1474

MONTOYA JOAN F  
OR CURRENT RESIDENT  
2321 W 55TH AVE  
DENVER CO 80221-1481

MC DOUGALL ROBERT J AND  
MC DOUGALL MEGHAN A  
OR CURRENT RESIDENT  
5511 UMATILLA ST  
DENVER CO 80221-1475

MORENO-ESPARZA MOISES AND  
RUIZ LILIANA T  
OR CURRENT RESIDENT  
2361 W 58TH AVE  
DENVER CO 80221-1827

MCKEACHIE RAYMOND  
OR CURRENT RESIDENT  
5542 UMATILLA ST  
DENVER CO 80221-1474

NEVAREZ MARCELO GUTIERREZ  
OR CURRENT RESIDENT  
2201 W 56TH AVE  
DENVER CO 80221-6604

MCLEAN TRUST THE  
OR CURRENT RESIDENT  
1720 W 55TH PL  
DENVER CO 80221-1712

NGUYEN TRONG AND  
NGUYEN NGOC BICH  
OR CURRENT RESIDENT  
5740 BRYANT STREET  
DENVER CO 80221

NITURA ROBERTA AND  
NITURA LYNDON  
OR CURRENT RESIDENT  
5754 CLAY ST  
DENVER CO 80221-1853

PADILLA DOLORES  
OR CURRENT RESIDENT  
5651 WYANDOT ST  
DENVER CO 80221-1857

NOLAN JEFF AND  
NOLAN VICKY  
OR CURRENT RESIDENT  
1629 W 54TH PL  
DENVER CO 80221-1710

PADILLA JUAN M JR AND  
PADILLA JUAN M SR  
OR CURRENT RESIDENT  
5777 ALCOTT ST  
DENVER CO 80221-1839

NORTHROP CHRISTINA D  
OR CURRENT RESIDENT  
5465 PECOS ST  
DENVER CO 80221-6421

PAIZ DARRIN P AND PAIZ TRACIE L  
OR CURRENT RESIDENT  
1762 W 56TH AVE  
DENVER CO 80221

OLGUIN DOROTHY AND  
VASQUEZ SALVADOR H  
OR CURRENT RESIDENT  
1960 W 56TH AVE  
DENVER CO 80221-6657

PARKER MICHAEL C AND  
PARKER LINDA KAY  
OR CURRENT RESIDENT  
2252 W 55TH AVE  
DENVER CO 80221-1441

ONEIL WILLIAM E  
OR CURRENT RESIDENT  
5554 QUIVAS ST  
DENVER CO 80221-1761

PARRIOTT JOEL L AND  
SCHNEIDER JILL T  
OR CURRENT RESIDENT  
5718 ALCOTT STREET  
DENVER CO 80221

ORONIA ALEJANDRO  
OR CURRENT RESIDENT  
1881 W 55TH AVE  
DENVER CO 80221-1714

PARTELLO DEBORAH L  
OR CURRENT RESIDENT  
1721 W 54TH PL  
DENVER CO 80221-1710

ORTIZ ERASMO AND ORTIZ MARIA  
OR CURRENT RESIDENT  
2200 W 56TH PLACE  
DENVER CO 80221

PATINO-CARDENAS ABRAHAM  
OR CURRENT RESIDENT  
5660 ALCOTT ST  
DENVER CO 80221

ORTIZ PHILLIP G AND  
ORTIZ MARIE A  
OR CURRENT RESIDENT  
1700 W 55TH PL  
DENVER CO 80221-1712

PATTON CHARLES A AND PATTON LUCILLE A  
OR CURRENT RESIDENT  
5472 SHOSHONE STREET  
DENVER CO 80221-1723

PACHECO DEBBIE KAY  
OR CURRENT RESIDENT  
1950 W 56TH AVE  
DENVER CO 80221

PAYAN FERNANDO AND PAYAN ANA B  
OR CURRENT RESIDENT  
2501 W 56TH AVE  
DENVER CO 80221-1809

PADILLA CARLA J  
OR CURRENT RESIDENT  
5531 UMATILLA ST  
DENVER CO 80221-1475

PETERS ANGELA AND  
PETERS CHRISTOPHER  
OR CURRENT RESIDENT  
5532 UMATILLA ST  
DENVER CO 80221-1474

POOVEY ANGELA  
OR CURRENT RESIDENT  
5727 ALCOTT ST  
DENVER CO 80221-1839

RAMOS ROSA MARIA  
OR CURRENT RESIDENT  
5553 RARITAN WAY  
DENVER CO 80221-1770

POWELL KELLIE A  
OR CURRENT RESIDENT  
2224 W 58TH PL  
DENVER CO 80221-6613

ROBINSON DANIEL J AND  
ROBINSON DANIELLE C  
OR CURRENT RESIDENT  
5550 VALLEJO ST  
DENVER CO 80221-1448

PRENDIS SONIA P AND  
PRENDIS VICTOR C  
OR CURRENT RESIDENT  
5455 PECOS ST  
DENVER CO 80221

ROBISON JANICE M  
OR CURRENT RESIDENT  
5570 TEJON ST  
DENVER CO 80221-1436

PRINCE DOLORES J  
OR CURRENT RESIDENT  
5452 SHOSHONE ST  
DENVER CO 80221-1723

RODRIGUEZ PETE F AND  
DURAN BONNIE A  
OR CURRENT RESIDENT  
5570 SHOSHONE ST  
DENVER CO 80221-1725

PRINCE-SMITH JOLEEN AND SMITH DWAYNE C  
OR CURRENT RESIDENT  
5450 RARITAN WAY  
DENVER CO 80221

ROGERS SUNDAY LOUISE  
OR CURRENT RESIDENT  
2330 W MOFFAT PL  
DENVER CO 80221-1482

PUENTE JERONIMO AND  
PUENTE BERTHA CASTILLO  
OR CURRENT RESIDENT  
5501 UMATILLA ST  
DENVER CO 80221-1475

RUBIO CLOVER OCTAVIO MOLINA AND  
HERNANDEZ DALIA ESCORZA  
OR CURRENT RESIDENT  
5501 TEJON ST  
DENVER CO 80221-1435

QUINTANA MIGUEL R AND  
QUINTANA YVETTE H  
OR CURRENT RESIDENT  
5735 BRYANT STREET  
DENVER CO 80221

RUSSELL JOSH L AND  
RUSSELL PAULETTE J  
OR CURRENT RESIDENT  
5720 BRYANT STREET  
DENVER CO 80221

RAMIREZ BENJAMIN AND  
RAMIREZ ELIZABETH  
OR CURRENT RESIDENT  
5737 ALCOTT STREET  
DENVER CO 80221

RUTTER DAVID A AND  
RUTTER LAURETTE S  
OR CURRENT RESIDENT  
2200 W 56TH AVE  
DENVER CO 80221-6605

RAMIREZ TERESA J AND  
GABALDON JULIE A  
OR CURRENT RESIDENT  
2309 W MOFFAT PL  
DENVER CO 80221

SAIZ GARCIA PATRICIA  
OR CURRENT RESIDENT  
5540 TEJON ST  
DENVER CO 80221-1436

RAMOS RICHARD THOMAS  
OR CURRENT RESIDENT  
5533 RARITAN WAY  
DENVER CO 80221-1770

SALAZAR PETE AND  
SALAZAR STELLA C  
OR CURRENT RESIDENT  
2211 W 58TH PL  
DENVER CO 80221-6612



SANCHEZ LOYA CARMEN AND  
RODRIGUEZ RAFAEL J  
OR CURRENT RESIDENT  
2391 W 59TH PL  
DENVER CO 80221-1834

SMEJKAL BARI W  
OR CURRENT RESIDENT  
5552 ALCOTT ST  
DENVER CO 80221-1624

SANDOVAL MICHELLE  
OR CURRENT RESIDENT  
1680 W 55TH AVE  
DENVER CO 80221

SMITH ANDREW L AND  
DUBNER ANNETTE C  
OR CURRENT RESIDENT  
5678 ALCOTT STREET  
DENVER CO 80221

SANTOS MONICA L  
OR CURRENT RESIDENT  
5465 TEJON STREET  
DENVER CO 80221

SMITH CHARLES LEE AND  
SMITH EMILY SUE  
OR CURRENT RESIDENT  
5574 QUIVAS ST  
DENVER CO 80221

SCHAFERSMAN CHRISTOPHER  
OR CURRENT RESIDENT  
1741 W 55TH PL  
DENVER CO 80221-1747

SMITH KEVIN  
OR CURRENT RESIDENT  
2300 W MOFFAT PL  
DENVER CO 80221-1482

SEMMEN CRAIG A  
OR CURRENT RESIDENT  
5488 VALLEJO ST  
DENVER CO 80221

SNYDER SAMANTHA  
OR CURRENT RESIDENT  
5483 SHOSHONE ST  
DENVER CO 80221-1722

SERDY KEVIN  
OR CURRENT RESIDENT  
2300 W 58TH AVE  
DENVER CO 80221-1828

SOUTHERN WILL  
OR CURRENT RESIDENT  
5463 SHOSHONE ST  
DENVER CO 80221-1722

SHORE BROWN AND  
SHORE RUBY A  
OR CURRENT RESIDENT  
5550 SHOSHONE ST  
DENVER CO 80221-1725

SPARACINO ADOLFO  
OR CURRENT RESIDENT  
2220 W MOFFAT PL  
DENVER CO 80221-1443

SILVER HOLDINGS LLC  
OR CURRENT RESIDENT  
2150 W 60TH AVE  
DENVER CO 80221-6623

SPERO MICHAEL J  
OR CURRENT RESIDENT  
5530 VALLEJO ST  
DENVER CO 80221-1448

SKOOG BILLY L AND  
SKOOG ROBIN K  
OR CURRENT RESIDENT  
2462 W 56TH AVE  
DENVER CO 80221-1810

SPRAGUE KEVIN ROBERT AND  
SPRAGUE KELLY ANNE  
OR CURRENT RESIDENT  
5513 TEJON ST  
DENVER CO 80221-1435

SLATER TRACESEA H  
OR CURRENT RESIDENT  
2220 W 58TH PL  
DENVER CO 80221-6613

STIGALL STEPHEN AND  
STIGALL JENNIFER  
OR CURRENT RESIDENT  
5585 QUIVAS ST  
DENVER CO 80221-1760

STOLL AMELIA L AND  
GOSNELL THOMAS C  
OR CURRENT RESIDENT  
2340 W MOFFAT PL  
DENVER CO 80221-1482

TYSON LESLIE ANN  
OR CURRENT RESIDENT  
5620 ZUNI STREET  
DENVER CO 80221

SUAZO BOBBY  
OR CURRENT RESIDENT  
2210 W 58TH PL  
DENVER CO 80221-6613

VALDEZ JUAN FRANK AND  
HERRERA-VALDEZ ERIKA  
OR CURRENT RESIDENT  
2261 W 56TH PL  
DENVER CO 80221-6606

SUFI IMRAN  
OR CURRENT RESIDENT  
2591 W 58TH AVE  
DENVER CO 80221-1854

VALDEZ RICHARD T AND  
VALDEZ BARBARA G  
OR CURRENT RESIDENT  
2341 W 58TH AVE  
DENVER CO 80221-1827

SWEENEY GRISEL AND  
SWEENEY MATHEW  
OR CURRENT RESIDENT  
5581 SHOSHONE ST  
DENVER CO 80221-1724

VALDEZ WILLIAM M AND  
LECHUGA CHALANE E  
OR CURRENT RESIDENT  
2317 W MOFFAT PL  
DENVER CO 80221-1442

TINOCO MARIO AND  
TINOCO GUADALUPE A  
OR CURRENT RESIDENT  
5745 BRYANT ST  
DENVER CO 80221-1843

VALDIVIA RODOLFO DAVID AND  
VALDIVIA MIQUELEEN  
OR CURRENT RESIDENT  
2225 W 57TH PL  
DENVER CO 80221-6610

TOTO JAMES A  
OR CURRENT RESIDENT  
2186 W 56TH AVE  
DENVER CO 80221-6603

VALDIVIA SERENA RAQUEL  
OR CURRENT RESIDENT  
5560 TEJON ST  
DENVER CO 80221-1436

TRAN TRUNG Q AND  
TRAN THY N  
OR CURRENT RESIDENT  
2621 W 58TH AVE  
DENVER CO 80221

VALENZUELA GILBERT J/LORRAINE AND  
VALENZUELA RICK  
OR CURRENT RESIDENT  
5510 SHOSHONE ST  
DENVER CO 80221-1725

TRUJILLO ALBERTANO M AND  
TRUJILLO PATRICIA R  
OR CURRENT RESIDENT  
5513 RARITAN WAY  
DENVER CO 80221-1770

VAZQUEZ JOSE LUIS AND  
VAZQUEZ MARIA R  
OR CURRENT RESIDENT  
2571 W 58TH AVE  
DENVER CO 80221-1854

TRUJILLO RUSSELL  
OR CURRENT RESIDENT  
5454 TEJON ST  
DENVER CO 80221-1434

VEGA SALVADOR AND  
SALAZAR ESPERANZA  
OR CURRENT RESIDENT  
5482 SHOSHONE ST  
DENVER CO 80221-1723

TRUJILLO WILLIE RAYMOND AND  
TRUJILLO ORALIA CLARA  
OR CURRENT RESIDENT  
5584 QUIVAS ST  
DENVER CO 80221-1761

VIALPANDO SHARON L  
OR CURRENT RESIDENT  
5707 ALCOTT STREET  
DENVER CO 80221

VIGIL JEFFREY J  
OR CURRENT RESIDENT  
5502 TEJON STREET  
DENVER CO 80221

WERNSMANN ERICA AND  
LOPPNOW STEPHEN  
OR CURRENT RESIDENT  
2350 W 56TH AVENUE  
DENVER CO 80221-1808

VIGIL JOSEPH G  
OR CURRENT RESIDENT  
1760 W 55TH AVE  
DENVER CO 80221-1730

WHITAKER EMILY  
OR CURRENT RESIDENT  
5760 BRYANT STREET  
DENVER CO 80221

VIGIL JUAN E II  
OR CURRENT RESIDENT  
2301 W 59TH PL  
DENVER CO 80221-1834

WHITE DIANE E  
OR CURRENT RESIDENT  
5650 PECOS ST  
DENVER CO 80221-6641

VILLA CARMEN T  
OR CURRENT RESIDENT  
5543 RARITAN WAY  
DENVER CO 80221

WILKINS COLIN  
OR CURRENT RESIDENT  
5778 ALCOTT ST  
DENVER CO 80221-1855

VILLANUEVA IGNACIO AND  
VILLANUEVA DAMARIS  
OR CURRENT RESIDENT  
5689 WYANDOT ST  
DENVER CO 80221-1857

WILLIAMS KRISTY D  
OR CURRENT RESIDENT  
2320 W 58TH AVE  
DENVER CO 80221-1828

VILLEGAS DELIA GARCIA  
OR CURRENT RESIDENT  
5502 UMATILLA ST  
DENVER CO 80221-1474

WISEMAN ZACHARY ROBERT AND  
ADAM CALISSE MARIE  
OR CURRENT RESIDENT  
2241 W 56TH PL  
DENVER CO 80221-6606

VU TIEN AND  
NGUYEN DAO  
OR CURRENT RESIDENT  
5697 ALCOTT STREET  
DENVER CO 80221

WOOLERY MICHAEL R AND  
WOOLERY LACEY E  
OR CURRENT RESIDENT  
5757 ALCOTT ST  
DENVER CO 80221-1839

WALK JUSTIN  
OR CURRENT RESIDENT  
2240 W 56TH PL  
DENVER CO 80221-6607

YARISH BRUCE AND  
YARISH SHANNON  
OR CURRENT RESIDENT  
2340 W 58TH AVE  
DENVER CO 80221

WENCEL DARIUSZ  
OR CURRENT RESIDENT  
5564 QUIVAS ST  
DENVER CO 80221-1761

YHEAULON MATTHEW J  
OR CURRENT RESIDENT  
5530 SHOSHONE ST  
DENVER CO 80221-1725

WENDELIN WILBUR L AND  
WENDELIN BERNITA A  
OR CURRENT RESIDENT  
5443 SHOSHONE ST  
DENVER CO 80221-1722

YOUNG JAMES FRANK AND  
YOUNG STEVEN DAVID  
OR CURRENT RESIDENT  
2290 W 59TH PL  
DENVER CO 80221-6615

CURRENT RESIDENT  
2323 1/2 W MOFFAT PL  
DENVER CO 80221-1409

CURRENT RESIDENT  
5540 VALLEJO ST  
DENVER CO 80221-1448

CURRENT RESIDENT  
5535 TEJON ST  
DENVER CO 80221-1435

CURRENT RESIDENT  
5570 VALLEJO ST  
DENVER CO 80221-1448

CURRENT RESIDENT  
5506 TEJON ST  
DENVER CO 80221-1436

CURRENT RESIDENT  
5485 TEJON ST  
DENVER CO 80221-1464

CURRENT RESIDENT  
5516 TEJON ST  
DENVER CO 80221-1436

CURRENT RESIDENT  
5486 UMATILLA ST  
DENVER CO 80221-1474

CURRENT RESIDENT  
2201 W 55TH AVE  
DENVER CO 80221-1440

CURRENT RESIDENT  
5541 UMATILLA ST  
DENVER CO 80221-1475

CURRENT RESIDENT  
2221 W 55TH AVE  
DENVER CO 80221-1440

CURRENT RESIDENT  
2312 W 55TH AVE  
DENVER CO 80221-1480

CURRENT RESIDENT  
2285 W 55TH AVE  
DENVER CO 80221-1440

CURRENT RESIDENT  
2301 W 55TH AVE  
DENVER CO 80221-1481

CURRENT RESIDENT  
2272 W 55TH AVE  
DENVER CO 80221-1441

CURRENT RESIDENT  
2341 W 55TH AVE  
DENVER CO 80221-1481

CURRENT RESIDENT  
2200 W MOFFAT PL  
DENVER CO 80221-1443

CURRENT RESIDENT  
2381 W 55TH AVE  
DENVER CO 80221-1481

CURRENT RESIDENT  
2210 W MOFFAT PL  
DENVER CO 80221-1443

CURRENT RESIDENT  
5581 ZUNI ST STE 1  
DENVER CO 80221-1486

CURRENT RESIDENT  
5581 ZUNI ST STE 2  
DENVER CO 80221-1486

CURRENT RESIDENT  
1710 W 55TH AVE APT 2  
DENVER CO 80221-1727

CURRENT RESIDENT  
5581 ZUNI ST STE 3  
DENVER CO 80221-1486

CURRENT RESIDENT  
1710 W 55TH AVE APT 3  
DENVER CO 80221-1727

CURRENT RESIDENT  
5581 ZUNI ST STE A  
DENVER CO 80221-1486

CURRENT RESIDENT  
1710 W 55TH AVE APT 4  
DENVER CO 80221-1727

CURRENT RESIDENT  
5581 ZUNI ST STE B  
DENVER CO 80221-1486

CURRENT RESIDENT  
1780 W 55TH AVE  
DENVER CO 80221-1730

CURRENT RESIDENT  
1631 W 54TH PL  
DENVER CO 80221-1710

CURRENT RESIDENT  
1607 W 55TH AVE  
DENVER CO 80221-1731

CURRENT RESIDENT  
1701 W 54TH PL  
DENVER CO 80221-1710

CURRENT RESIDENT  
1657 W 55TH AVE  
DENVER CO 80221-1731

CURRENT RESIDENT  
2031 W 54TH PL  
DENVER CO 80221-1719

CURRENT RESIDENT  
5481 RARITAN WAY  
DENVER CO 80221-1735

CURRENT RESIDENT  
5473 SHOSHONE ST  
DENVER CO 80221-1722

CURRENT RESIDENT  
1640 W 55TH AVE  
DENVER CO 80221-1746

CURRENT RESIDENT  
5541 SHOSHONE ST  
DENVER CO 80221-1724

CURRENT RESIDENT  
2460 W 56TH AVE  
DENVER CO 80221-1810

CURRENT RESIDENT  
1710 W 55TH AVE APT 1  
DENVER CO 80221-1727

CURRENT RESIDENT  
2400 W 60TH AVE  
DENVER CO 80221-1825

CURRENT RESIDENT  
5650 ALCOTT ST  
DENVER CO 80221-1837

CURRENT RESIDENT  
2301 W 57TH AVE  
DENVER CO 80221-1869

CURRENT RESIDENT  
5698 ALCOTT ST  
DENVER CO 80221-1837

CURRENT RESIDENT  
2361 W 57TH AVE  
DENVER CO 80221-1869

CURRENT RESIDENT  
5775 BRYANT ST  
DENVER CO 80221-1843

CURRENT RESIDENT  
2381 W 57TH AVE  
DENVER CO 80221-1869

CURRENT RESIDENT  
5744 CLAY ST  
WESTMINSTER CO 80221-1853

CURRENT RESIDENT  
2380 W 57TH AVE  
DENVER CO 80221-1870

CURRENT RESIDENT  
5708 ALCOTT ST  
DENVER CO 80221-1855

CURRENT RESIDENT  
5400 PECOS ST  
DENVER CO 80221-6404

CURRENT RESIDENT  
5770 BRYANT ST  
DENVER CO 80221-1856

CURRENT RESIDENT  
5595 PECOS ST UNIT A  
DENVER CO 80221-6409

CURRENT RESIDENT  
5679 WYANDOT ST  
DENVER CO 80221-1857

CURRENT RESIDENT  
1349 W 52ND AVE  
DENVER CO 80221-6411

CURRENT RESIDENT  
5699 WYANDOT ST  
DENVER CO 80221-1857

CURRENT RESIDENT  
5555 PECOS ST UNIT A  
DENVER CO 80221-6416

CURRENT RESIDENT  
5620 ZUNI ST  
DENVER CO 80221-1864

CURRENT RESIDENT  
5555 PECOS ST UNIT B  
DENVER CO 80221-6416

CURRENT RESIDENT  
5630 ZUNI ST  
DENVER CO 80221-1864

CURRENT RESIDENT  
5555 PECOS ST UNIT C  
DENVER CO 80221-6416

CURRENT RESIDENT  
5555 PECOS ST UNIT D  
DENVER CO 80221-6416

CURRENT RESIDENT  
2261 W 56TH AVE  
DENVER CO 80221-6604

CURRENT RESIDENT  
5555 PECOS ST UNIT E  
DENVER CO 80221-6416

CURRENT RESIDENT  
2260 W 56TH AVE  
DENVER CO 80221-6605

CURRENT RESIDENT  
5555 PECOS ST UNIT F  
DENVER CO 80221-6416

CURRENT RESIDENT  
2051 W 56TH AVE  
DENVER CO 80221-6608

CURRENT RESIDENT  
5493 PECOS ST  
DENVER CO 80221-6421

CURRENT RESIDENT  
2055 W 56TH AVE  
DENVER CO 80221-6608

CURRENT RESIDENT  
5590 PECOS ST  
DENVER CO 80221-6424

CURRENT RESIDENT  
5750 PECOS ST STE 1  
DENVER CO 80221-6609

CURRENT RESIDENT  
5545 PECOS ST  
DENVER CO 80221-6425

CURRENT RESIDENT  
5750 PECOS ST STE 3  
DENVER CO 80221-6609

CURRENT RESIDENT  
1901 W 56TH AVE  
DENVER CO 80221-6601

CURRENT RESIDENT  
5750 PECOS ST STE 6  
DENVER CO 80221-6609

CURRENT RESIDENT  
1921 W 56TH AVE  
DENVER CO 80221-6601

CURRENT RESIDENT  
2240 W 57TH PL  
DENVER CO 80221-6611

CURRENT RESIDENT  
2151 W 56TH AVE  
DENVER CO 80221-6602

CURRENT RESIDENT  
2213 W 58TH PL  
DENVER CO 80221-6612

CURRENT RESIDENT  
2160 W 56TH AVE  
DENVER CO 80221-6603

CURRENT RESIDENT  
2211 W 59TH PL  
DENVER CO 80221-6614

CURRENT RESIDENT  
2231 W 59TH PL  
DENVER CO 80221-6614

CURRENT RESIDENT  
1451 CARGILL DR  
DENVER CO 80221-6635

CURRENT RESIDENT  
5671 TEJON ST  
DENVER CO 80221-6616

CURRENT RESIDENT  
5610 PECOS ST  
DENVER CO 80221-6641

CURRENT RESIDENT  
2200 W 60TH AVE UNIT A  
DENVER CO 80221-6621

CURRENT RESIDENT  
5678 PECOS ST  
DENVER CO 80221-6641

CURRENT RESIDENT  
2200 W 60TH AVE UNIT B  
DENVER CO 80221-6621

CURRENT RESIDENT  
5686 PECOS ST  
DENVER CO 80221-6641

CURRENT RESIDENT  
2200 W 60TH AVE UNIT C  
DENVER CO 80221-6621

CURRENT RESIDENT  
5801 PECOS ST  
DENVER CO 80221-6644

CURRENT RESIDENT  
2200 W 60TH AVE UNIT D  
DENVER CO 80221-6621

CURRENT RESIDENT  
5855 PECOS ST  
DENVER CO 80221-6644

CURRENT RESIDENT  
2200 W 60TH AVE UNIT E  
DENVER CO 80221-6621

CURRENT RESIDENT  
5800 PECOS ST  
DENVER CO 80221-6645

CURRENT RESIDENT  
2200 W 60TH AVE UNIT F  
DENVER CO 80221-6621

CURRENT RESIDENT  
5890 PECOS ST  
DENVER CO 80221-6645

CURRENT RESIDENT  
2180 W 60TH AVE  
DENVER CO 80221-6623

CURRENT RESIDENT  
5929 PECOS ST  
DENVER CO 80221-6646

CURRENT RESIDENT  
5700 VALLEJO ST  
DENVER CO 80221-6626

CURRENT RESIDENT  
5931 PECOS ST  
DENVER CO 80221-6646



CURRENT RESIDENT  
5975 PECOS ST  
DENVER CO 80221-6646

CURRENT RESIDENT  
5999 PECOS ST  
DENVER CO 80221-6646

CURRENT RESIDENT  
1722 W 56TH AVE  
DENVER CO 80221-6654

CURRENT RESIDENT  
2240 W 56TH AVE APT A  
DENVER CO 80221-6659

CURRENT RESIDENT  
2240 W 56TH AVE APT B  
DENVER CO 80221-6659

CURRENT RESIDENT  
5750 PECOS ST STE 9  
DENVER CO 80221-6667

CURRENT RESIDENT  
5676 PECOS ST UNIT A  
DENVER CO 80221-6671

CURRENT RESIDENT  
5676 PECOS ST UNIT B  
DENVER CO 80221-6671

# CERTIFICATE OF POSTING



I, J. Gregory Barnes do hereby certify that I posted the property at 5751 N. Pecos Street on May 26, 2020, in accordance with the requirements of the Adams County Development Standards and Regulations.

A handwritten signature in black ink, reading 'J. Gregory Barnes'.

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**J. Gregory Barnes**